OLIBOLI donuts



Sheet List

Sheet Name

CS100 OCCUPANCY & EGRESS PLAN / CODE SUMMARY

Sheet Number

COVER SHEETS

CS000 COVER SHEET

CS200 ACCESSIBILITY NOTES

Design Consultant:

ARCHITECTURE Innovation and Design in

Current
Revision Current
Date Revision

DESC	RESTAURAN [*]	T TEN W. FIR UNIT	ANT IMPROVE ST STREET #B&C CA 92780		T OJECT DATA		DEFERRED SUBMIT	TALS			DM200 FIXTURE AF100 AF101 ARCHITE A100 A101 A102	DEMOLITION FLOOR PLAN DEMOLITION REFLECTED CEILING PLAN FURNITURE CASEWORK PLAN 3D FIXTURE PLAN ECTURE DOOR & HARDWARE SCHEDULE WINDOW SCHEDULE FLOOR PLAN - DIMENSIONED & NOTED	Architecture, Inc. 115 Pine Ave. Suite 250 Long Beach. CA 90802 www.idaexperience.net Architect: GEOFFREY B. LIM AIA, NCARB, LEED AP Plans, maps, specifications, studies, and reports not containing a red ink seal impirit accompanied by an original signature by the licensed professional may have been fraudulently altered and shall not be considered an original copy. All information should be disregarded unless verified by the professional whose signature appears above. Copyright Protected 2012. Project Owner:
	ENANT IMPROVEMENT BUILD OUT OF E		BUILD OUT INCLUDES FRONT							LABOR WILL OUT ALL DEVIEW TUEM AND	A103 A104	WALL PARTITIONS FLOOR FINISH PLAN & TRANSITION DETAILS	STREE & C. V. 92780
KITCHEN LII	IE, BACK OF HOUSE KITCHEN, AND DIN ction that has the exception to allow a single	ING ROOM.		EXTE 63 SF TOTA BUIL	ERIOR (PATIO): F	SEATING INTERIOR: 12 SEATS EXTERIOR (PATIO): 12 SEATS TOTAL: 24 SEATS	DOCUMENTS FOR DEFERRED SUBMITTALS ITEMS FORWARD THEM TO THE BUILDING OFFICIAL WITH CONFORMANCE TO THE DESIGN OF THE BUILDING DEFERRED SUBMITTAL: 1. FIRE SUPPRESSION (SPRINKLER SYSTEM) 2. FIRE ALARM AND PA SYSTEM 3. SIGNAGE GC TO COORDINATE WITH LL FOR ALL REQUIRED	H A NOTATION INDICATING THAT THE DEFERRED SI G. THE DEFERRED SUBMITTAL SHALL NOT BE INST	UBMITTAL DOCUMENTS HAVE BEEN RE	VIEWED AND FOUND TO BE IN GENERAL	A200 A201 A202 A203 A300 A301 A302 A400	REFLECTED CEILING PLAN -DIMENSIONED REFLECTED CEILING PLAN -NOTED REFLECTED CEILING PLAN - DETAILS ROOF PLAN BUILDING SECTIONS BUILDING SECTIONS EXTERIOR ELEVATIONS BUILDING SECTIONS / INTERIOR ELEVATIONS	OLIB A donuts a unit B & TUSTIN, CA 9
ABB	REVIATIONS					REGULATOR	Y AGENCIES				A401 A402	BUILDING SECTIONS / INTERIOR ELEVATIONS BUILDING SECTIONS / INTERIOR	
A.C.T. A.D.A. ARCH BLDG	ACOUSTICAL CEILING TILE AMERICANS WITH DISABILITIES ACT ARCHITECT(URAL) BUILDING	G.C. GFRP GL GYP	GENERAL CONTRACTOR GLASS FIBER REINFORCED PLASTER GLASS / GLAZING GYPSUM	REQ'D REINF RM R.O.	REQUIRED REINFORCE / REINFORCE ROOM ROUGH OPENING SQUARE FEET	PLANNING DEPARTMEN CITY OF TUSTIIN 300 CENTENNIAL WAY	T: FIRE DEPARTMENT TUSTIN FIRE DEPARTMENT Division Chief Andy K Division 4, Battalions 1 Fire Authority Rd. Irvine, CA 92602	RTMENT CITY OF TUSTIN Sovacs 300 CENTENNIAL V 2 & 3 TUSTIN, CA 92780 (714) 573-3130	ORANGE CO VAY PUBLIC HEA Environment 1241 East Dy Santa Ana, C	ALTH DEPARTMENT al Health Division yer Road, Suite 120 CA 92705	A402 A403 A500 A501 A600 STRUCT	ELEVATIONS RESTROOM ENLARGED VIEWS, ELEVATIONS & DETAILS WALL SECTIONS BUILDING DETAILS PROPOSED PERSPECTIVE VIEWS URAL	SED ARCHITECTURE OF CALIFORNIA DATE
BD BLKG	BOARD BLOCKING	GWB HD	GYPSUM WALL BOARD HEAD	SHORG	SHORING		(714) 259-1320 Fax				S-1 S-2	Structual Details General Structual Notes & Roof Framing Plan	Issue For: ISSUED FOR
CPT	CARPET	H.M.	HOLLOW METAL	SIM	SIMILAR	PROJECT DIF	RECTORIES				KITCHEN FS-1	Food Service Equipment Plan	CONSTRUCTION Issue Date:
CLG	CEILING	HORIZ	HORIZONTAL	STL ST STL	STEEL STAINLESS STEEL	OWNER	INTERIOR LANDSCAPING	ARCHITECT	KITCHEN DESI		FS-2.1 FS-3	Food Service Schedule Plan Food Service Floor Sink Layout	02.26.2018
CLR CONC	CLEAR CONCRETE	HVAC	HEATING, VENTILATION, & AIR CONDITIONING	STRUCT	STRUCTURE	OWNER OLIBOLI DOUGHNUTS 135 W. FIRST STREET	OWNER'S VENDOR	INNOVATION AND DESIGN IN ARCHITECTURE, INC	KITCHEN DESIGN INNOVATION AN IN ARCHITECTU	ND DESIGN JRE, INC	FS-3.1 FS-4	Food Service Gas & Plumbing Plan Food Service Electrical Plan	NO. REASON DATE
CONSTR	CONSTRUCTION	INFO INSUL	INFORMATION INSULATION	SRF SUSP	SURFACE SUSPENDED	UNIT #B&C TUSTIN, CA92780	<u>SECURITY</u> OWNER'S VENDOR	Architect of Record: Geoff Lim Project Manager: Josh Cool			FS-5	Food Service Wall Backing Plan	
CONT CMU	CONTINUOUS / CONTINUATION CONCRETE MASONRY UNIT	INT	INTERIOR	SYS	SYSTEM(S)	LANDLORD		218 The Promenade North Long Beach, CA 90802	<u>KITCHEN EQUIF</u> BY OWNERS VE	PMENT	FS-6 FS-H.1	Food Service Details Food Service Hood Details	
DEPT	DEPARTMENT	JAN	JANITOR	T.B.D.	TO BE DETERMINED	LANDLORD Paragon Property Mgmt, Jenette Ashmore (805)389-	POS/ DATA OWNER'S VENDOR	T. 562.206.7720 Brenda@idaexperience.com	BY OWNERS VE	ENDOR	FS-H.2 FS-H.3	Food Service Hood Details Food Service Hood Details	
DET	DETAIL	LAV LB	LAVATORY POUND	TEMP	TEMPORARY	Jenette Asimore (603)369-	AUDIO OWNER'S VENDOR				WI-1 WI-2	Walk - IN Drawings Walk - IN Drawings	
DIA DIFF	DIAMETER DIFFUSER	L.L.	LANDLORD	THK TRT'D	THICK TREATED	PROPRIETARY VENDORS		MEP ENGINEERING AND DES			WI-3	Walk - IN Drawings	
DIM	DIMENSION	LT MAX	LIGHT MAXIMUM	TSTAT	THERMOSTAT		BY OWNER'S VENDOR	TERRY ENGINEERING 14742 NEWPORT AVENUE,	Arif And Assos. Irvine California		PLUMBIN P-1	NG Plumbing Specs, Details & Notes	
DISP	DISPENSER	MFD	MANUFACTURED	TYP	TYPICAL	GRAPHICS & ARTWORK OWNER'S VENDOR	<u>SIGNAGE</u> OWNER'S VENDOR	SUITE106 TUSTIN,CA 92780 P. 714.838.1124	P: 714-838-9898		P-2 P-3	Site Plumbing Plan Waste & Vent Plumbing Floor Plan	
DIV DN	DIVISION DOWN	MFR	MANUFACTURER	UNDRLAY UTL	UNDERLAYMENT UTILITY	LIGHTING DESIGN & VEN	<u>IDOR</u>	E. james@terryengineering.com			P-4	Waste & Vent Isometric Piping Plan	
DR	DOOR	MECH MIN	MECHANICAL MINIMUM	U.N.O.	UNLESS NOTED OTHERW	BY OWNER'S VENDOR					P-6	Water & Gas Piping Plumbing Floor Plan Water & Gas Isometric Piping Plan	PRINCIPAL IN CHARGE: JOSH COOL PROJECT
DSCON ELEC	DISCONNECT ELECTRICAL	MISC	MISCELLANEOUS	V.C.T. VERT	VINYL COMPOSITE TILE VERTICAL		GC TO COORDINATE WITH LL F	FOR ALL REQUIRED ADDITIONAL VEND	ORS AS APPLICABLE		MECHAN M-1	MCAL Mechanical Specs, Details & Notes	MANAGER: WILLIAM AYALA DRAWN BY:
EMBED	EMBEDDED / EMBEDMENT	MTD	MOUNTED	V.I.F.	VERIFY IN FIELD	VICINITY MAI	 D	SYMBOLS			M-2	Mechanical Plan, Details Mechanical Roof Plan	WILLIAM AYALA Project Address:
ENG	ENGINEER(ED)	MTL N.I.C.	METAL NOT IN CONTRACT	w/	WITH		Tustin Plaza Aparl			NORTH	M-4	Exhaust Hood Requirements	OLIBOLI
EQ. EQUIP	EQUAL EQUIPMENT	NO	NUMBER	WD WNDW	WOOD WINDOW	C St	Lockwood Park Pl	ELEVATION MARKER	A COLUMN GRID & GRID BUBBLES		M-5 M-6	Exhaust Hood Requirements Exhaust Hood Requirements	135 W. FIRST STREET
EXP JT	EXPANSION JOINT	N.T.S.	NOT TO SCALE	w/o	WITHOUT	The Path Bike	SITE LOCATION			TRUE NORTH SYMBOL	ELECTRI	·	UNIT #B&C TUSTIN,CA 92780
EXT	EXTERIOR	O/ O.C.	OVER ON CENTER	WP	WATERPROOFING	Shop - Tustin	135 West First		ı		E0.2	Electrical Power Plan	Project Number:
FAB FD	FABRICATION FLOOR DRAIN	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED			Si Co	Street UNIT #B&C	ENLARGED VIEW MARKER			E0.3 E1.1	Electrical Lighting Plan Electrical Roof Plan	142-002-18
FE	FIRE EXTINGUISHER	OVHD	OVERHEAD			First St + W First	t St E First St E First St		WINDOW MARKER	WALL TYPE	E1.2 E1.3	Electrical Note Sheet Title 24 Calculations	Sheet Title: COVER SHEET
FE&C	FIRE EXTINGUISHER & CABINET	PNL	PANEL			S C S C	Wienerschnitzel &	SECTION MARKER			E2.1	Title 24 Calculations	
F.F.	FINISH FACE	PREFAB	PREFABRICATED			2	Spect			ROOM NAME ROOM NUMBER	E2.2 Grand tot	Equiptment List tal: 70	
FHC FURN	FIRE HOSE CABINET FURNITURE	P.L. REF	PLASTIC LAMINATE REFERENCE			Peppertree	Camii	ELEVATION DATUM POINT	+ 0'-0" ACT CEILING HEIGHT CEILING FINISH	ROOM NOWBER			
GA	GAUGE	REFR	REFRIGERATOR / REFRIGERATED			Park	no Re			DOOR NUMBER			Sheet Number:
							<u>a</u>			DOOR NUMBER			CS000

RESTROOM OCCUPANCY CALCULATIONS TOTAL RESTROOM OCCUPANT LOAD CALCULATION = PLUMBING FIXTURE REQUIREMENTS:

ECIMIDITO I IXTORE REGOII	KEMILITIO.		URINAL	LAVA	TORIE <u>JZ</u>
OCCUPANCY	MAI 'ATE	R CI CETS	S	s	FFMAI
32 OCCUPANTS	E	E		E	E
50% MALE / 50% FEMALE	1: 1-50	1: 1-50	1: 1-200	1: 1-150	1: 1-150
<u>16</u> MALE / <u>16</u> FEMALE		•			
FIXTURES REQUIRED	1	1	1	1	1
FIVELINES PROVIDED	1 1	4	1 4	1	1

*PLUMBING OCCUPANCY COUNT BASED ON:

2016 CPC 422.2 (3): IN BUSINESS AND MERCANTILE OCCUPANCIES WITH A TOTAL OCCUPANT LOAD OF 50 OR LASS INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.

BUILDING CODE SUMMARY

	FOR ALL COMMI	ERCIAL PRO	JECTS				
Name of Project:	OLIBOLI						
Address: 135 W. 1	Address: 135 W. 1ST STREETUNIT B & C TUSTIN,CA 92780						
Proposed Use: RES	TAURANT						
Owner or Authorized	Agent: OLIBOLO		Phone #: XX XX XXX XXX				
Owned By: Code Enforcement Ju	☐ City/County urisdiction: ☐ City TUSTIN	Private County	State				

YEAR EDITION	
Building Code:	2016 California Building Code
Mechanical Code:	2016 California Mechanical Code
Electrical Code:	2016 California Electrical Code

2016 California Plumbing Code Plumbing Code: 2016 California Fire Code Fire Code: 2016 California Building Code (Chapter 11B) Accessibility Code:

☐ New Construction	Renovation (Existing Bldg.) Upfit	☐ Alteration	☐ Reconstruction	
LDING DATA				

	☐ I-A ☐ I ☐ III-B ☐ Mixed Construct ☐ Yes	_ V-A	■ V-B	☐ III-A ☐ V-N Types:			
Mezzanine: 🔳 No 🛭	Building Height: 1 STORY EXISTING Mezzanine: No Yes High Rise: No Yes						
Primary Occupancy:	☐ Assembly	□ A-1	□ A-2	□ A-3	□ A-4	□ A-5	
	■ Business High-	☐ Education	☐ Factory - Industrial	□ F-1	□ F-2		
	☐ Hazard	□ H-1	□ H-2	□ H-3	□ H-4	□ H-5	
	☐ Institutional	□ I-1	□ I-2	□ I-3	□ I-4		
	☐ I-3 Use Condition	□ 1	□ 2	□ 3	□ 4	□ 5	
	☐ Mercantile	☐ Residential	□ R-1	□ R-2	□ R-3	□ R-4	
	□ Storage	□ S-1	□ S-2	☐ High-piled			

☐ Enclosed ☐ Repair

Secondary Occupancy N/A			
Charial Casumanay - F09 2	- F00 2	- F00 1	_

Special Occupancy: 508.2	\Box 508.3	□ 508.4 □ 508	3.5	☐ 508.6 ☐ 508.7	□ 508.8
Mixed Occupancy: No	☐ Yes	Separation:	Hr.	Exception:	

□Open

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting:	□ No	Yes
Exit Signs:	□ No	Yes
Fire Alarm:	□ No	Yes
Smoke Detection System	ns: ☐ No	Yes

STRUCTURAL DESIGN

METHOD OF COMPLIANCE:

REFER TO STRUCTURAL DRAWINGS

ELECTRICAL SYSTEM AND EQUIPMENT

METHOD OF COMPLIANCE: REFER TO ELECTRICAL DRAWINGS

MECHANICAL SYSTEMS, SERVICE SYSTEMS, AND EQUIPMENT

REFER TO ELECTRICAL DRAWINGS

ACCESSIBLE PARKING - EXISTING

L	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
Business	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
AREA	D	D	REGULAR WITH 5 ACCESS AISLE	VAN SPACES W/ 8' ACCESS AISLE	ACCESSIBLE D
LOT OR PARKING	TOTAL # OF F	TOTAL #			

■ NO CHANGE TO EXISTING BUILDING SYSTEMS FIRE RESISTANCE RATINGS

ROOF CONSTRUCTION:

ı		
ı	CONSTRUCTION TYPE V-B	REQUIRED RESISTANCE RATING
ı	PRIMARY STRUCTURAL FRAME:	0 HOURS
	BEARING WALLS - EXTERIOR:	0 HOURS
	BEARING WALLS - INTERIOR:	0 HOURS
	NON-BEARING WALLS & PARTITIONS / EXTERIOR:	0 HOURS
ı	NON-BEARING WALLS & PARTITIONS /	0 HOURS
	INTERIOR:	0 HOURS
ı	FLOOR CONSTRUCTION:	_0 HOURS

EGRESS OCCUPANCY CALCULATIONS

EGRESS OCCUPANCY LOAD							
AREA NAME	AREA	LOAD FACTOR	OCCUPAN T LOAD	SEATING OCCUPANTS PER SF			
				1			
ASSEMBLY AREA	113 SF	15 SF	7.564403	8			
ASSEMBLY AREA	105 SF	15 SF	7.012861	8			
ASSEMBLY AREA	96 SF	15 SF	6.413056	7			
BUSINESS AREA	47 SF	100 SF	0.46903	1			
BUSINESS AREA	51 SF	100 SF	0.512196	1			
EGRESS	344 SF	0 SF		0			
KITCHEN AREA	1113 SF	200 SF	5.566563	6			
STORAGE AREA	69 SF	300 SF	0.230266	1			

TOTAL EGRESS LOAD CALCULATION = 32

EXIT REQUIREMENTS:

FLOOR, ROOM OR	_	# OF EXITS	TRAVEL DIS	STANCE	ARRANGEMENT MEAN	IS OF EGRESS
SPACE DESIGNATION	REQUIRE D	PROVIDED	ALLOWABL E TRAVEL DISTANCE	DEAD END LIMIT	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE BETWEEN EXIT DOORS
OCCUPIED SPACE	2	<u>3</u>	200'	20'	68'-6"/ 3 = > or = <u>22' - 10"</u>	<u>30'-11"</u>

G.C. TO PROVIDE VISIBLE SIGN STATING THE FOLLOWING:

SIGN TO BE A MINIUM SIZE OF 8 1/2" x 11"

MAXIMUM OCCUPANTS

135 W. 1ST STREET UNIT B & C **TUSTIN,CA 92780**

OCCUPANCY SIGNAGE MUST COMPLY WITH CBC 1004.3 "Every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space. Posted signs shall be of an approved legible permanent design and shall be maintained by the owner or authorized

EGRESS PLAN KEY NOTES

- FIRE EXTINGUISHER TYPE 2A:10BC BY G.C. COORDINATE FINAL LOCATION WITH FIRE MARSHAL. LOCATED WITHIN 30 FT OF COOKING AREAS.
- 2 EMERGENCY EXIT SIGNAGE WITH MINISH... MOUNTED AT 6" ABOVE DOOR FRAME. EMERGENCY EXIT SIGNAGE WITH MINIMUM OF 5-FOOT CANDLES ON ILLUMINATED SURFACE.
- 3 EMERGENCY EXIT LIGHTS. THE EMERGENCY LIGHTING SYSTEM MUST PROVIDE CONTINUOUS ILLUMINATION FOR A MINIMUM OF 90 MINUTES AND COMPLY WITH 2012 NATIONAL ELECTRICAL CODE, EMERGENCY SYSTEM, NFPA 1-1, AND LIFE SAFETY CODE.
- TACTILE EGRESS SIGNAGE TO BE INSTALLED ALONG THE EGRESS ROUTES. SEE DETAILS AND NOTES FOR TACTILE SIGN REQUIREMENTS (HEIGHT AND DETAILS) ON
- 5 EVERY ROOM OR SPACE THAT IS AN ASSEMBLY REQUIRES OCCUPANT LOAD SIGN PER CBC 1004.3. SEE 2/A.01 FOR DETAILS.

EGRESS PLAN LEGEND



AT FIXTURE PLACEMENT

EMERGENCY EXIT SIGN EMERGENCY EXIT LIGHT

EGRESS CLEAR PATH OF TRAVEL CLEARANCES TO BE MAINTAINED

DIMENSIONS SHOWN ARE FROM FACE OF FINISH OR EDGES OF

TACTILE EGRESS SIGNAGE



Innovation and Design in Architecture, Inc. 115 Pine Ave. Suite 250 Long Beach, CA 90802 www.idaexperience.net

GEOFFREY B. LIM AIA, NCARB, LEED AP

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Project Owner:

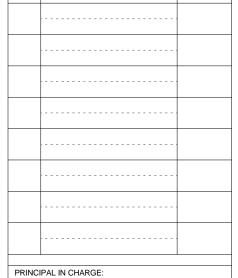
OLIB0L donuts



Issue For: ISSUED FOR CONSTRUCTION

02.26.2018

REASON



WILLIAM AYALA WILLIAM AYALA

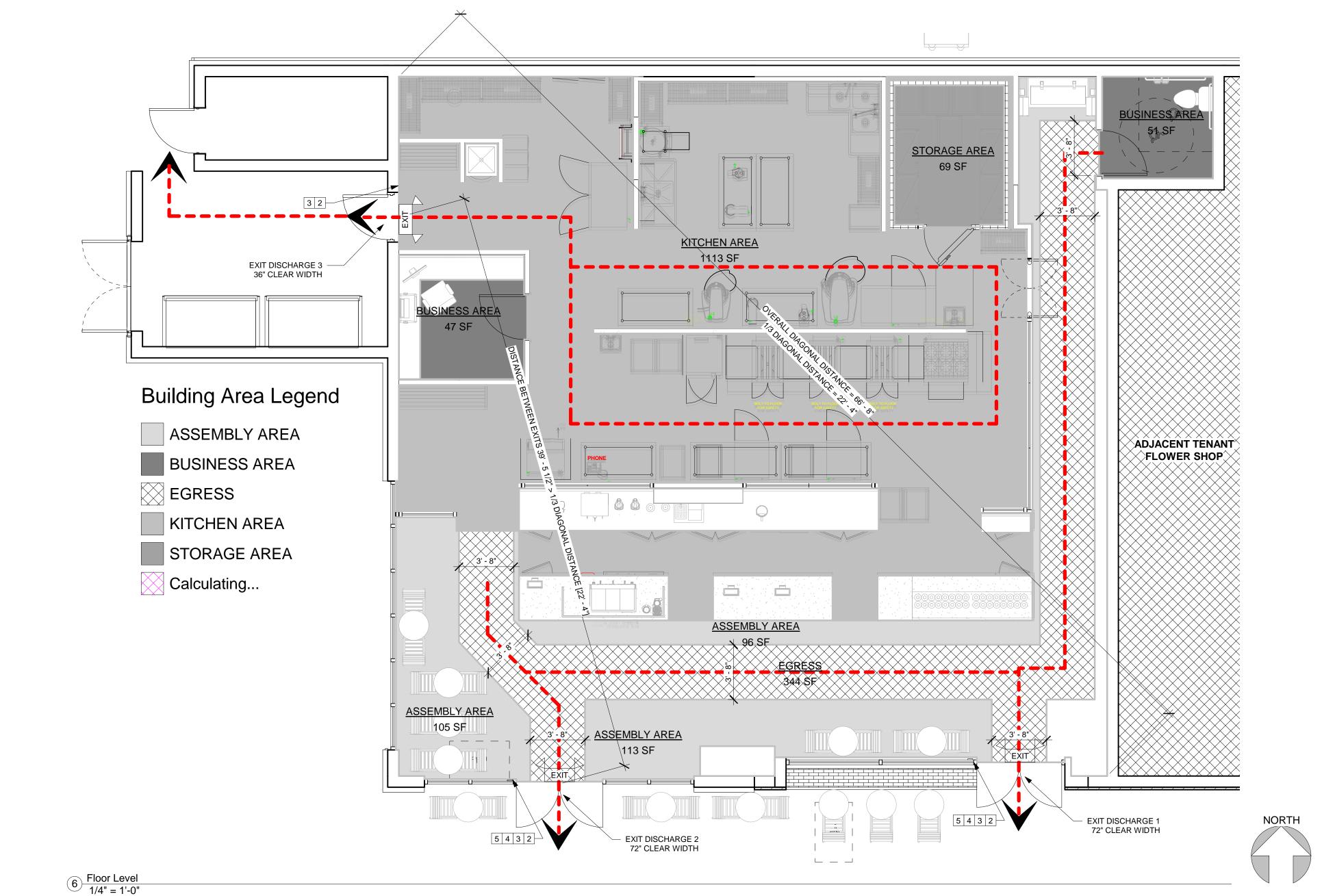
JOSH COOL PROJECT

OLIBOLI 135 W. FIRST STREET

UNIT #B&C TUSTIN,CA 92780

142-002-18 OCCUPANCY & EGRESS

PLAN / CODE SUMMARY



A. SITE DEVELOPMENT

GRADE AND DEVELOP SITE SO THAT ALL BUILDING ENTRANCES, REQUIRED EXITS, AND OTHER ACCESS POINTS TO THE BUILDING, AS DESIGNATED BY THE GOVERNING AGENCY, ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM BOTH THE PUBLIC WAY AND FROM 23. WHERE AN ADJACEN I GRADE IS 30" BELOW THE OPEN SIDE OF THE RAMP, A 42"-45" THE SPECIAL PARKING SPACE(S) PROVIDED FOR THE DISABLED. THE ACCESSIBLE ROUTE OF TRAVEL SHALL BE PROVIDED BETWEEN THE BUILDING AND FACILITIES ON THE SITE.

PROVIDE DISABLED PARKING SPACES.

EACH SPACE SHALL BE 14 FEET WIDE AND OUTLINED TO PROVIDE A 9 FOOT PARKING AREA AND A 5 FOOT LOADING AND UNLOADING AREA. SEE NOTE #3 BELOW. VAN ACCESSIBLE STALLS AS REQUIRED. IWO ADJACENT PARKING SPACES MAY BE PROVIDED WITH A 23 FOOT WIDE AREA LINED

TO PROVIDE A 9 FOOT PARKING AREA ON EACH SIDE OF A 5 FOOT LOADING AND UNLOADING AREA IN THE CENTER. 8 FOOT LOADING/UNLOADING AREA AT VAN ACCESSIBLE STALLS I OF EACH PARKING SPACE SHALL BE 18 FEET.
SURFACE SLOPES OF PARKING SPACES FOR THE PHYSICALLY DISABLED SHALL NOT

EXCEED 1/4 INCH PER FOOT (2.083% GRADIENT) IN ANY DIRECTION ALL PARKING STRUCTURES AND PARKING AREAS SHALL HAVE ACCESSIBLE PARKING SPACES AND ALL ENTRANCES LEADING TO THE ACCESSIBLE PARKING SPACES AND ALL VEHICLE EXITS FROM THE ACCESSIBLE PARKING SPACES INCLUDING THE DRIVEWAY, AISLE AND STALL AREA, SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8'-2". PROVIDE 114" (9'-6") MINIMUM CLEARANCE TO BUILDING/ FACILITIES PASSENGER LOADING ZONE FROM THE PUBLIC WAY AND INCLUDING THE PASSENGER LOADING ZONES.

INCLUDING BEAMS, SPRINKLER HEADS, PIPING, ETO A DISABLED PARKING SPACE SHALL BE LOCATED SO AS NOT TO REQUIRE ITS USER TO WHEEL OR WALK BEHIND ANY OTHER DISABLED OR NON-DISABLED PARKING SPACE. PEDESTRIAN WAYS WHICH ARE ACCESSIBLE TO THE PHYSICALLY DISABLED SHALL BE

PROVIDED FROM EACH ACCESSIBLE PARKING SPACE TO RELATED FACILITIES, INCLUDING ELEVATORS, CURB CUTS AND/OR RAMPS AS NEEDED. IN EACH PARKING AREA, A BUMPER OR CURB SHALL BE PROVIDED AND LOCATED TO PREVENT ENCROACHMENT OF CARS OVER THE REQUIRED WIDTH OF WALKWAYS.

ACCESSIBLE PARKING SPACES SHALL BE LOCATED AS NEAR AS PRACTICAL TO ACCESSIBLE ENTRANCE(S) HEN ACCESSIBLE PARKING IS LOCATED SUCH THAT THE PATH OF TRAVEL FROM THE ACCESSIBLE PARKING SPACE(S) TO A BUILDING OR FACILITY REQUIRES A DISABLED

PERSON TO TRAVEL INTO THE PUBLIC WAY, THE ENTIRE PATH OF TRAVEL, INCLUDING THAT PORTION IN THE PUBLIC WAY SHALL CONFORM TO ALL APPLICABLE CODE REQUIREMENTS, INCLUDING NOTE #17 BELOW.
WHEN SEPAKATE PARKING AREAS SUCH AS COVERED AND UNCOVERED AREAS, NON-INTERCONNECTED PARKING AREAS OR LEVELS OR SEPARATE PARKING AREAS OR

STRUCTURES. ARE PROVIDED ON A SITE. EACH PARKING AREA SHALL HAVE ACCESSIBLE PARKING STALLS. PACE RESERVED FOR THE DISABLED SHALL BE IDENTIFIED BY A PERMANENTLY AFFIXED REFLECTORIZED SIGN CONSTRUCTED OF PORCELAIN ON STEEL, BEADED TEXT, OR EQUAL, DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND SHALL BE CENTERED AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN TO THE HIGHEST ADJACENT FINISHED GRADE, OR CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT THAT WILL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. "VAN ACCESSIBLE" SIGN SHALL BE INSTALLED BELOW THE SYMBOL OF THE OFF-

ACCESSIBILITY SIGN WHERE VAN PARKING OCCURS. EAGL, AT LAGIT LITTRATION TO THE OFF-NOT LESS THAN 1 INCH IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING: ED VEHICLES PARKED IN DESIGNATED DISABLED ACCESS ONLY PARKING SPACES AND NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR 5 DISABLED PERSONS MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT TELEPHONING

IN ADDITION TO THE ABOVE SIGNAGE REQUIREMENTS, THE SURFACE OF EACH PARKING PLACE SHALL HAVE A SURFACE IDENTIFICATION SYMBOL DUPLICATING THE SYMBOL OF ACCESSIBILITY IN BLUE PAINT, AT LEAST 3 FOOT SQUARE. IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS BETWEEN THE

PEDESTRIAN AREAS AND VEHICULAR AREAS THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS 36" WIDE DETECTABLE WARNING BANDS CONSISTING OF RAISED TRUNCATED DOMES WITH A 0.9 INCH (23 MM)DIAMETER, HEIGHT OF 0.2 INCH (5 MM) AND 2.35 INCH (60 MM) O.C. AND SHALL BE OF A LIGHT VS. DARK C. COLOR CONTRAST DEWALKS:

WALKS AND SIDEWALKS SUBJECT TO THESE REGULATIONS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH. WHEN CHANGES IN LEVEL DO OCCUR. THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4 INCH MAY BE VERTICAL. (26 DEGREE MAX. BEVEL = 1:2 SLOPE). SEE TYPICAL ACCESSIBILITY DETAIL SHEET.
WALK AND SIDEWALK SURFACES SHALL DE SLIP-RESISTANT WITH A STATIC COEFFICIENT

OF FRICTION OF 0.6, SEE RAMPS AND CURB RAMP NOTES FOR RAMP SURFACES. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL (5% GRADIENT) IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS. E CRÒSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT. - WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHENEVER

POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN GRATINGS SHALL BE LIMITED TO 1/2 INCH IN THE DIRECTION OF TRAFFIC FLOW CHANGES IN LEVELS GREATER THAN 1/2 INCH ARE NECESSARY THEY SHALL

DMPLY WITH THE REQUIREMENTS FOR CURB RAMPS WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN 60 INCHES X 60 INCHES AT A DOOR OR GATE THAT SWINGS TOWARD THE WALK, AND NOT LESS THAN 54" WIDE BY 48" INCHES DEEP AT A DOOR OR GATE THAT SWINGS AWAY FROM THE WALK. SUCH WALKS SHALL EXTEND 24 INCHES TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK

ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE LEVEL AREAS AT LEAST 5 FEET IN LENGTH AT INTERVALS EVERY 30" OF RISE AND AT EVERY 300 FEET OF LENGTH. THE SPACE BETWEEN TWO CONSECUTIVE DOOR OPENINGS SHALL BE 48" MINIMUM.

D. PEDESTRIAN RAMPS

ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1 FOOT RISE IN 20 FOOT HORIZONTAL RUN (5%).

PEDESTRIAN RAMPS SERVING ACCESSIBLE ENTRANCES TO BUILDINGS SHALL HAVE A CLEAR WIDTH NOT LESS THAN THE WIDTH REQUIRED FOR WALKS. PEDESTRIAN RAMPS SERVING ACCESSIBLE ENTRANCES TO BUILDINGS SHALL BE A

MINIMUM 48 INCHES CLEAR WIDTH PEDESTRIAN RAMPS SERVING ACCESSIBLE ENTRANCES TO BUILDINGS HAVING AN OCCUPANT LOAD OF 300 OR MORE SHALL HAVE A MINIMUM CLEAR WIDTH OF 60 INCHES.

PEDESTRIAN RAMPS SERVING ACCESSIBLE ENTRANCES TO BUILDINGS HOUSING GROUP R OCCUPANCIES MAY BE 36 INCHES CLEAR WIDTH WHEN THE OCCUPANT LOAD IS 50 OR LESS MAXIMUM SLOPE OF A RAMP THAT SERVES ANY EXIT WAY, PROVIDES DISABLED ACCESS OR IS IN THE PATH OF TRAVEL SHALL BE 1 FOOT RISE IN 12 FEET OF HORIZONTAL H. CORRIDORS AND AISLES

RUN. THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP RAMP LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RAMP. INTERMEDIATE LANDINGS SHALL BE PROVIDED AT INTERVALS NOT EXCEEDING 30 INCHES

OF VERTICAL RISE AND AT EACH CHANGE OF DIRECTION. LANDINGS ARE NOT CONSIDERED IN DETERMINING THE MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP TOP LANDINGS SHALL BE NOT LESS THAN 60 INCHES WIDE AND SHALL HAVE A LENGTH OF

NOT LESS THAN 60 INCHES IN THE DIRECTION OF RAMP RUN. DOORS IN ANY POSITION SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP LANDING TO LESS THAN 42 INCHES AND SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 3-1/2 INCHES WHEN FULLY OPEN.

THE WIDTH OF THE LANDING SHALL EXTEND 24 INCHES PAST THE STRIKE EDGE OF ANY DOOR OR GATE FOR EXTERIOR RAMPS AND 18 INCHES PAST THE STRIKE EDGE FOR

INTERIOR RAMPS. INTERMEDIATE LANDINGS AT A CHANGE OF DIRECTION AND BOTTOM LANDINGS SHALL

HAVE A DIMENSION IN THE DIRECTION OF RAMP RUN OF NOT LESS THAN 72 INCHES. AT BOTTOM AND INTERMEDIATE LANDINGS, THE WIDTH SHALL BE AT LEAST THE SAME AS REQUIRED FOR THE RAMPS.

OTHER INTERMEDIATE LANDINGS SHALL HAVE A DIMENSION IN THE DIRECTION OF RAMP

RUN OF NOT LESS THAN 60 INCHES. THE SLOPE ACROSS A RAMP LANDING IN ANY DIRECTION SHALL NOT EXCEED 1/4 INCH RISE IN 1 FOOT OF HORIZONTAL RUN.

16. HANDRAILS ARE REQUIRED ON RAMPS THAT PROVIDE DISABLED ACCESS, IF THE SLOPE EXCEEDS 1 FOOT RISE IN 20 FEET OF HORIZONTAL RUN.

HANDRAILS SHALL BE PLACED ON EACH SIDE OF EACH RAMP. HANDRAILS SHALL BE CONTINUOUS, THE FULL LENGTH OF THE RAMP, SHALL BE AT 34 INCHES ABOVE THE RAMP 3. NOT USED

AS REQUIRED FOR HANDRAILS AND SHALL EXTEND A MIN. OF 1 FOOT BEYOND THE TOP AND , BOTTOM OF THE RAMP, AND THE ENDS SHALL BE RETURNED TO A WALL, FLOOR, OR POST. NDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LÉSS THÁN 1 1/2. NCHES BETWEEN THE WALL AND THE HANDRA THE GRIP PORTION OF THE HANDRAIL SHALL BE NOT LESS THAN 1 1/4 INCHES NOR MORE THAN 1 1/2 INCHES IN CROSS SECTIONAL OUTSIDE DIMENSION, OR THE SHAPE SHALL

MAX. OF 4" OF CLEAR SPACE IS NOT REQUIRED. LOW HORIZONTAL RAIL SHALL EXTEND SAME

PROVIDE AN EQUIVALENT GRIPPING SURFACE AND ALL SURFACES SHALL BE SMOOTH WITH NO SHARP CORNERS. SEE TYPICAL ACCESSIBILITY DETAIL SHEET.
THE SURFACE ON RAMPS SHALL BE NON-SLIP MEETING A COEFFICIENT OF FRICTION OF O.8. 7

WHEN THE RAMP SURFACE IS NOT BOUNDED BY A WALL OR FENCE AND THE RAMP

10FEET IN LENGTH THE RAMP SHALL COMPLY WITH ONE OF THE FOLLOWING A:=QA GUIDE CURB A MINIMUM OF 2 INCHES IN HEIGHT SHALL BE PROVIDED AT EACH SIDE OF THE RAMP, EXCEPT WHEN ADJACENT GRADE IS 4" OR GREATER BELOW RAMP SURFACE, THEN CURB SHALL BE A MIN. 6" HIGH ABOVE RAMP SURFACE.

B. A WHEEL GUIDE RAIL SHALL BE PROVIDED, CENTERED 3 INCHES PLUS OR MINUS 1 INCH ABOVE THE SURFACE ON THE RAMP.

C. SEE NOTE #T-7 FOR ADDITIONAL INFORMATION.

22. WHERE A RAMP SURFACE HAS A SLOPE OF 1:20 (5%) OR GREATER AND THE ADJACENT GRADE IS GREATER THAN 4" BELOW THE RAMP SURFACE A CURB 6" HIGH ABOVE THE RAMP SURFACE SHALL BE PROVIDED ALONG SUCH OPEN SIDE OF RAMP SURFACE OR WHEEL GUIDE, SEE 21.B ABOVE. HIGH GUARDRAIL SHALL BE INSTALLED WITH INTERMEDIATE MEMBERS SO AN OBJECT OF 4" DIAMETER CAN NOT PASS THROUGH SUCH INTERMEDIATE MEMBERS.

1. CURB RAMPS SHALL BE CONSTRUCTED AT EACH CORNER OF STREET INTERSECTIONS, WHERE A PEDESTRIAN WAY CROSSES A CURB AND WHEN ACCESSIBLE ROUTE FROM ACCESSIBLE PARKING STALL OCCURS CURB RAMPS SHALL BE A MINIMUM OF 4 FEET IN WIDTH AND SHALL LIE GENERALLY, IN A SINGLE SLOPED PLANE, WITH A MINIMUM OF SURFACE WARPING AND CROSS SLOPE.

3. THE SLOPE OF CURB RAMPS SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL.THE SLOPE OF THE FANNED OR FLARED SIDES OF CURB RAMPS SHALL NOT EXCEED 1 VERTICAL TO 10 HORIZONTAL. CURB RAMP MAXIMUM RISE AND RUN SHALL BE 6" AND 6'-A LEVEL LANDING 4 FEET DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL WIDTH TO PERMIT SAFE EGRESS FROM THE RAMP SURFACE, OR THE SLOPE OF THE FANNED OR FLARED SIDES OF THE CURB RAMP SHALL NOT EXCEED

THE LOWER END OF EACH CURB RAMP SHALL HAVE A 1/2 INCH LIP BEVELED AT 1:2. SEE THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE NON-SLIP MEETING A STATIC COEFFICIENT OF FRICTION OF 0.8 AND SHALL BE OF CONTRASTING FINISH FROM THAT OF THE ADJACENT SIDEWALK.

ONE VERTICAL TO 12 HORIZONTAL. SEE NOTE C.6 ABOVE.

THE WALKING SURFACE OF EACH CURB RAMP SHALL HAVE DETECTABLE WARNING TILE PAVERS, INSTALLED ACROSS THE FULL WIDTH AND DEPTH OF THE SLOPED WALKING SURFACE. THE SURFACE OF THESE PAVERS SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE AND CONSIST OF RAISED TRUNCATED DOMES 0.9 INCHES (23 MM) DIAMETER, 0.2 (5 MM) HIGH AND 2.35 INCHES (60 MM)O.C., AS MANUFACTURED BY CROSSVILLE CERAMICS (714)639-1069 COLOR AS SELECTED BY ARCHITECT. SEE TYPICAL ACCESSIBILITY DETAILS SHEET.
ALL OURD NAIVIES SHALL FLAVE A DETECTABLE WARNING BORDER 12 INCHES WIDE AT THE LEVEL SURFACE OF THE SIDEWALK ALONG THE TOP AND EACH SIDE OF THE RAMP.

THIS BORDER SHALL CONSIST OF 1/4 INCH BY 1/4 INCH GROOVES APPROXIMATELY 3/4

TRAFFIC. SEE TYPICAL ACCESSIBILITY DETAILS SHEET. F. ENTRANCES

AT LEASE ONE PRIMARY ENTRANCE (NOTE: SOME GOVERNING AGENCIES MAY DEFINE EXITS AS A BLDG. ENTRANCE) TO BUILDING AND FACILITIES SHALL BE MADE ACCESSIBLE TO THE PHYSICALLY DISABLED, QUANTITY OF ACCESSIBLE ENTRANCES. ALTHOUGH, SHALL BE AS REQUIRED BY THE GOVERNING AGENCIES. ALL DISABLED ACCESSIBLE ENTRANCES, SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS VISIBLE FROM

INCH ON CENTER AND RUNNING PERPENDICULAR TO THE FLOW OF PEDESTRIAN

APPROACHING PEDESTRIAN WAYS. EVERY REQUIRED ENTRANCE, "EXIT", OR PASSAGE DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3 FEET IN WIDTH AND NOT LESS THAN 6 FEET, 8 INCHES IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32 INCHES WHERE A PAIR OF DOORS IS UTILIZED AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION

WHEN AN AUTOMATIC DOOR OPERATOR IS UTILIZED TO OPERATE A PAIR OF DOORS, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS 6. CLOSED POSITION, KING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL, SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH- PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING

HARDWARE ATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR. THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL. THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING (GENERAL) OF AT LEAST 60 INCHES AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48 INCHES AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALI EXTEND 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18 INCHES PAST THE STRIKE EDGE FOR INTERIOR DOORS. WHEN DOOR SWINGS IN DIRECTION OF TRAVEL AND THE DOOR HAS BOTH LATCH AND A CLOSER. 12" OF CLEARANCE SHALL BE PROVIDED AT THE DOOR STRIKE EDGE OPPOSITE OF THE THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH

SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. THE BOTTOM 10 INCHES OF ALL DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRIP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH FOOTREST WITHOUT CREATING A TRIP OR HAZARDOUS CONDITION. SEE TYPICAL ACCESSIBILITY DETAIL SHEET.

THE SPACE BETWEEN TWO CONSECUTIVE DOOR OPENINGS IN A VESTIBULE, SERVING OTHER THAN A REQUIRED EXIT STAIRWAY SHALL PROVIDE A MINIMUM OF 48 INCHES OF CLEAR SPACE FROM ANY DOOR OPENING INTO SUCH VESTIBULE WHEN THE DOOR IS POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. DOORS IN A SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS. DOORS AND 5 LBS. FOR INTERIOR DOORS SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLE TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED UP TO 15 LBS. 15. WHERE TURNSTILES ARE UTILIZED IN A FACILITY FOR THE PURPOSE OF PROVIDING FULLY CONTROLLED ACCESS, A DOOR OR GATE THAT IS FULLY ACCESSIBLE TO THE

PHYSICALLY DISABLED SHALL BE PROVIDED ADJACENT TO THE TURNSTILE OR REVOLVING DOOR AND SHALL BE SO DESIGNED TO FACILITATE THE SAME USE G. PATTERNS AND LEVELS 1. IN BUILDINGS AND FACILITIES, FLOORS OF ANY GIVEN SPACE SHALL HAVE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER

ELEVATORS AND/OR, WHEN ALLOWED, SPECIAL ACCESS LIFTS. FLOORS ARE TO BE SLIP RESISTANT 3. SEE "THRESHOLD/LEVEL CHANGES" DETAIL ON TYPICAL ACCESSIBILITY DETAIL SHEET. 4. SEE NOTE #T-7 FOR ADDITIONAL INFORMATION.

1. EVERY CORRIDOR SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NOT LESS IN WIDTH THAN 44 INCHES. 2. CORRIDORS THAT EXCEED 200 FEET IN LENGTH SHALL:

HAVE A MINIMUM CLEAR WIDTH OF 60 INCHES, OR HAVE, AT A CENTRAL LOCATION, A 60 INCH X 60 INCH MINIMUM WHEELCHAIR TURNING SPACE OR PASSING ALCOVE: OI

HAVE, AT A CENTRAL LOCATION, AN INTERVENING CROSS OR TEE CORRIDOR, A MINIMUM OF 44 INCHES IN WIDTH: OR. HAVE, AT A CENTRAL LOCATION, AN OPERABLE DOOR

I. ELEVATORS

PASSENGER ELEVATORS SERVING AN OCCUPANT LOAD OF MORE THAN 50 SHALL HAVE A MINIMUM INSIDE CAR PLATFORM OF 5 FEET 8 INCHES WIDE X 4 FEET 3 INCHES DEEP FROM REAR WALL TO SIDE RETURN PANEL AND 4'-6" FROM REAR WALL TO DOOR. DOORS SHALL BE 3 FEET CLEAR, SIDE SLIDE TYPE. 80" MIN. INSIDE CAB WIDTH WHEN CENTERED DOOR. AT LEAST ONE CAR SHALL BE SIZED TO 6'-8" WIDE X 4'-3" MIN. INSIDE DIMENSIONS WITH A 42" DOOR TO ACCOMMODATE AMBULANCE TYPE STRETCHER, 76" X 24" HORIZONTAL POSITION, AS REQUIRED BY THE STATE FIRE MARSHAL. SUCH MEDICAL EMERGENCY ELEVATOR SHALL BE IDENTIFIED WITH THE INTERNATIONAL "STAR OF LIFE" SYMBOL, 3" SQUARE AND PERMANENTLY ATTACHED TO THE HOISTWAY DOOR FRAME AT HEIGHT BETWEEN +6'-6" AND +7'-7" AND INSTALLED BE VISIBLE AT AND ACERS FROM ÉÁCH ÉLEVÁTOR CALL STATIÓN WHICH WILL INDICATE THAT, IN CASE OF FIRE, THE ELEVATOR WILL NOT OPERATE AND THAT EXIT STAIRWAYS SHOULD BE USED.

WITH A HORIZONTAL RAIL AT 27" ABOVE RAMP SURFACE WHEN INTERMEDIATE RAILING WITH 4. PASSENGER ELEVATORS SHALL BE PROVIDED WITH ONE HANDRAIL, OF 1 1/2" DIAMETER, LOCATED 2'-8" ABOVE THE CAR PLATFORM. ELEVATOR FLOOR BUTTONS SHALL BE WITHIN 4 FEET 6 INCHES ON THE CAR FLOOR FOR SIDE APPROACH AND 4 FEET FOR FRONT APPROACH. EXCEPT FOR PHOTO-ELECTRIC TUBE BY-PASS SWITCHES, EMERGENCY CONTROLS INCLUDING THE EMERGENCY STOP AND ALARM SHALL BE GROUPED IN OR ADJACENT TO THE BOTTOM OF THE PANEL AND SHALL BE NO LOWER THAN 2 FEET 11 INCHES FROM THE FLOOR. FOR MULTIPLE CONTROLS ONLY ONE SET MUST COMPLY WITH

THESE HEIGHT REQUIREMENTS.
THE EMERGENCY TELEPHONE HANDSET SHALL BE POSITIONED NO HIGHER THAN 4 FEET ABOVE THE FLOOR, AND THE HANDSET CORD SHALL BE A MINIMUM OF 2 FEET 5 INCHES IN LENGTH. IT SHALL BE IDENTIFIED WITH A PICTOGRAM ADJACENT TO THE DEVICE. SEE SIGNS/PICTOGRAM DETAIL, TYPICAL ACCESSIBILITY DETAIL SHEET. IF SYSTEM IS LOCATED IN A CLOSED COMPARTMENT, THE COMPARTMENT DOOR HARDWARE SHALL BE OPERABLE BY ONE HAND AND SHALL NOT REQUIRE PINCHING. TIGHT GRASPING, OR TRISTING OF THE WRIST WITH FORCE ACTIVATION AT LESS THAN 5 LBS, SUCH COMPARTMENT SHALL BE IDENTIFIED BY A PICTOGRAM THE EMERGENCY TELECOMMUNICATION SYSTEM SHALL NOT REQUIRE VOICE COMMUNICATIONS. SYSTEM SHALL HAVE AN AUTOMATIC BACK-UP POWER SOURCE CAPABLE OF PROVIDING OPERATIONS FOR 2 HOURS, OR AS REQUIRED BY THE GOVERNING AGENCIES.

PASSENGER ELEVATOR CAR CONTROLS SHALL HAVE A MINIMUM DIMENSION OF 3/4 INCH AND SHALL BE RAISED A MINIMUM OF 1/8 INCH. ALL CONTROL BUTTONS SHALL BE DESIGNATED BY A 5/8 INCH MINIMUM ARABIC NUMERALS, STANDARD ALPHABET CHARACTER. OR STANDARD SYMBOL AND A BRAILLE SYMBOL LOCATED IMMEDIATELY TO THE LEFT OF THE CONTROL BUTTON. MINIMUM 3/8" OR OTHER SUITABLE MEANS OF SEPARATION SHALL BE PROVIDED BETWEEN ROWS OF CONTROL BUTTONS. A VISUAL CAR POSITION INDICATOR SHALL BE PROVIDED ABOVE THE CAR CONTROL PANEL OR OVER THE DOOR TO SHOW CAR POSITION IN THE HOISTWAY. AS THE CAR PASSES THROUGH OR STOPS AT A FLOOR SERVED BY THE ELEVATORS, THE CORRESPONDING NUMBERS SHALL ILLUMINATE AND AN AUDIBLE SIGNAL SHALL SOUND. NUMERALS SHALL BE 1/2" MINIMUM HIGH. AUDIBLE SIGNAL SHALL BE NO LESS THAN 20 DECIBEL AT

LIMITED TO, DOOR OPEN, DOOR CLOSE, ALARM BELL, EMERGENCY STOP, AND TELEPHONE. MAIN FLOOR SHALL BE DESIGNATED BY A RAISED STAR AT THE LEFT OF THE FLOOR PESIGNATION. PASSENGER ELEVATOR LANDING JAMBS ON ALL ELEVATOR FLOORS SHALL HAVE THE NUMBER OF THE FLOOR ON WHICH THE JAMB IS LOCATED DESIGNATED BY RAISED ARABIC NUMERALS WHICH ARE A MINIMUM OF 2 INCH IN HEIGHT AND RAISED BRAILLE SYMBOLS LOCATED 5 FEET ABOVE THE FLOOR ON THE JAMB PANELS ON BOTH SIDES

EMERGENCY EQUIPMENT IDENTIFIED BY RAISED SYMBOLS SHALL INCLUDE, BUT NOT BE

OF THE DOOR SO THAT THEY ARE VISIBLE FROM WITHIN THE ELEVATOR. RAISED BRAILLE SYMBOLS SHALL BE PLACED DIRECTLY TO THE LEFT OF THE CORRESPONDING RAISED ARABIC NUMERALS SHELR BEEN CHARACTERS INCHES OF THE FLOOT RASTING BOTTONS SHALL BE A MINIMUM OF 3/4 INCH IN SIZE AND SHALL BE RAISED A MINIMUM OF 1/8 INCH. VISUAL INDICATION SHALL BE PROVIDED TO SHOW EACH CALL REGISTERED AND EXTINGUISHED WHEN ANSWERED. CONTROLS SHALL BE LOCATED ON FRONT WALLIE INGENTER PEER LEE VAPORS LOODE SY SIRE MAINT POLITY WOLLD IN THE SERVE OF SEVING.

CAR CALL SHALL BE 5 SECONDS. THE MINIMUM ACCEPTABLE TIME FROM NOTIFICATION THAT A CAR IS ANSWERING A CALL UNTIL THE DOOR OF THAT CAR STARTS TO CLOSE SHALL BE 5 SECONDS.

14. FLOOR NUMBERS OF 4" OR MORE IN HEIGHT SHALL BE LOCATED ON THE WALLS OR DOORS OF EACH HOISTWAY AT INTERVALS SUCH THAT A PERSON IN A STALLED ELEVATOR, UPON OPENING THE CAR DOOR CAN DETERMINE THE FLOOR POSITION. ILLUMINATION LEVEL AT CAR CONTROLS, PLATFORM AND CAR THRESHOLD SHALL BE A

MINIMUM OF 5 FOOT CANDLES. 16. CAR FLOOR SURFACE SHALL BE NON-SLIP, HARD SURFACE WHICH PERMITS WHEELCHAIRS TO MOVE EASILY.

17. STANDBY POWER SHALL BE PROVIDED FOR BUILDINGS OVER ONE STOREY AND TO AT LEAST ONE ELEVATOR CAPABLE OF PROVIDING OPERATION FOR TWO HOURS OR AS

REQUIRED BY THE GOVERNING AGENCIES.

18. ELEVATORS SHALL COMPLY WITH APPLICABLE CODES, LAWS, AND ORDINANCES.

19. A VISUAL AND AUDIBLE SIGNAL SHALL BE PROVIDED AT EACH HOISTWAY ENTRANCE INDICATING TO THE PROSPECTIVE PASSENGER THE CAR ANSWERING THE CALL AND ITS

DIRECTION OF TRAVEL AS FOLLOWS: A. A MINIMUM OF 72 INCHES IN HEIGHT FROM THE LOBBY FLOOR A MINIMUM OF 2 1/2 INCHES HIGH X 2 1/2 INCHES WIDE.
VISIBLE FROM THE PROXIMITY OF THE HALL CALL BUTTON

OF A CONFIGURATION WHICH DISTINGUISHES BETWEEN UP AND DOWN ELEVATOR TRAVEL. AUDIBLE SIGNALS SHALL SOUND "ONCE" FOR UP DIRECTION AND DOWN "TWICE FOR DOWN" DIRECTION OR HAVE VERBAL ANNUNCIATORS THAT SAY "UP"

THE LIGHT OF THE CAR DOOR JAMBS, VISIBLE FROM HE PROXIMITY OF THE HALL CALL BUTTONS AND CONFORMING TO THE ABOVE REQUIREMENTS WILL BE ACCEPTABLE.
THE USE OF ARROW SHAPES ARE PREFERRED FOR VISIBLE SIGNALS.

20. PASSENGER ELEVATORS SHALL BE LOCATED NEAR A MAJOR PATH OF TRAVEL AND PROVISIONS SHALL BE MADE TO ASSURE THAT THEY REMAIN ACCESSIBLE AND USABLE AT ALL TIMES THE BUILDING IS OCCUPIED.

BEACH ELEVATOR CAR SHALL HAVE A HIGH RECESSED AREA OR MOVEABLE CEILING. WHICH WILL MAKE POSSIBLE THE CARRYING OF A 9 FOOT HIGH LADDER.
CAR DOORS SHALL OPEN AND CLOSE AUTOMATICALLY AND BE PROVIDED WITH DOOR

PROTECTIVE AND REOPENING DEVICE AND SHALL BE ACTIVATED BY AN OBJECT AT +5"

TO 29" ABOVE FINISH FLOOR. 23. OPERATION OF ELEVATORS UNDER FIRE OR OTHER EMERGENCY CONDITIONS SHALL BE AS REQUIRED BY THE GOVERNING AGENCIES. 24. SANTHAR VEFACOMATIES SELF-LEVELING WITH 1/2" MAXIMUM TOLERANCE.

THEY SHALL BE MADE ACCESSIBLE TO THE PHYSICALLY DISABLED WHERE SEPARATE FACILITIES ARE PROVIDED FOR NON- DISABLED PERSONS OF EACH SEX SEPARATE FACILITIES SHALL BE PROVIDED FOR DISABLED PERSONS OF FACH SEX ALSO. WHERE UNISEX FACILITIES ARE PROVIDED FOR NON-DISABLED PERSONS, SUCH UNISEX FACILITIES SHALL BE PROVIDED FOR THE DISABLED.

WHEN SANITARY FACILITIES ARE LOCATED ON ACCESSIBLE FLOORS OF A BUILDING,

ALL DOURWAYS LEADING TO SANITARY FACILITIES SHALL HAVE 32 INCH CLEAR LINORSTRUCTED OPENINGS ON DOORWAYS LEADING TO MEN'S SANITARY FACILITIES, AN EQUILATERAL TRIANGLE 1/4 INCH THICK WITH EDGES 12 INCHES LONG AND A VERTEX POINTING UPWARD SHALL BE PROVIDED AND ON DOORWAYS LEADING TO WOMEN'S SANITARY FACILITIES A CIRCLE 1/4 INCH THICK AND 12 INCHES IN DIAMETER SHALL BE PROVIDED. THESE GEOMETRIC SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60 INCHES AND THEIR COLOR AND CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR

AND CONTRAST OF THE DOOR. PROVIDE PICTOGRAM ON THE WALL ADJACENT TO THE DOOR LATCH SIDE AS NOTED IN THE "SIGNS/PICTOGRAMS" DETAIL. UN DOURWAYS LEADING TO UNISEA SANITARY FACILITIES, AN EQUILATERAL TRIANGLE MOUNTED ON A 12" DIAMETER CIRCLE SHALL BE PROVIDED, EACH 1/4" THICK, LOCATED

AS NOTED IN NOTE #4 ABOVE. PROVIDE UNISEX PICTOGRAM AS NOTED IN NOTE #4 K. ABOVE ACCOMMODATION TOILET FACILITIES (WHERE INDICATED)

THERE SHALL BE SUFFICIENT SPACE IN THE TOILET ROOM FOR A WHEELCHAIR MEASURING 30 INCHES WIDE BY 48 INCHES LONG TO ENTER THE ROOM AND PERMIT THE BOOK TO CLOSE.

THE WATER CLOSET SHALL BE LOCATED IN A SPACE WHICH PROVIDES A MIN. OF 28. INCH WIDE CLEAR SPACE BETWEEN THE WATER CLOSET'S FURTHEST MOST PROTRUDING EDGE AND AN ADJACENT FIXTURE OR A 32 INCH WIDE CLEAR SPACE BETWEEN THE WATER CLOSET'S FURTHEST MOST PROTRUDING EDGE AND AN ADJACENT WALL AT ONE SIDE AND 48 INCHES OF CLEAR SPACE IN FRONT OF THE WATER CLOSET IF THE COMPARTMENT HAS AN END OPENING DOOR (FACING THE WATER CLOSET). A 60 INCH MINIMUM LENGTH CLEAR SPACE SHALL BE PROVIDED IN AN ACCESSIBLE COMPARTMENT WHEN THE DOOR IS LOCATED AT THE SIDE OF THE TOILET 2. STALL COMPARTMENT. GRAB BARS SHALL NOT PROJECT MORE THAN 3 INCHES INTO ET THE CLEAR SPACES AS SPECIFIED ABOVE OR AND WALL SEE "SIGNS/PICTOGRAMS" DETAIL AND TYPICAL TENANT IMPROVEMENT DRAWINGS.

L. MULTIPLE ACCOMMODATION TOILET FACILITIES (WHERE INDICATED) 4

A CLEAR SPACE MEASURED FROM THE FLOOR TO A HEIGHT OF 27 INCHES ABOVE THE FLOOR, WITHIN THE SANITARY FACILITY ROOM, OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER NOT LESS THAN 60 INCHES. OR A CLEAR SPACE NOT LESS THAN 56 INCHES X 63 INCHES IN SIZE SHALL BE PROVIDED. DOORS OTHER THAN THE DOOR TO THE DISABLED TOILET COMPARTMENT IN ANY POSITION MAY ENCROACH INTO

THIS SPACE BY NOT MORE THAN 12 INCHES. A WATER GLOSET FIXTURE LOCATED IN AN ACCESSIBLE COMPARTMENT SHALL PROVIDE A MIN. OF 28 INCH WIDE CLEAR SPACE BETWEEN THE FURTHEST MOST PROTRUDING EDGE OF THE WATER CLOSET AND THE ADJACENT FIXTURE OR A 32 INCH WIDE CLEAR SPACE BETWEEN THE FURTHEST MOST PROTRUDING EDGE OF THE WATER CLOSET AND AN ADJACENT WALL AND A 48 INCH LONG CLEAR SPACE IN FRONT OF THE WATER CLOSET IF THE COMPARTMENT HAS AN EN OPENING DOOR (FACING THE WATER CLOSET). A 60 INCH MINIMUM LENGTH CLEAR SPACE IN FRONT OF THE TOILET CLOSET SHALL BE PROVIDED IN AN ACCESSIBLE COMPARTMENT WHEN THE

DOOR IS LOCATED AT THE SIDE OF THE TOILET STALL COMPARTMENT. GRAB BARS ACCESSIBLE WATER CLOSET COMPARTMENTS SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE, AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WHEN LOCATED AT THE END AND 34 INCHES WHEN LOCATED AT THE SIDE WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES

FROM ITS CLOSED POSITION EXCEPT FOR DOOR OPENING WIDTHS AND DOOR SWINGS, A CLEAR UNOBSTRUCTED ACCESS NOT LESS THAN 44 INCHES SHALL BE PROVIDED TO THE ACCESSIBLE WATER CLOSET COMPARTMENTS DESIGNED FOR USE BY THE DISABLED. THE SPACE IMMEDIATELY IN FRONT OF A WATER CLOSET COMPARTMENT SHALL BE NOT LESS THAN 48 INCHES AS MEASURED AT RIGHT ANGLES TO THE COMPARTMENT DOOR IN ITS CLOSED POSITION. ACCESS TO WATER CLOSET COMPARTMENTS SHALL BE 48. MINIMUM WHEN APPROACH IS NOT FROM LATCH SIDE OF COMPARTMENT DOOR TURNAROUND CLEAR SPACE OF 60" DIAMETER SHALL BE PROVIDED WITHIN THE TOILET

M. ROOM. TO ACCESSORIES

1. THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF 17 INCHES AND A MAXIMUM OF 19 INCHES MEASURED TO THE TOP OF THE TOILET SEAT. PROVIDE 18 INCHES FROM THE CENTERLINE OF THE WATER CLOSET TO THE ADJACENT TOILET FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS, NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.

TOILET FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS, NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.

WHERE URINALS ARE PROVIDED, AT LEAST ONE SHALL HAVE A CLEAR SPACE 30 INCHES WIDE X 48 INCHES LONG IN FRONT OF THE URINAL WHERE URINALS ARE PROVIDED, AT LEAST ONE WITH A RIM PROJECTING A MINIMUM OF 14 INCHES FROM THE WALL AND A MAXIMUM OF 17 INCHES ABOVE THE FLOOR SHALL BE 8 PROVIDED.

6. URINAL FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS PER FOOT. A CLEAR FLOOR SPACE 30 INCHES WIDE X 48 INCHES LONG SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH, SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.

LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 29 INCHES FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30 INCHES IN WIDTH WITH 8 INCHES MINIMUM DEPTH AT THE TOP. TOE CLEARANCE SHALL BE THE SAME WIDTH AND SHALL BE A MINIMUM OF 9 INCHES HIGH FROM THE FLOOR AND A MINIMUM OF 17 INCHES DEEP FROM THE FRONT OF THE LAVATORY

9. A PROJECTION OF A LAVATORY BOWL INTO THE 8 INCH CLEAR SPACE, THEREBY REDUCING THE CLEAR HEIGHT BELOW THE LAVATORY TO NO LESS THAN 27 INCHES AT 8 INCHES BACK FROM THE APRON. MEETS THE REQUIREMENT FOR PROVIDING KNEE CLEARANCE. THE MAXIMUM HEIGHT OF 34 INCHES SHALL BE MAINTAINED TO THE TOP OF THE COUNTERTOP OR LAVATORY BOWL RIM IF THE LAVATORY IS A DROP-IN MODEL. WHICHEVER IS HIGHER.

10. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR

OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
FAUCE I CUNTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS. LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED, IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

12. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM OF THE MIRROR'S REFLECTIVE SURFACE AT NOT MORE THAN 40" FROM THE FLOOR. 13. LOCATE TOWEL, SANITARY NAPKIN, AND WASTE RECEPTACLES WITH ALL OPERABLE PARTS NOT MORE THAN 40 INCHES FROM THE FLOOR.

14. LOCATE TOILET TISSUE DISPENSERS ON THE WALL WITHIN 12 INCHES OF THE FRONT EDGE OF THE TOILET SEAT. CONTINUOUS ROLL DISPENSER IS REQUIRED. 15. GRAB BARS, TUB AND SHOWER SEATS, FASTENERS AND MOUNTING DEVICES SHALL BE DESIGNED FOR 250 LB. PER LINEAR FOOT LOAD.

GRAB BARS SHALL BE LOCATED ON EACH SIDE, OR ONE SIDE AND THE BACK OF THE ACCESSIBLE TOILET STALL OR COMPARTMENT AND SHALL BE SECURELY ATTACHED 33 INCHES ABOVE AND PARALLEL TO THE FLOOR. SEE NOTE #8 BELOW FOR

ADDITIONAL INFORMATION. GRAB BARS AT THE SIDE SHALL BE AT LEAST 42 INCHES LONG WITH THE FRONT END POSITIONED 24 INCHES IN FRONT OF THE WATER CLOSET STOOL, AND GRAB BARS AT THE BACK SHALL BE NOT LESS THAN 36 INCHES LONG. THE OUTSIDE DIAMETER OR WIDTH OF THE GRIPPING SURFACES SHAPE SHALL

PROVIDE AN EQUIVALENT GRIPPING SURFACE OF A GRAB BAR SHALL BE 1 1/4 INCHES 4. IF THE GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1 1/2 INCHES. A GRAB BAR ON ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF

ANY SHARP OR ABRASIVE ELEMENTS. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

7. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH. 8. WHERETANK TYPE WATER CLOSETS AREUSED, GRAB BARS MAY BE INSTALLED AT+36"

O. בייהואלוי NKING FOUNTAINS (WHERE INDICATED) 1. WHERE WATER FOUNTAINS ARE PROVIDED, THEY SHALL COMPLY WITH DISABLED

ACCESS REQUIREMENTS. SEE TYPICAL ACCESSIBILITY DETAILS SHEET. 2. WATER FOUNTAINS SHALL BE LOCATED COMPLETELY WITHIN ALCOVES OR OTHERWISE POSITIONED SO AS NOT TO ENCROACH INTO PEDESTRIAN WAYS. THE ALCOVE IN WHICH THE WATER FOUNTAIN IS LOCATED SHALL BE OF NOT LESS THAN A MIN. OF 32" CLEAR FOR SINGLE DRINKING FOUNTAINS AND 63" MIN. CLEAR FOR DOUBLE DRINKING FOUNTAINS AND NOT TO EXCEED, BUT TO BE EQUAL TO, THE FOUNTAIN DEPTH. CONTRACTOR SHALL COORDINATE ALCOVE SIZE TO BE IN COMPLIANCE WITH CODE REQUIREMENTS AND MANUFACTURER'S

RECOMMENDATIONS, AIN SHALL BE A MINIMUM OF 18 INCHES IN DEPTH AND THERE SHALL BE CLEAR AND UNOBSTRUCTED KNEE SPACE UNDER THE DRINKING FOUNTAIN NOT LESS THAN 27 INCHES IN HEIGHT AND 8 INCHES IN DEPTH. THE DEPTH NOT APPLICABLE MEASUREMENT BEING TAKEN FROM THE FRONT EDGE OF THE FOUNTAIN. ADDITIONALLY, THERE SHALL BE TOE CLEARANCE OF 9 INCHES IN HEIGHT ABOVE THE FLOOR. AND 17 INCHES IN DEPTH FROM THE FRONT EDGE OF THE FOUNTAIN. A SIDE APPROACH DRINKING FOUNTAIN IS NOT ACCEPTABLE.

THE BUBBLER SHALL BE ACTIVATED BY A CONTROL WHICH IS EASILY OPERATED BY A DISABLED PERSON SUCH AS A HAND- OPERATED LEVER TYPE CONTROL LOCATED WITHIN 6 INCHES OF THE FRONT OF THE DRINKING FOUNTAIN, ETC. THE BUBBLER OUTLET ORIFICE SHALL BE LOCATED SUCH THAT THE FLOW OF WATER IS WITHIN 3 INCHES OF THE FRONT EDGE OF THE DRINKING FOUNTAIN AND SHALL BE NO MORE THAN 33" FROM THE FLOOR. THE WATER STREAM FROM THE BUBBLER SHALL BE SUBSTANTIALLY PARALLEL TO THE DRINKING FOUNTAIN.

THE SURFACE OF THE PATH OF TRAVEL AT THE WATER FOUNTAIN SHALL BE TEXTURED AND OF CONTRASTING COLOR TO THE ADJACENT WALKING SURFACE AND WHEN FOUNTAIN IS AT INTERIOR LOCATION THE TEXTURED AREA SHALL BE OF DIFFERENT RESILIENCY THAN THE ADJACENT WALKING SURFACE. THE TEXTURED AREA SHALL EXTEND BEYOND THE FRONT AND BACK SIDE OF THE WATER FOUNTAIN

P. (S): LEPHONES: (WHERE INDICATED)

1. IF PUBLIC TELEPHONES ARE PROVIDED THEY SHALL COMPLY WITH DISABLED ACCESS REQUIREMENTS. SEE TYPICAL ACCESSIBILITY DETAIL SHEET. PROVIDE A 30 INCHES X 48 INCHES CLEAR SPACE AT TELEPHONE. THE CLEAR SPACE MAY INCLUDE KNEE SPACE UNDER THE TELEPHONE.

THE FLOOR IF FORWARD APPROACHED AND 54 INCHES IF SIDE APPROACHED. TELEPHONES MOUNTED DIAGONALLY IN A CORNER REQUIRING WHEELCHAIR USERS TO REACH DIAGONALLY SHALL HAVE THE HIGHEST OPERABLE PART NO HIGHER THAN 46 INCHES ABOVE THE FLOOR. ENTRANCES TO FULL-HEIGHT ENCLOSURES SHALL BE 30 INCHES WIDE, MINIMUM. 6. FRONTAL APPROACH TELEPHONES REQUIRE A 30 INCH CLEAR WIDTH ENCLOSURE IF OVERHANG EXCEEDS 12 INCHES. IF THE CLEAR WIDTH OF THE ENCLOSURE IS LESS THAN 30 INCHES THE LOWEST OVERHANG PART IS TO BE A MAXIMUM OF 27 INCHES

THE HIGHEST OPERABLE PART OF THE TELEPHONE SHALL BE WITHIN 48 INCHES OF

FROM THE FLOOR. 7. SIDE APPROACH TELEPHONES REQUIRE THAT THE ENCLOSURE OVERHANG BE NO MORE THAN 19 INCHES AND BE AT LEAST 27 INCHES FROM THE FLOOR.

THE CORD FROM THE TELEPHONE TO THE HANDSET SHALL BE AT LEAST 29 INCHES IELEPHONES SHALL BE EQUIPPED WITH A RECEIVER THAT GENERATES A MAGNETIC FIELD IN THE AREA OF THE RECEIVER CAP. IF BANKS OF PUBLIC TELEPHONES ARE PROVIDED, THEN ALL ACCESSIBLE TELEPHONES, BUT ALWAYS AT LEAST ONE, IN A BUILDING OR FACILITY SHALL BE EQUIPPED WITH A VOLUME CONTROL AND SHALL BE IDENTIFIED BY A SIGN OF A TELEPHONE HANDSET WITH RADIATING SOUND WAVE. 10. TELEPHONES SHALL HAVE PUSH-BUTTON CONTROLS WHERE SERVICE FOR SUCH EQUIPMENT IS AVAILABLE.

11. SEE ADDITIONAL REQUIREMENTS FROM SECTIONS T, U, & W BELOW.

Q. HAZARDS AND PROTRUDING OBJECTS

1. OBJECTS PROJECTING FROM WALLS (FOR EXAMPLE, TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROJECT NO MORE THAN 4 INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27 INCHES ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT.

FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12 INCHES MAXIMUM FROM 27 INCHES TO 80 INCHES ABOVE THE GROUND OR FINISHED 4. FLOOR. JDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE.

ANY OBSTRUCTION OVERHANGING A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKING SURFACE AS MEASURED TO THE BOTTOM OF THE OBSTRUCTION.

6. WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES OR OTHER CIRCULATION SPACES SHALL HAVE 80 INCHES MINIMUM CLEAR UNOBSTRUCTED HEAD ROOM (6'-8"). 7. ABRUPT CHANGES IN LEVEL, EXCEPT BETWEEN A WALK OR SIDEWALK AND ANADJACENT STREET OR DRIVEWAY, EXCEEDING 4 INCHES IN A VERTICAL DIMENSION, SUCH AS AT PLANTERS, LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS, OR OTHER PEDESTRIAN WAYS SHALL BE IDENTIFIED BY CURBS PROJECTING AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE TO WARN THE BLIND OF A POTENTIAL DROP- OFF. WHEN A GUARDRAIL OR HANDRAIL IS PROVIDED, NO CURB IS REQUIRED IF A GUIDE RAIL IS PROVIDED CENTERED 3 INCHES PLUS OR MINUS ONE INCH ABOVE THE SURFACE OF THE WALK OR SIDEWALK AND, THE WALK IS 4.9 PERCENT OR LESS GRADIENT OR NO ADJACENT HAZARD EXISTS... I'U MANDKAILS SMALL BE FREE OF SMARP OR ABRASIVE

R. CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS

THE MINIMUM CLEAR FLOOR OR GROUND SPACE REQUIRED TO ACCOMMODATE A SINGLE STATIONARY WHEELCHAIR AND OCCUPANT IS 30 INCHES X 48 INCHES. THE MINIMUM CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT, UNLESS NOTED OTHERWISE. CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE PART OF THE KNEE SPACE REQUIRED UNDER SOME OBJECTS.

ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR OR GROUND SPACE FOR A WHEELCHAIR SHALL ADJOIN OR OVERLAP, AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER WHEELCHAIR CLEAR FLOOR SPACE. IF A CLEAR FLOOR SPACE IS LOCATED IN AN ALCOVE OR OTHERWISE CONFINED ON ALL OR APART OF THREE SIDES. ADDITIONAL MANEUVERING CLEARANCES SHALL BE PROVIDED.

PROVIDE AN ADDITIONAL 12 INCH WIDTH ON ONE SIDE FOR ALCOVES GREATER THAN 15 INCHES DEEP AND DESIGNED FOR FRONTAL APPROACH, EXCEPT AT DRINKING FOUNTAIN ALCOVES WHICH MAY BE A MAXIMUM OF 24" DEEP BEFORE REQUIRING THE ADDITIONAL 12" CLEAR WIDTH.DDITIONAL 6 INCHES WIDTH ON ONE SIDE FOR ALCOVES GREATER THAN 24

IF THE CLEAR FLOOR SPACE ONLY ALLOWS FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48 INCHES AND THE LOW SIDE REACH SHALL BE NO LESS THAN 15 INCHES ABOVE THE FLOOR. IF THE HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE HORIZONTAL DIMENSION OF THE OBSTRUCTION SHALL BE LESS THAN 25 INCHES. THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL THEN BE 44 INCHES WHEN THE HORIZONTAL DIMENSION OF THE OBSTRUCTION IS BETWEEN 20 INCHES AND 25 INCHES.

IF THE CLEAR FLOOR SPACE ALLOWS PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR, THE MAXIMUM HIGH SIDE REACH ALLOWED SHALL BE 54 INCHES AND THE LOW SIDE REACH SHALL BE NO LESS THAN 9 INCHES ABOVE THE FLOOR. SIDE REACH IS ALLOWED OVER AN OBSTRUCTION PROVIDED THE HORIZONTAL DIMENSION OF THE OBSTRUCTION DOES NOT EXCEED 24 INCHES AND MAXIMUM HIGH REACH OVER A 24 INCH OBSTRUCTION SHALL THEN BE 46 INCHES.

S. ADDITIONAL REQUIREMENTS

INCHES DEEP AND DESIGNED FOR FRONTAL APPROACH.

THE CENTER OF RECEPTACLE OUTLETS SHALL BE NOT LESS THAN 18 INCHES ABOVE THE FLOOR OR WORKING PLATFORM

THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING AND VENTILATING EQUIPMENT, SHALL BE NOT LESS THAN 30" NOR MORE THAN 44" ABOVE THE FLOOR OR WORKING PLATFORM

THE CENTER OF FIRE ALARM INITIATING DEVICES (BOXES) SHALL BE LOCATED 44 INCHES ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK. NATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY DISABLED PERSONS

AS SET FORTH IN THE GOVERNING AGENCIES ACCESSIBILITY STANDARDS. THE SYMBOL SPECIFIED ABOVE SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD #595A. SEE "SIGNS / PICTOGRAPHS" DETAIL ON TYPICAL ACCESSIBILITY DETAIL SHEET. IONES: (A) IF PUBLIC PAY TELEPHONES, PUBLIC CLOSED CIRCUIT TELEPHONES, OR OTHER PUBLIC TELEPHONES ARE PROVIDED, THEN THEY SHALL COMPLY TO THE EXTENT REQUIRED BY THE FOLLOWING TABLE:

NUMBER OF EACH TYPE OF TELEPHONE PROVIDED ON EACH FLOOR ORE SINGLE UNIT

2 OR MORE BANKS

NUMBER OF TELEPHONES REQUIRED TO COMPLY (1)

1 PER BANK, ACCESSIBLE UNIT MAY BE INSTALLED AS A SINGLE UNIT IN PROXIMITY (EITHER VISIBLE OR WITH SIGNAGE) TO THE BANK. AT LEAST ONE PUBLIC TELEPHONE PER FLOOR SHALL MEET THE REQUIREMENTS FOR A FORWARD REACH TELEPHONE. (3)

(1) ADDITIONAL PUBLIC TELEPHONES MAY BE INSTALLED AT ANY HEIGHT. UNLESS OTHERWISE SPECIFIED, ACCESSIBLE TELEPHONES MAY BE EITHER FORWARD OR SIDE REACH TELEPHONES.

(2) A BANK CONSISTS OF TWO OR MORE ADJACENT PUBLIC TELEPHONES, OFTEN INSTALLED AS A UNIT. (3) EXCEPTION: FOR EXTERIOR INSTALLATION ONLY, IF DIAL TONE FIRST SERVICE IS

AVAILABLE, THEN A SIDE REACH TELEPHONE MAY BE INSTALLED INSTEAD OF THE REQUIRED FORWARD REACH TELEPHONE (I.E. ONE TELEPHONE IN PROXIMITY OF EACH (B) BANK SHALL COMPLY.)L BE PROVIDED: (C) IF A TOTAL NUMBER OF FOUR OR MORE PUBLIC PAY TELEPHONES (INCLUDING BOTH

INTERIOR AND EXTERIOR PHONES) IS PROVIDED AT A SITE, AND AT LEAST ONE IS IN AN INTERIOR LOCATION, THEN AT LEAST ONE INTERIOR PUBLIC TEXT TELEPHONE SHALL BE TE>PROVIDED.)NES SHALL BE IDENTIFIED BY THE INTERNATIONAL TDD SYMBOL. IN ADDITION, IF A FACILITY HAS A PUBLIC TEXT TELEPHONE, DIRECTIONAL SIGNAGE INDICATING THE LOCATION OF THE NEAREST TELEPHONE SHALL BE PLACED ADJACENT TO ALL BANKS OF TELEPHONES WHICH DO NOT CONTAIN A TEXT TELEPHONE. SUCH DIRECTIONAL SIGNAGE SHALL INCLUDE THE INTERNATIONAL TDD SYMBOL. IF A FACILITY HAS NO BANKS OR TELEPHONES, THE DIRECTIONAL SIGNAGE SHALL BE PROVIDED AT THE

A. TEXT TELEPHONES USED WITH A PAY TELEPHONE SHALL BE PERMANENTLY AFFIXED WITHIN OR ADJACENT TO THE TELEPHONE ENCLOSURE. IF AN ACOUSTIC COUPLER IS USED, THE TELEPHONE CORD SHALL BE SUFFICIENTLY LONG ENOUGH TO ALLOW CONNECTION OF THE TEXT TELEPHONE AND THE TELEPHONE RECEIVE PAY TELEPHONES DESIGNED TO ACCOMMODATE A PORTABLE TEXT TELEPHONE SHALL BE EQUIPPED WITH A SHELF AND AN ELECTRICAL OUTLET WITHIN OR ADJACENT TO THE TELEPHONE ENCLOSURE. THE TELEPHONE HANDSET SHALL BE CAPABLE OF BEING

PLACED FLUSH ON THE SURFACE OF THE SHELF. THE SHELF SHALL BE CAPABLE OF ACCOMMODATING A TEXT TELEPHONE AND SHALL HAVE 6 INCHES (152 MM) MINIMUM VERTICAL CLEARANCE IN THE AREA WHERE THE TEXT TELEPHONE IS TO BE PLACED. CONTRACTORS SHALL COORDINATE WITH FIRE DEPT. FOR ANY REQUIREMENTS FOR AUDIBLE AND VISUAL ALARMS THAT MAY NEED TO BE ACTIVATED BY THE FIRE PROTECTION

SYSTEM, OR OTHER MEANS OF EMERGENCY NOTIFICATION FOR THE OCCUPANTS OF A BUILDING OR SPACE. AND SHALL INSTALL VISUAL ALARMS WHEN AUDIBLE ALARMS ARE REQUIRED TO BE INSTALLED. ALL ALARM SYSTEMS SHALL COMPLY WITH A.D.A. REQUIREMENTS IN ADDITION TO STATE AND LOCAL REQUIREMENTS.

CONTRACTOR SHALL INSTALL SELF-ILLUMINATING LOW LEVEL EXIT PATH MARKING IN EXIT CORRIDORS AND LOW-LEVEL EXIT SIGNS ON EXIT DOORS PER GOVERNING AGENCIES' REQUIREMENTS. LOW-LEVEL EXIT PATH MARKINGS SHALL BE PERCEPTIBLE TO THE SENSE

GENERAL. ALARM SYSTEMS REQUIRED TO COMPLY WITH THIS SECTION. AT A MINIMUM VISUAL SIGNAL APPLIANCES SHALL BE PROVIDED IN BUILDINGS AND FACILITIES TO EACH OF THE FOLLOWING AREAS: RESTROOMS AND ANY OTHER, GENERAL USAGE AREAS (E.G.

IF PROVIDED, AUDIBLE EMERGENCY ALARMS AUDIBLE ALARMS, SHALL PRODUCE A SOUND

THAT EXCEEDS THE PREVAILING EQUIVALENT SOUND LEVEL IN THE ROOM OR SPACE BY AT LEAST OR EXCEEDS ANY MAXIMUM SOUND LEVEL WITH A DBA 15 WHICHEVER IS LOUDER DBA DURATION OF 60 SECONDS BY 5 SOUND LEVELS FOR ALARM SIGNALS SHALL NOT EXCEED 120 DBAJLARM SIGNAL APPLIANCES SHALL BE VISUAL ALARMS. INTEGRATED INTO THE BUILDING OR FACILITY ALARM SYSTEM. SINGLE STATION AUDIBLE ALARMS ARE PROVIDED

THEN SINGLE STATION VISUAL ALARM SIGNALS SHALL BE PROVIDED. VISUAL ALARM PHOTOMETRIC AND LOCATION FEATURES:

MEETING), HALLWAYS, LOBBIES, AND ANY OTHER AREA FOR COMMON USE.

A. THE LAMP SHALL BE A XERION STROBE TYPE OR EQUIVALENT. B. THE COLOR SHALL BE CLEAR OR NOMINAL WHITE (I.E., UNFILTERED OR CLEAR C. THE MAXIMUM PULSE DURATION SHALL BE TWO-TENTHS OF ONE SECOND (0.2 SEC)

WITH A MAXIMUM DUTY CYCLE OF 40 PERCENT. THE PULSE DURATION IS DEFINED AS THE TIME INTERVAL BETWEEN INITIAL AND FINAL POINTS OF 10 PERCENT OF MAXIMUM D. SIGNAL.ENSITY SHALL BE A MINIMUM OF 75 CANDELA.

REQUIRED SHALL BE MORE THAN 50 FT (15M) FROM THE SIGNAL.

E. AND A HAS THE FLASH RATE SHALL BE A MINIMUM OF 1 HZ MAXIMUM OF 3 F. THE APPLIANCE SHALL BE PLACED 80 TN (2030 MN) ABOVE THE HIGHEST FLOOR LEVEL

WITHIN THE SPACE OR 6 TN (152 MM) BELOW THE CEILING, WHICHEVER IS LOWER. G. IN GENERAL, NO PLACE IN ANY ROOM OR SPACE REQUIRED TO HAVE A VISUAL SIGNAL APPLIANCE SHALL BE MORE THAN 50 FT (15M) FROM THE SIGNAL (IN THE HORIZONTAL PLANE). IN LARGE ROOMS AND SPACES EXCEEDING 100 FT (30M) ACROSS, WITHOUT OBSTRUCTIONS 6 FT (2M) ABOVE THE FINISH FLOOR, SUCH AS AUDITORIUMS, DEVICES MAY BE PLACED AROUND THE PERIMETER, SPACED A MAXIMUM 100 FT (30M) APART IN LIEU OF SUSPENDING APPLIANCES FROM THE CEILING. H. NO PLACE IN COMMON CORRIDORS OR HALLWAYS IN WHICH VISUAL ALARM SIGNALING APPLIANCES ARE

T. ALARMS

G.C. TO VERIFY ALL APPLICABLE ACCESSIBILITY NOTES WITH THE LOCAL JURISDICTION AND CODES. ALL ITEMS LISTED MAY NOT APPLY TO THIS PROJECT



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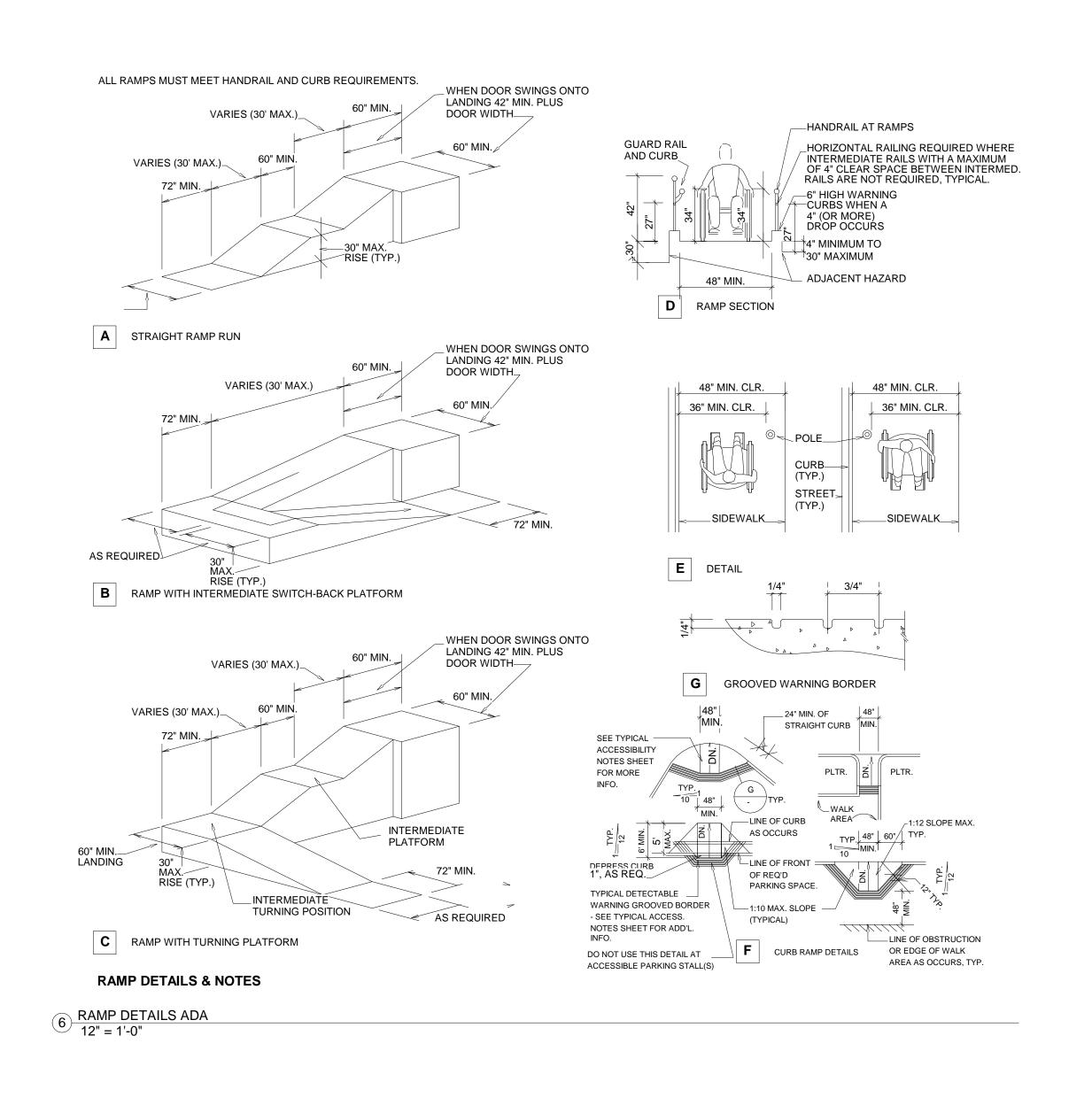
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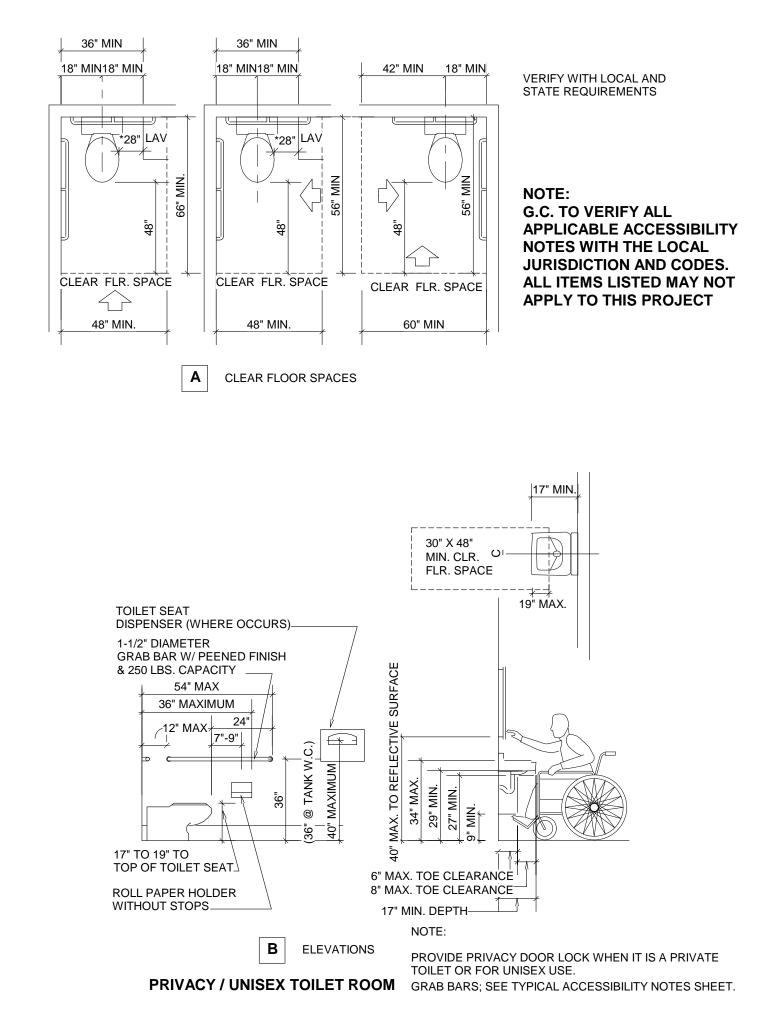
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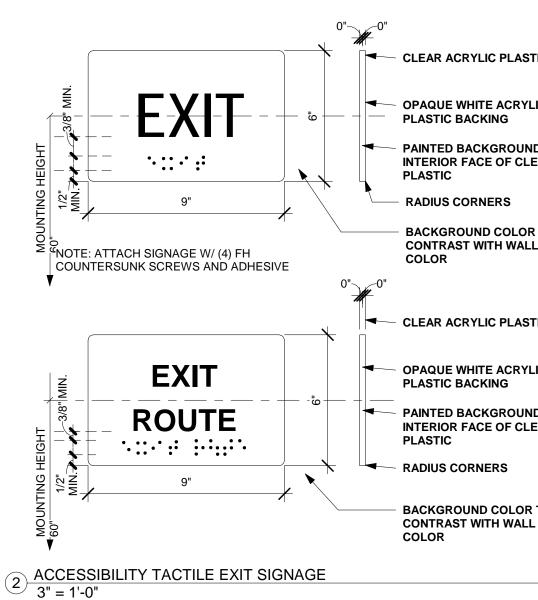
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5 RESTROOM ADA DETAIL 1
12" = 1'-0"



LETTERS AND NUMBERS:

- 1. WIDTH TO HEIGHT RATIO BETWEEN 3:5 AND 1:1.
- 2. STROKE WIDTH TO HEIGHT BETWEEN 1:5 AND 1:10.
- 3. CONTRAST CHARACTERS AND SYMBOLS WITH BACKGROUND.
- 4. SANS SERIF CHARACTERS.

SIGNS / PICTOGRAMS

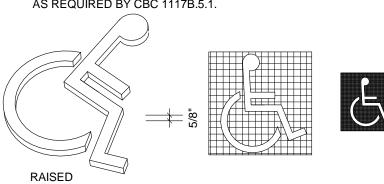
- 5. PICTOGRAMS / PICTORIAL SYMBOL SIGNS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION SHALL BE 6" MINIMUM HEIGHT.
- 6. CHARACTERS AND BACKGROUNDS SHALL BE OF NON-GLARE CONTRASTING COLORS.
- 7. SIGNS / PICTOGRAMS SHALL BE INSTALLED ON THE WALL ADJACENT TO DOOR LEADING TO THE ROOM OR SPACE THEY DESCRIBE AND AT 60" A.F.F. TO SIGN CENTERLINE AND WHERE A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE DOOR SWING AREA.
- 8. VERTICAL CLEARANCE AT SUSPENDED SIGNS WITH MINIMUM HEADROOM OF 80" REQUIRE MINIMUM 3" CHARACTER HEIGHT MEASURED BY USING UPPERCASE "X". CHARACTERS AND NUMBERS SHALL BE SIZED ACCORDING TO VIEWING DISTANCE FROM WHICH READ. LOWER CASE CHARACTERS PERMITTED.

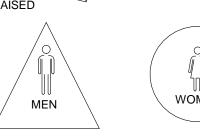
SIGN LOCATIONS:

- 9. ALL ACCESSIBLE ENTRANCES IDENTIFIED WITH MINIMUM OF ONE STANDARD SIGN.
- 10. ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
- 11. BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.

INTERNATIONAL SYMBOL OF ACCESSIBILITY:

- 12. STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
- 13. WHITE FIGURE ON BLUE BACKGROUND, COLOR # 15090 ON FEDERAL STANDARD # 595A.
- 14. WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL DESIGNS AND COLORS MAY BE APPROVED.
- 15. USE CONTRASTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
- 16. 0.2 INCH SPACE BETWEEN CELLS.
- 17. DOTS RAISED MINIMUM 0.025 INCH ABOVE BACKGROUND.
- 18. WHEN SIGNS ARE USED TO IDENTIFY PERMANENT ROOMS AND SPACES OF BUILDINGS, BRAILLE MUST BE INCLUDED AS PART OF THAT SIGNAGE AS REQUIRED BY CBC 1117B.5.1.



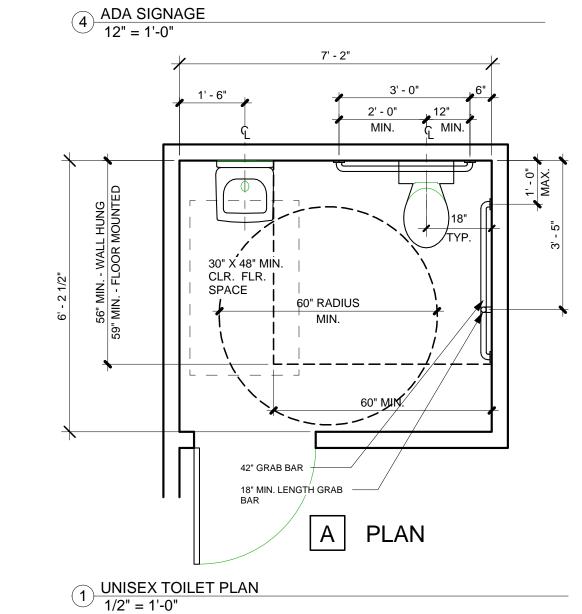




RESTROOMS









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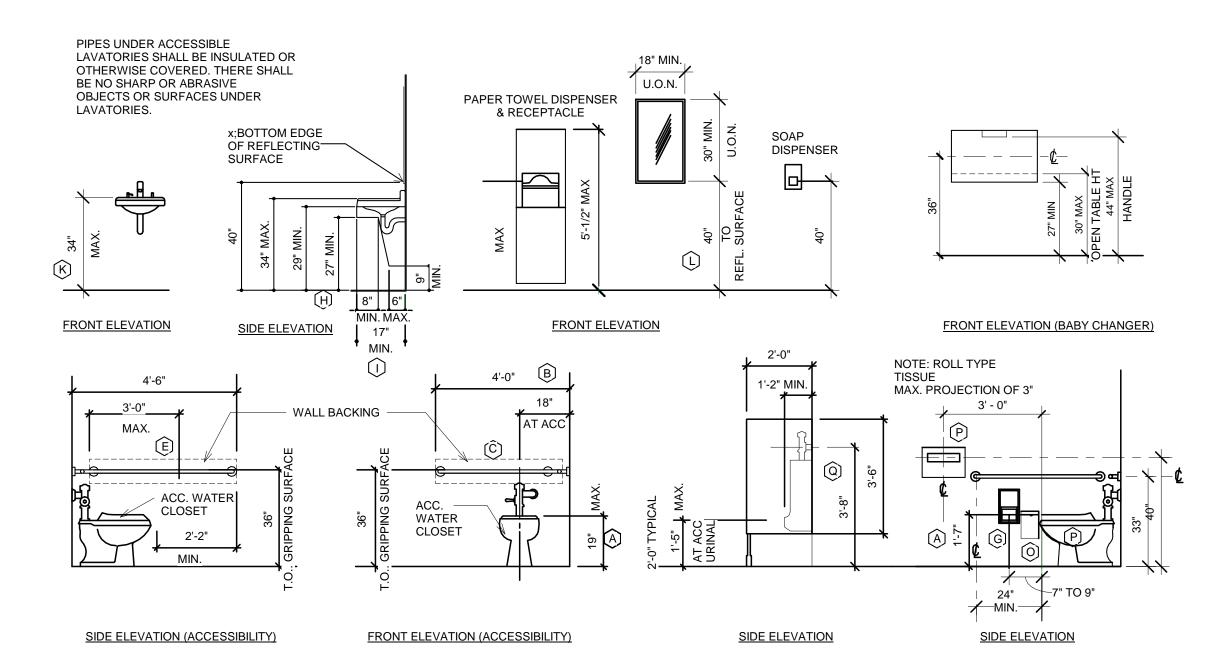
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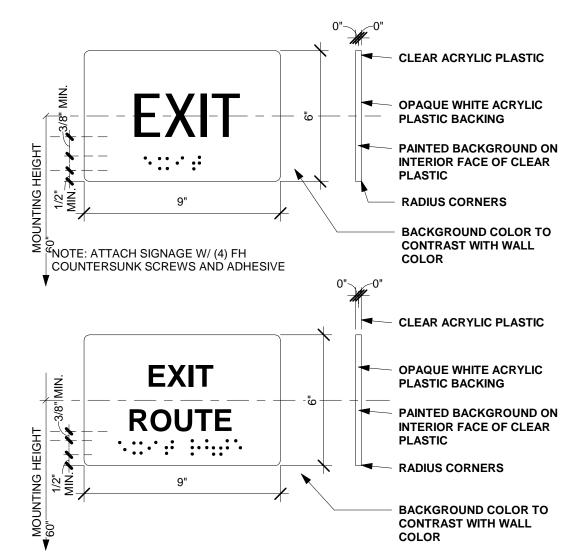
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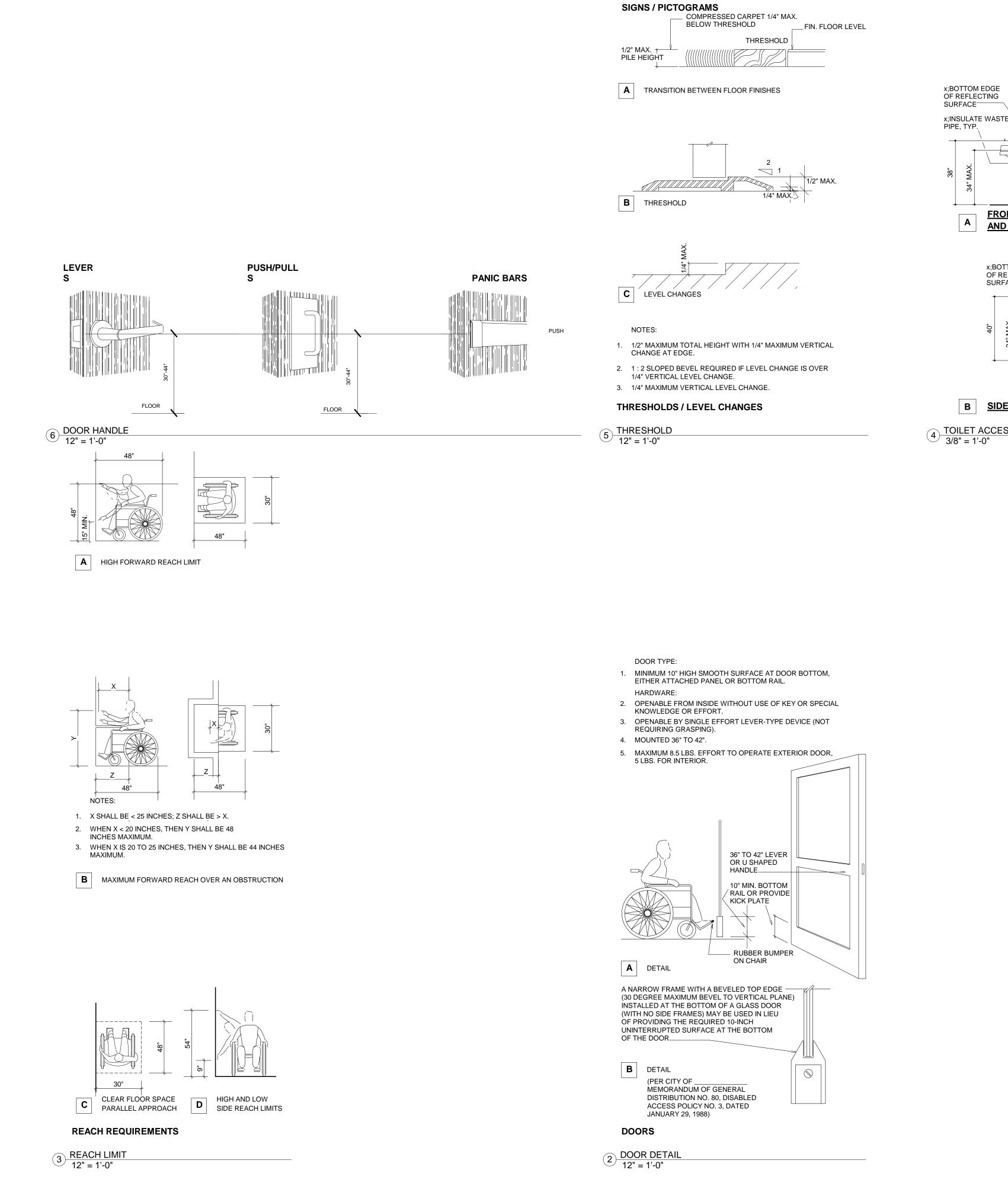
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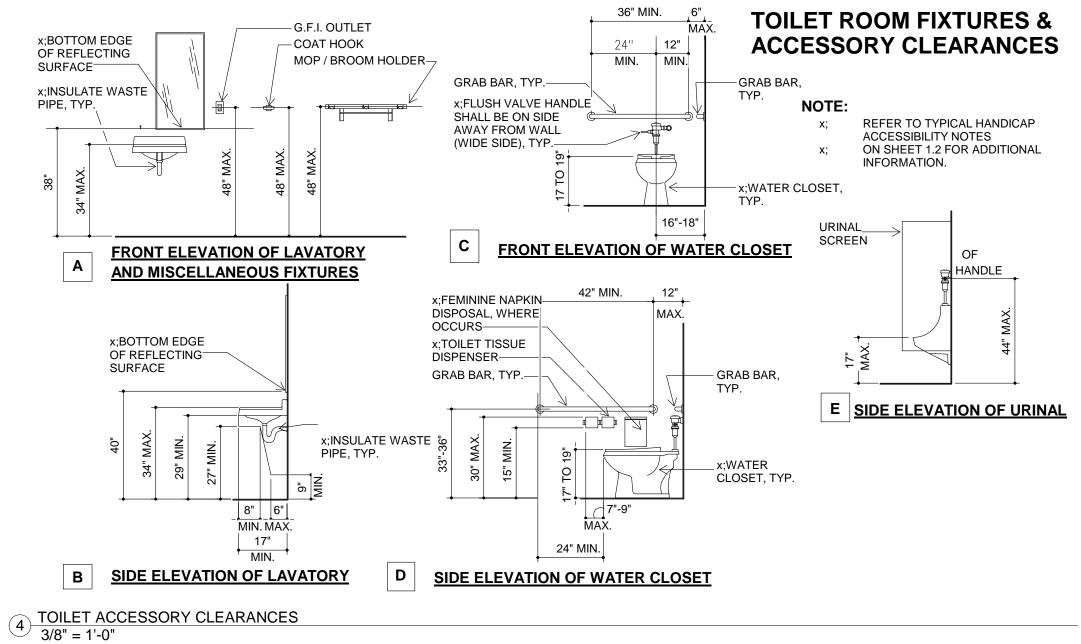
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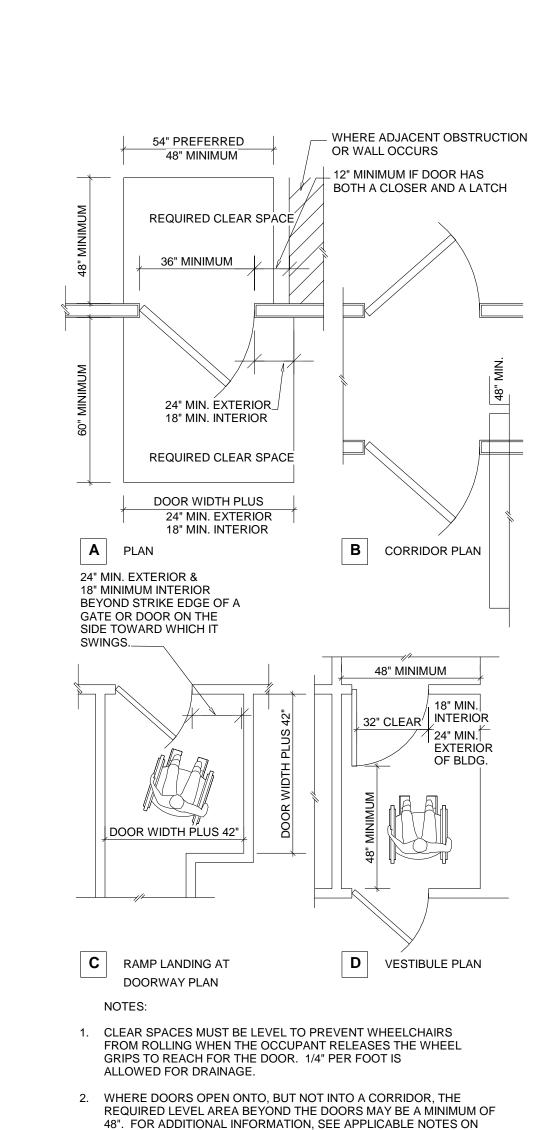


3/8" = 1'-0"









TYPICAL ACCESSIBILITY NOTES SHEET.

DOOR CLEAR SPACE

1 DOOR CLEARANCE 12" = 1'-0"



GEOFFREY B. LIM aia, ncarb, leed ap

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Project Owner:

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W. 1ST STRE UNIT B & C JSTIN,CA 9278



Issue For: ISSUED FOR

CONSTRUCTION Issue Date:

02.26.2018 REASON

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135 W. FIRST STREET UNIT #B&C

TUSTIN,CA 92780

Project Number:

142-002-18

Sheet Title: ACCESSIBILITY NOTES & DETAILS

CONTRACTOR GENERAL NOTES

- THE TERM "OWNER" OR "TENANT" SHALL REFER TO OBU RAMEN AND HIS/HER AGENTS OR REPRESENTATIVES. THE TERM "GENERAL CONTRACTOR" AND "GC" SHALL REFER TO THE PERSON AND/OR PERSONS WHO HAVE CONTRACTED OR SUBCONTRACTED FOR THE WORK. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL REVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN
- GC SHALL VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BID. ANY DISCREPANCIES WITHIN THESE DRAWINGS AND/OR BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GC PRIOR TO THE START OF ANY WORK. GC SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. IF THE CONTRACT DRAWINGS APPEAR TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST. CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. IN CASE OF DISCREPANCIES OR CONFLICTS, NOTIFY ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH THE OWNERS REQUIREMENTS PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THESE REQUIREMENTS. ALL WORK SHALL BE PERFORMED AS TO COMPLY WITH ALL GOVERNING STATUTES, ORDINANCES, GOVERNMENTAL AND JURISDICTIONAL PERMITS AND APPROVALS AS OBTAINED. CONTRACTORS SHALL NOT SUBMIT A BID FOR THIS WORK UNLESS THEY ARE FULLY QUALIFIED AND LICENSED BY THE STATE IN WHICH THE WORK IS TO BE PERFORMED. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL MANNER AND SHALL BE IN GOOD AND USABLE CONDITION AT THE DATE OF COMPLETION THEREOF.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING BUILDING PERMIT APPROVED PLANS AS APPROVED FOR ALL PERMIT REVISIONS AND OTHER CHANGES. NO WORK SHALL BEGIN PRIOR TO RECEIPT OF BUILDING PERMIT AND REVIEW OF PERMIT PLANS BY GENERAL CONTRACTOR.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY OF PERSONS, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATION REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR. SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCTION OF A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK, ARCHITECTURAL
- ELECTRICAL, PLUMBING, HVAC AND SIGNAGE COORDINATION. GC SHALL COORDINATE ALL WORK TO BE PERFORMED. GC IS TO COORDINATE WORKING HOURS, DELIVERIES, TRASH REMOVAL, STORAGE, ETC. WITH OWNER. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK
- THE ARCHITECT SHALL BE AVAILABLE TO VISIT THE SITE WHEN REQUESTED. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ENGINEERS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR INSTALL OR PERMIT TO BE INSTALLED ANY MATERIALS CONTAINING ASBESTOS WITHIN THE BUILDING OR ON THE PREMISES. GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR TRASH DUMPSTER SERVICE AND/OR REFUSE REMOVAL FOR ALL SUB-CONTRACTORS WHICH INCLUDE MILL WORK, AND FOOD SERVICE. CONTACT TENANT COORDINATOR, LANDLORD OR MUNICIPALITY FOR COORDINATION.
- THE ABBREVIATION OF "NIC" INDICATES WORK AND OR MATERIALS THAT IS NOT IN THE CONTRACT OF THE GENERAL CONTRACTOR, HOWEVER THIS DOES NOT RELIEVE THE GC OF THE RESPONSIBILITY OF COORDINATION.

OF APPROVED LOCATION(S) PER LOCAL REGULATIONS

CERTIFICATE OF OCCUPANCY SURVEYS AND INSPECTIONS.

- ALL CONCEALED WOOD BLOCKING IN WALLS AND CEILING SHALL BE TREATED AND FLAME
- ALL WALL AND CEILING CONSTRUCTION SHALL BE SUPPORTED BY STRUCTURE AND NOT BY ROOF DECK IF APPLICABLE. IN ADDITION TO THE GENERAL NOTES LISTED HEREIN. AIA DOCUMENT A201 GENERAL
- CONDITION OF THE CONTRACT FOR CONSTRUCTION SHALL APPLY. PERMIT FEES SHALL BE SECURED BY OWNER. CONTRACTOR SHALL SECURE PERMITS AND FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO SUBCONTRACTOR PERMITS, WATER, ELECTRIC AND TELEPHONE SERVICE CONNECTION.
- PRIOR TO BEGINNING WORK THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES AND PROTECTING THEM FROM DAMAGE DURING CONSTRUCTION. SHOULD DAMAGE OCCUR THE CONTRACTOR SHALL MAKE REPAIRS AT NO COST TO THE OWNER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE OWNER AND WITH THE SUBCONTRACTOR FOR MECHANICAL, PLUMBING, AND ELECTRICAL TRADE. DRAWINGS WILL BE SUBMITTED FOR REVIEW AS NEEDED BY MUNICIPALITY. THE SUBCONTRACTOR WILL SUBMIT REQUIRED DRAWINGS FOR APPROVAL TO THE APPROPRIATE AGENCIES MEETING ALL CODES OF THE CITY AND STATE. REPRODUCIBLE APPROVED DRAWINGS MUST BE SENT TO THE OWNER AND ARCHITECT.
- ITEMS NOT INDICATED IN THESE CONSTRUCTION DOCUMENTS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO COMPLETE THE WORK AT HAND SHALL BE FURNISHED BY THE CONTRACTOR AS THOUGH IT WERE DETAILED HEREIN.
- THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT OF RECORD AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE EXCEPT BY WRITTEN AGREEMENT.
- THE CONTRACTOR WARRANTS TO THE OWNER AND BUILDING MANAGEMENT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT SO CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD THAT NO INFERIOR OR NON-CONFORMING WORK OF THE MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE. IF REQUIRED BY THE OWNER, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND INSTALLATION OF MATERIALS. THE WARRANTIES AND GUARANTEES PROVIDED IN THE CONSTRUCTION DOCUMENTS SHALL BE
- IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY AND GUARANTY OR REMEDY REQUIRED BY LAW OR THE CONSTRUCTION DOCUMENTS. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS, AND WORKMANSHIP
- FURNISHED OR INSTALLED BY HIM/HER OR THEIR SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS/HER
- PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER WORK AND THAT OF THEIR SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT. TOOLS, AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS/HER EMPLOYEES.
- CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND AT COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS AND LEAVE THE BUILDING CLEAN, WITH PAINTED AND WOOD SURFACES CLEAN, ALL FLOORS WAXED AND/OR POLISHED AS SPECIFIED, AND ALL GLASS AND MIRRORS CLEANED AND POLISHED. NO UNAUTHORIZED VISITS TO SITE, OCCUPIED OR UNOCCUPIED BY THE CONTRACTOR WILL BE
- PERMITTED PRIOR TO START OF WORK. CONTRACTOR IS TO PROVIDE A LIST OF ALL SUBCONTRACTORS USED TO THE OWNER. COMPLETE WITH ADDRESSES, PHONE NUMBERS, AND COPIES OF ALL WARRANTIES. OWNER SHALL HAVE ACCESS TO PROJECT FOR COMPLETION OF WORK BY OWNER
- ALL FLOOR SLAB CUTTING, TRENCHING AND REMOVAL SHALL BE REPLACED WITH THE SAME MATERIAL IN THE SAME THICKNESS OF THE ADJACENT FLOOR MATERIAL. ADDITIONAL, CONC. PATCHING SHALL BE DOWELED INTO THE ADJACENT CONCRETE SLAB TO MINIMIZE DIFFERENTIAL SETTLEMENT OF THE FLOOR SYSTEM
- ALL ROOF PENETRATIONS ARE TO BE PERFORMED BY BUILDING OWNER'S ROOFING CONTRACTOR. CONTACT BUILDING OWNER TO COORDINATE.
- IT SHALL BE SOLELY THE SIGN VENDOR'S RESPONSIBILITY TO DESIGN. FABRICATE AND INSTALL THE SIGN LINDER SEPARATE PERMIT. ANY AND ALL STRUCTURAL CONSIDERATIONS SHALL BE COORDINATED BETWEEN THE SIGN VENDOR. THE GENERAL CONTRACTOR, THE BUILDING OWNER AND HIS DESIGN PROFESSIONALS. GENERAL CONTRACTOR SHALL COORDINATE WITH SIGNAGE VENDOR AND CONTACT LANDLORD OR MUNICIPALITY FOR FINAL APPROVED. LOCATION(S) PER THE TENANT SIGNAGE PROCEDURES AND/OR MUNICIPALITY REGULATIONS. SUBMIT PROPOSED DRAWINGS TO LANDLORD OR MUNICIPALITY AS REQUIRED FOR APPROVAL(S).
- THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE, INCLUDING THE DRAWINGS AND SPECIFICATIONS, AND WILL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED. RIGHTS. INCLUDING COPYRIGHTS. THE CONTRACTOR. SUBCONTRACTORS. SUB-SUBCONTRACTORS, AND MATERIAL OR FOUIPMENT SUPPLIERS SHALL NOT OWN OR CLAIM. A COPYRIGHT IN THE INSTRUMENTS OF SERVICE, SUBMITTAL OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THIS PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF THE ARCHITECT'S OR ARCHITECT'S CONSULTANTS' RESERVED RIGHTS.
- THE CONTRACTOR, SUBCONTRACTORS, SUB-SUBCONTRACTORS AND MATERIAL OR EQUIPMENT SUPPLIERS ARE AUTHORIZED TO USE AND REPRODUCE THE INSTRUMENTS OF SERVICE PROVIDED TO THEM SOLELY AND EXCLUSIVELY FOR EXECUTION OF THE WORK, AL COPIES MADE UNDER THIS AUTHORIZATION SHALL BEAR THE COPYRIGHT NOTICE, IF ANY, SHOWN ON THE INSTRUMENTS OF SERVICE. THE CONTRACTOR, SUBCONTRACTORS SUB-SUBCONTRACTORS, AND MATERIAL OR EQUIPMENT SUPPLIERS MAY NOT USE TH INSTRUMENTS OF SERVICE ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJEC OUTSIDE THE SCOPE OF THE WORK WITHOUT THE SPECIFIC WRITTEN CONSENT OF THE OWNER, ARCHITECT AND THE ARCHITECT'S CONSULTANTS.

CONTRACTOR GENERAL NOTES

- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS THE CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING FHESE MATTERS. IF THE CONTRACT DOCUMENTS GIVE SPECIFIC INSTRUCTIONS CONCERNING CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, THE CONTRACTOR SHALL EVALUATE THE JOBSITE SAFETY THEREOF AND, EXCEPT AS STATED BELOW. SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE JOBSITE SAFETY OF SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, IF THE CONTRACTOR DETERMINES THAT SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES MAY NOT BE SAFE. THE CONTRACTOR SHALL GIVE TIMELY WRITTEN NOTICE TO THE OWNER AND ARCHITECT AND SHALL NOT PROCEED WITH THAT PORTION OF THE WORK WITHOUT FURTHER WRITTEN INSTRUCTIONS FROM THE ARCHITECT. IF THE CONTRACTOR IS THEN INSTRUCTED TO PROCEED WITH THE REQUIRED MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES WITHOUT ACCEPTANCE OF CHANGES PROPOSED BY THE CONTRACTOR, THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY LOSS OR DAMAGE ARISING SOLELY FROM THOSE OWNER-REQUIRED MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION OF PORTIONS OF WORK ALREADY PERFORMED TO DETERMINE THAT SUCH PORTIONS ARE IN PROPER CONDITION TO RECEIVE SUBSEQUENT WORK.
- UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, WATER, HEAT, UTILITIES, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, WHETHER TEMPORARY OR PERMANENT AND WHETHER OR NOT INCORPORATED OR TO BE INCORPORATED IN THE WORK.
- WARRENTY: THE CONTRACTOR WARRANTS TO THE OWNER AND ARCHITECT THAT MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT WILL BE OF GOOD QUALITY AND NEW UNLESS THE CONTRACT DOCUMENTS REQUIRE OR PERMIT OTHERWISE. THE CONTRACTOR FURTHER WARRANTS THAT THE WORK WILL CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND WILL BE FREE FROM DEFECTS, EXCEPT FOR THOSE INHERENT IN THE QUALITY OF THE WORK THE CONTRACT DOCUMENTS REQUIRE OR PERMIT. WORK, MATERIALS, OR EQUIPMENT NOT CONFORMING TO THESE REQUIREMENTS MAY BE CONSIDERED DEFECTIVE. THE CONTRACTOR'S WARRANTY EXCLUDES REMEDY FOR DAMAGE OR DEFECT CAUSED BY ABUSE. ALTERATIONS TO THE WORK NOT EXECUTED BY THE CONTRACTOR, IMPROPER OR INSUFFICIENT MAINTENANCE, IMPROPER OPERATION, OR NORMAL WEAR AND TEAR AND NORMAL USAGE, IF REQUIRED BY THE ARCHITECT, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT
- CONCEALED OR UNKNOWN CONDITIONS, IF THE CONTRACTOR ENCOUNTERS CONDITIONS AT THE SITE THAT ARE (1) SUBSURFACE OR OTHERWISE CONCEALED PHYSICAL CONDITIONS THAT DIFFER MATERIALLY FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS OR (2) LINKNOWN PHYSICAL CONDITIONS OF AN UNUSUAL NATURE. THAT DIFFER MATERIALLY FROM THOSE ORDINARILY FOUND TO EXIST AND GENERALLY RECOGNIZED AS INHERENT IN CONSTRUCTION ACTIVITIES OF THE CHARACTER PROVIDED FOR IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PROMPTLY PROVIDE NOTICE TO THE OWNER AND THE ARCHITECT BEFORE CONDITIONS ARE DISTURBED AND IN NO EVENT LATER THAN 21 DAYS AFTER FIRST OBSERVANCE OF THE CONDITIONS. THE ARCHITECT WILL PROMPTLY INVESTIGATE SUCH CONDITIONS AND, IF THE ARCHITECT DETERMINES THAT THEY DIFFER MATERIALLY AND CAUSE AN INCREASE OR DECREASE IN THE CONTRACTOR'S COST OF, OR TIME REQUIRED FOR, PERFORMANCE OF ANY PART OF THE WORK, WILL RECOMMEND AN EQUITABLE ADJUSTMENT IN THE CONTRACT SUM OR CONTRACT TIME, OR BOTH. IF THE ARCHITECT DETERMINES THAT THE CONDITIONS AT THE SITE ARE NOT MATERIALLY DIFFERENT FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS AND THAT NO CHANGE IN THE TERMS OF THE CONTRACT IS JUSTIFIED, THE ARCHITECT SHALL PROMPTLY NOTIFY THE OWNER AND CONTRACTOR IN WRITING. STATING THE REASONS. IF EITHER PARTY DISPUTES THE ARCHITECT'S DETERMINATION OR RECOMMENDATION.
- ALLOWANCE: THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT SUM ALL ALLOWANCES STATED IN THE CONTRACT DOCUMENTS. ITEMS COVERED BY ALLOWANCES SHALL BE SUPPLIED FOR SUCH AMOUNTS AND BY SUCH PERSONS OR ENTITIES AS THE OWNER MAY DIRECT. BUT THE CONTRACTOR SHALL NOT BE REQUIRED TO EMPLOY PERSONS OR ENTITIES TO WHOM THE CONTRACTOR HAS REASONABLE OBJECTION. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS,
- 1. ALLOWANCES SHALL COVER THE COST TO THE CONTRACTOR OF MATERIALS AND EQUIPMENT DELIVERED AT THE SITE AND ALL REQUIRED TAXES, LESS APPLICABLE TRADE
- 2. CONTRACTOR'S COSTS FOR UNLOADING AND HANDLING AT THE SITE, LABOR, INSTALLATION COSTS, OVERHEAD, PROFIT AND OTHER EXPENSES CONTEMPLATED FOR STATED ALLOWANCE AMOUNTS SHALL BE INCLUDED IN THE CONTRACT SUM BUT NOT IN THE ALLOWANCES 3. WHENEVER COSTS ARE MORE THAN OR LESS THAN ALLOWANCES, THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY BY CHANGE ORDER. THE AMOUNT OF THE CHANGE ORDER SHALL REFLECT (1) THE DIFFERENCE BETWEEN ACTUAL COSTS AND THE ALLOWANCES AND (2) CHANGES IN CONTRACTOR'S COSTS
- SUPERINTENDENT: THE CONTRACTOR SHALL EMPLOY A COMPETENT SUPERINTENDENT AND NECESSARY ASSISTANTS WHO SHALL BE IN ATTENDANCE AT THE PROJECT SITE DURING PERFORMANCE OF THE WORK. THE SUPERINTENDENT SHALL REPRESENT THE CONTRACTOR AND COMMUNICATIONS GIVEN TO THE SUPERINTENDENT SHALL BE AS BINDING AS IF GIVEN TO THE CONTRACTOR.
- THE CONTRACTOR, AS SOON AS PRACTICABLE AFTER AWARD OF THE CONTRACT, SHALL FURNISH IN WRITING TO THE OWNER THROUGH THE ARCHITECT THE NAME AND QUALIFICATIONS OF A PROPOSED SUPERINTENDENT. THE ARCHITECT MAY REPLY WITHIN 14 DAYS TO THE CONTRACTOR IN WRITING STATING (1) WHETHER THE OWNER OR THE ARCHITECT HAS REASONABLE OBJECTION TO THE PROPOSED SUPERINTENDENT OR (2) THAT THE ARCHITECT REQUIRES ADDITIONAL TIME TO REVIEW.
- THE CONTRACTOR SHALL NOT EMPLOY A PROPOSED SUPERINTENDENT TO WHOM THE OWNER OR ARCHITECT HAS MADE REASONABLE AND TIMELY OBJECTION. THE CONTRACTOR SHALL NOT CHANGE THE SUPERINTENDENT WITHOUT THE OWNER'S CONSENT, WHICH SHALL NOT UNREASONABLY BE WITHHELD OR DELAYED.
- SCHEDULE: THE CONTRACTOR, PROMPTLY AFTER BEING AWARDED THE CONTRACT, SHALL PREPARE AND SUBMIT FOR THE OWNER'S AND ARCHITECT'S INFORMATION A CONTRACTOR'S CONSTRUCTION SCHEDULE FOR THE WORK, THE SCHEDULE SHALL NOT EXCEED TIME LIMITS. CURRENT UNDER THE CONTRACT DOCUMENTS. SHALL BE REVISED AT APPROPRIATE INTERVALS AS REQUIRED BY THE CONDITIONS OF THE WORK AND PROJECT, SHALL BE RELATED TO THE ENTIRE PROJECT TO THE EXTENT REQUIRED BY THE CONTRACT DOCUMENTS, AND SHALL PROVIDE FOR EXPEDITIOUS AND PRACTICABLE EXECUTION OF THE
- DOCUMENTS AND SAMPLES AT THE SITE:THE CONTRACTOR SHALL MAINTAIN AT THE SITE FOR
- THE OWNER ONE COPY OF THE DRAWINGS, SPECIFICATIONS, ADDENDA, CHANGE ORDERS AND OTHER MODIFICATIONS, IN GOOD ORDER AND MARKED CURRENTLY TO INDICATE FIELD CHANGES AND SELECTIONS MADE PURING CONSTRUCTION AND ONE COPY OF APPROVED SHOP DRAWINS HIDDER DATE RESEARCH THE ARCHITECT AND SHALL BE DELIVERED TO THE ARCHITECT FOR
- SUBMITTAL TO THE OWNER UPON COMPLETION OF THE WORK AS A RECORD OF THE WORK AS SADDIS TRANTIFICS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS ARE NOT CONTRACT DOCUMENTS. THEIR PURPOSE IS TO DEMONSTRATE THE WAY BY WHICH THE CONTRACTOR PROPOSES TO CONFORM TO THE INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS FOR THOSE PORTIONS OF THE WORK FOR WHICH THE CONTRACT DOCUMENTS REQUIRE SUBMITTALS. REVIEW BY THE ARCHITECT IS SUBJECT TO THE LIMITATIONS OF INFORMATIONAL SUBMITTALS UPON WHICH THE ARCHITECT IS NOT EXPECTED TO TAKE RESPONSIVE ACTION MAY BE SO IDENTIFIED IN THE CONTRACT DOCUMENTS. SUBMITTALS THAT ARE NOT REQUIRED BY THE CONTRACT DOCUMENTS MAY BE RETURNED BY THE ARCHITECT

WITHOUT ACTION.

THE CONTRACTOR SHALL REVIEW FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPROVE AND SUBMIT TO THE ARCHITECT SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS IN ACCORDANCE WITH THE SUBMITTAL SCHEDULE APPROVED BY THE ARCHITECT OR, IN THE ABSENCE OF AN APPROVED SUBMITTAL SCHEDULE, WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK OR IN THE ACTIVITIES OF THE OWNER OR OF SEPARATE CONTRACTORS. BY SUBMITTING SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS, THE CONTRACTOR REPRESENTS TO THE OWNER AND ARCHITECT THAT THE CONTRACTOR HAS (1) REVIEWED AND APPROVED THEM. (2) DETERMINED AND VERIFIED MATERIALS, FIFL D. MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA RELATED THERETO, OR WILL DO SO AND (3)

CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE

- REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK FOR WHICH THE CONTRACT DOCUMENTS REQUIRE SUBMITTAL AND REVIEW OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS UNTIL THE RESPECTIVE SUBMITTAL HAS BEEN APPROVED BY THE
 - THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SUBMITTALS EXCEPT THAT THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMITTAL AND (1) THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION. AS A MINOR CHANGE IN THE WORK, OR (2) A CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVE HAS BEEN ISSUED AUTHORIZING THE DEVIATION. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS BY THE ARCHITECT'S APPROVAL THEREOF.
- THE CONTRACTOR SHALL DIRECT SPECIFIC ATTENTION, IN WRITING OR ON RESUBMITTED SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS, TO REVISIONS OTHER THAN THOSE REQUESTED BY THE ARCHITECT ON PREVIOUS SUBMITTALS. IN THE ABSENCE OF SUCH WRITTEN NOTICE, THE ARCHITECT'S APPROVAL OF A RESUBMISSION SHALL NOT APPLY TO SUCH REVISIONS.

SUBMITTAL NOTES

- WITHIN TEN (10) BUSINESS DAYS AFTER THE EFFECTIVE DATE OF THE AGREEMENT (UNLESS OTHERWISE SPECIFIED IN THE GENERAL REQUIREMENTS), CONTRACTOR SHALL SUBMIT TO ARCHITECT FOR TIMELY REVIEW A PRELIMINARY SCHEDULE OF SUBMITTALS. THE CONTRACTOR SHALL PREPARE AND KEEP CURRENT, FOR THE ARCHITECT'S APPROVAL, A SCHEDULE OF SUBMITTALS WHICH IS COORDINATED WITH THE CONTRACTOR'S CONSTRUCTION SCHEDULE AND ALLOWS THE ARCHITECT REASONABLE TIME TO REVIEW SUBMITTALS.
- WHEN ASSEMBLING A SUBMITTAL SCHEDULE, THE CONTRACTOR MUST TAKE INTO CONSIDERATION THE LEAD-TIMES FOR EACH ITEM REQUIRING A SUBMITTAL TO ENSURE THAT THE CONTRACTOR HAS SUFFICIENT TIME AFTER APPROVAL OF THE SUBMITTALS TO GET THE MATERIALS AND/OR EQUIPMENT FABRICATED AND DELIVERED TO THE SITE WITHOUT DELAYING
- REIVEW TIMEFRAME FOR EACH INITIAL SUBMITTAL IS TYPICALLY FIVE (5) BUSINESS DAYS. RESUBMITTAL TIMEFRAME IS TYPICALLY THREE (3) BUSINESS DAYS
- CONTRACTOR SHALL REVIEW AND PROVIDE APPROVAL STAMP ON EACH SUBMITTAL PRIOR SUBMITTING THE SUBMITTAL TO ARCHITECT'S REVIEW. SUBMITTAL WITHOUT CONTRACTOR'S APPROVAL STAMP WILL BE REJECT AND RETURN BACK TO THE CONTRACTOR. CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S APPROVAL OF SHOP
- DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS. WITH EACH SUBMITTAL, CONTRACTOR SHALL GIVE ARCHITECT SPECIFIC WRITTEN NOTICE OF ANY VARIATIONS, THAT THE SHOP DRAWING OR SAMPLE MAY HAVE FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THIS NOTICE SHALL BE BOTH A WRITTEN COMMUNICATION SEPARATE FROM THE SHOP DRAWING'S OR SAMPLE SUBMITTAL: AND. IN ADDITION, BY A SPECIFIC NOTATION MADE ON EACH SHOP DRAWING OR SAMPLE SUBMITTED FOR REVIEW AND
- UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMITTAL AND (1) THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION AS A MINOR CHANGE IN THE WORK, OR (2) A CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVE HAS BEEN ISSUED AUTHORIZING THE DEVIATION. CONTRACTOR SHALL ONLY PROVIDE SUBMITTALS THAT IS INDICATED WITHIN THE CONTRACT DOCUMENT OR BY ARCHITECT'S REQUEST. ANY OTHER SUBMITTAL THAT IS NOT EQUEST BY THE CONTRACT DOCUMENT OR ARCHITECT WILL BE RETURN TO CONTRACTOR WITHOUT COMMENT.
- **HVAC EQUIPMENTS** PLUMBING FIXTURE CUT SHEET
 - **ELECTRICAL PANEL & EQUIPMENTS** MILLWORK SHOP DRAWING AND MATERIAL SAMPLE STOREFRONT SYSTEM

APPROVAL OF EACH SUCH VARIATION

SUBMITTALS INCLUDED THE FOLLOWINGS:

TILE SAMPLEFIRE PREVENTION NOTES

- EXIT DOOR SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARIDOUS AREA OR WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT
- EXCEPTION: THIS REQUIREMENT SHALL NOT APPLY TO EXTERIOR EXIT DOORS IN A GROUP "B" OCCUPANCY IF THERE IS A VISIBLE, DURABLE SIGN ON A ADJACENT EXIT DOORS STATING "THIS DOOR TO REMAIN OPEN DURING BUSINESS HOURS." THE LETTERS SHALL BE NOT LESS THAN 1 INCH HIGH ON A CONTRACTING BACKGROUND. THE LOCKING DEVICE MUST BE A TYPE THAT WILL BE REAILY DISTINGUISHABLE AS LOCKED. PANIC HARDWARE, WHEN INSTALLED, SHALL COMPLY WITH ALL APPLICABLE BUILDING CODE
- REQUIREMENTS. THE ACTIVATING MEMBER SHALL BE MOUNTED AT A HEIGHT OF NOT LESS THAN 30 INCHES NOR MORE THAN 44 INCHES ABOVE THE FLOOR. THE UNI ATCHING FORCES SHALL NOT EXCEED 15 POUNDS WHEN APPLIED IN THE DIRECTION OF EXIT TRAVEL THE MEANS OF EGRESS. INCLUDING THE EXIT DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE LEVEL. EXIT SIGNS SHALL BE INSTALLED AT REQUIRED EXIT DOORWAYS AND WHERE OTHERWISE
- OCCUPANT LOAD OF 50 OR MORE. WHERE NECESSARY, THE FINAL LOCATION AND QUANTITY OF EXIT SIGNS SHALL BE DETERMINED BY THE FIRE DEPARTMENT PRIOR TO CONSTRUCTION OF ANY WORK. THE COLOR AND DESIGN OF LETTERING, ARROW, AND OTHER SYMBOLS OF EXIT SIGN SHALL BE IN

NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS WHEN THE EXIT SERVES AN

ALL RATED CORRIDOR DOORS SHALL HAVE A THRESHOLD WITH A SMOKE AND DRAFT SEAL AT HEAD INTERIOR WALL AND CEILING FINISHES SHALL BE NON-COMBUSTIBLE OR HAVE A FLAME SPREAD RATING OF 0 TO 25 FEET

HIGH CONTRAST WITH THEIR BACKGROUND (3/4" X 6" LETTERS MIN)

- ALL DRAPS, HANGING CURTAINS AND OTHER DECORATIVE MATERIALS SHALL BE TREATED AND MAINTAINED IN A FLAME RETARDANT CONDITION. FIRE DAMPERS OR DOORS SHALL BE PROVIDE WHERE AIR DUCTS PENETRATE FIRE RATED WALLS
- OR CEILING. SMOKE DAMPERS SHALL BE PROVIDED WHERE AIR DUCTS PENTRATED FIRE RATED WALL OR CEILING. EXTEND / MODIFY FIRE LIFE SAFTY SYSTEM AS REQUIRED
- A PORTABLE FIRE EXTINGUISHER WITH A MINIMUM 2A 10BC RATING SHALL BE PROVIDED EVERY 75' OF TRAVEL DISTANCE FROM ANY POINT WITHIN THE AREA DEFINED AS SCOPE OF WORK PER THESE PLANS PROVIDE FIRE EXTINGUISHED AS REQUIRED BY FIRE DEPARTMENT PROVIDE EMERGENCY NOTIFICATION SYSTEM FOR THE HEARING AND VISUAL IMPAIRED PER A.D.A.
- DOOR NOTES
- ALL MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS ARE PROHIBITED ON EXIT DOOR WHEN EXIT DOOR ARE USED IN PAIRS AND APPROVED AUTOMATIC FLUSH BOLTS ARE USED. THE DOOR LEAD HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOOR KNOB OR SURFACE MOUNTED HARDWARE. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRED OMRE THAN ONE
- ALL EXIT DOOR HARDWARE SHALL BE OF AN APPROVED TYPE AND TESTED IN ACCORDANCE WITH PROCEDURES ESTABLISHED BY SFM 33.2 AND SFM 33.3
- ALL HOLLOW METAL DOOR FRAMES SHALL BE PROVIDED WITH STEEL FRAME ALL THRESHOLD SHALL NOT EXCEED 1/2" CHANGE IN ELEVATION. THE CONTRACTOR SHALL UNDERCUT ALL NEW AND EXISTING DOORS AS REQUIRED TO
- ACCOMODATE ALL FLOOR CONVERINGS. VERIFY EXACT THICKNESS OF ALL NEW FLOOR COVERING WITH ARCHITECT PRIOR TO UNDERCUTTING OF DOORS. STANDARD MINIMUM DISTANCE BETWEEN DOOR JAMBS AND WALLS PERPENDICULAR AND
- ADJACENT TO DOOR OPENING TO BE 4" UNLESS OTHERWISE NOTES.
- SUSPENSION SYSTEM SHALL BE AS INDICATED IN REFLECTED CEILING PLAN. LIGHTING FIXTURE SHALL BE INDEPENDENTLY SUPPORTED AT OPPOSITE CORNERS WITH NO. 12 WIRE,
- LATERAL SUPPORT SHALL BE PROVIDED BY FOUR (12 GAUGE MINIMUM) WIRES SPLAYED IN FOUR DIRECTIONS AT 90 DEGRESS APART AND SHALL CONNECT TO THE MAIN RUNNER WITH 12 WINCHES OF THE ACROSS RUNNER TO THE STRUCTURE ABOVE OR TO PARTITION WALLS OR SHALL BE BRACED AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CFILING SUPPORT POINTS SHALL BE PLACED 12'-0" O.C. IN EACH DIRECTION WITH THE FIRST POINT WITHIN 4'-0" FROM
- PROVIDE SUSPENDED CEILING OF FURRED OUT SURFACES WHERE REQUIRED TO CONCEAL PIPING, DUCT, ETC, IN FINISHED ROOMS, SHOULD CONDITIONS REQURED ALTERATIONS AT INDICATED CEILING HEIGHTS DUE TO STRUCTURAL OR MECHANICAL REQUIREMENT, OBTAIN THE FACILITIES MANAGEMENTS APP SPRINKLER NOTES

- THIS SPACE IS TO BE PROVIDED WITH AN AUTOMATIC WET PIPE SPRINKLER SYSTEM. THE FIRE PROTECTION CONTRACTOR SHALL BE RESPONSIBLE FOR THE MODIFICATION OF THE EXISTING SYSTEM AND SHALL PROVIDE A NEW LAYOUT IN ACCORDANCE WITH NEW WALLS, LIGHTING AND HVAC SYSTEMS, AND SHALL PROVIDE ALL MATERIALS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM FOR THE PROPOSED TENANT FINISH OF THIS SPACE. CONTRACTOR SHALL PREPARE ALL NEEDED DRAWINGS AND HAVE APPROVAL OF ALL STATE, LOCAL & INSURANCE UNDERWRITING AUTHORITES AS WELL AS MEETING ALL N.F.P.A 13 REQUIERMENTS. THE SPRINKLERS SYSTEM SHALL BE PRESSURE TESTED BY FIRE PROTECTION CONTRACTOR INSPECTED AND APPORVED BY LOCAL FIRE MARSHALL PRIOR TO ACCEPTANCE BY OWNER. INSPECT SITE AND CONSULT WHITH LANDLORD REPRESENTATIVE FOR EXACT EXISTING CONDITIONS OF FIRE PROTECTION SYSTEM, FOR LOCATION, CONNECTION POINT, SIZE, TYPE, ETC, PROVIDE SIGNED AND SEALED DRAWINGS AS REQUIRED TO THE LOCAL AUTHORITY. DRAWINGS SHALL BE SIGNED AND SEALED BY THE PROFESSIONAL ENGINEER EMPLOYED BY FIRE PROTECTION CONTRACTOR, WHO IS IN CHARGE OF THIS WORK, SPRINKLER HEADS IN PUBLIC VIEWABLE CEILINGS MUST BE OF AN APPROVED CONCEALED TYPE SURFACE MOUNTED HEADS ARE PERMITTED IN AREAS NOT VISIBLE TO CUSTOMER, PRICING FOR COMPLETE AND FULLY OPERATIONAL SYSTEM SHALL BE INCLUDED IN GENERAL CONTRACTORS PROJECT BID TO
- PRIOR TO THE START OF DEMOLITON THE EXISTING FIRE LIFE SAFETY AND FIRE SPRINKLER SYSTEMS WITHIN THE PREMISES SHALL BE SAFED OFF, "DEACTIVATED" TO ALLEVIATE ANY POTENTUAL ACCIDENTAL DISCHARGE OR ACTIVATION. IN ADDITION, CARE NEEDS TO BE INCORPORATED INTO YOUR DEMOLITION TO PREVENT DAMAGE OR REMOVAL OF EXISTING INSTALLATIONS INTENDED TO BE REUSED OR THOSE THAT SERVE OTHER TENANCIES. IF NOT SURE OF SYSTEM OR THOSE IT PROVIDES, CONTACT LANDLORD IN ADVANCE OF IT'S REMOVAL. G.C. SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY SUCH OCCURRENCE.
- NOTE THAT THE SPRINKLER DESIGN IS A DEFFER SUBMITTAL. THE SPRINKLER DESIGN IS TO BE COMPLETED BY A LICENSED FIRE SPRINKLER CONTRACTOR TO BE REVIEW AND APPROVED UNDER SEPARATE PERMIT SUBMITTAL

CHANGES IN WORK

- CHANGES IN THE WORK MAY BE ACCOMPLISHED AFTER EXECUTION OF THE CONTRACT, AND WITHOUT INVALIDATING THE CONTRACT, BY CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE OR ORDER FOR A MINOR CHANGE IN THE WORK, SUBJECT TO THE LIMITATIONS STATED IN THE CONTRACT DOCUMENTS
- A CHANGE ORDER SHALL BE BASED UPON AGREEMENT AMONG THE OWNER, CONTRACTOR AND ARCHITECT; A CONSTRUCTION CHANGE DIRECTIVE REQUIRES AGREEMENT BY THE OWNER AND ARCHITECT AND MAY OR MAY NOT BE AGREED TO BY THE CONTRACTOR; AN ORDER FOR A MINOR CHANGE IN THE WORK MAY BE ISSUED BY THE ARCHITECT ALONE.
- CHANGES IN THE WORK SHALL BE PERFORMED UNDER THE CONTRACT DOCUMENTS, AND THE CONTRACTOR SHALL PROCEED PROMPTLY, UNLESS OTHERWISE PROVIDED IN THE CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE OR ORDER FOR A MINOR

CHANGE ORDERS

- A CHANGE ORDER IS A WRITTEN INSTRUMENT PREPARED BY THE ARCHITECT AND SIGNED BY THE OWNER, CONTRACTOR AND ARCHITECT STATING THEIR AGREEMENT UPON ALL OF THE FOLLOWING 1. THE CHANGE IN THE WORK
- 2. THE AMOUNT OF THE ADJUSTMENT, IF ANY, IN THE CONTRACT SUM; 3.THE EXTENT OF THE ADJUSTMENT, IF ANY, IN THE CONTRACT TIME.

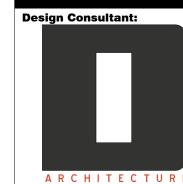
CONSTRUCTION CHANGE DIRECTIVES

- A CONSTRUCTION CHANGE DIRECTIVE IS A WRITTEN ORDER PREPARED BY THE ARCHITECT AND SIGNED BY THE OWNER AND ARCHITECT, DIRECTING A CHANGE IN THE WORK PRIOR TO AGREEMENT ON ADJUSTMENT, IF ANY, IN THE CONTRACT SUM OR CONTRACT TIME, OR BOTH. THE OWNER MAY BY CONSTRUCTION CHANGE DIRECTIVE, WITHOUT INVALIDATING THE CONTRACT, ORDER CHANGES IN THE WORK WITHIN THE GENERAL SCOPE OF THE CONTRACT CONSISTING OF ADDITIONS, DELETIONS OR OTHER REVISIONS, THE CONTRACT SUM AND CONTRACT TIME BEING ADJUSTED ACCORDINGLY.
- A CONSTRUCTION CHANGE DIRECTIVE SHALL BE USED IN THE ABSENCE OF TOTAL AGREEMENT ON THE TERMS OF A CHANGE ORDER. IF THE CONSTRUCTION CHANGE DIRECTIVE PROVIDES FOR AN ADJUSTMENT TO THE CONTRACT SUM, THE ADJUSTMENT SHALL BE BASED ON ONE OF THE FOLLOWING METHODS: 1. MUTUAL ACCEPTANCE OF A LUMP SUM PROPERLY ITEMIZED AND SUPPORTED BY SUFFICIENT SUBSTANTIATING DATA TO PERMIT
- 2.UNIT PRICES STATED IN THE CONTRACT DOCUMENTS OR SUBSEQUENTLY AGREED UPON; 3.COST TO BE DETERMINED IN A MANNER AGREED UPON BY THE PARTIES AND A MUTUALLY ACCEPTABLE FIXED OR PERCENTAGE FEE;
- IF UNIT PRICES ARE STATED IN THE CONTRACT DOCUMENTS OR SUBSEQUENTLY AGREED UPON, AND IF QUANTITIES ORIGINALLY CONTEMPLATED ARE MATERIALLY CHANGED IN A PROPOSED CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVE SO THAT APPLICATION OF SUCH UNIT PRICES TO QUANTITIES OF WORK PROPOSED WILL CAUSE SUBSTANTIAL INEQUITY TO THE OWNER OR CONTRACTOR, THE APPLICABLE UNIT PRICES SHALL BE EQUITABLY ADJUSTED.
- UPON RECEIPT OF A CONSTRUCTION CHANGE DIRECTIVE, THE CONTRACTOR SHALL PROMPTLY PROCEED WITH THE CHANGE IN THE WORK INVOLVED AND ADVISE THE ARCHITECT OF THE CONTRACTOR'S AGREEMENT OR DISAGREEMENT WITH THE METHOD, IF ANY, PROVIDED IN THE CONSTRUCTION CHANGE DIRECTIVE FOR DETERMINING THE PROPOSED ADJUSTMENT IN THE CONTRACT SUM OR
- 10 A CONSTRUCTION CHANGE DIRECTIVE SIGNED BY THE CONTRACTOR INDICATES THE CONTRACTOR'S AGREEMENT THEREWITH, INCLUDING ADJUSTMENT IN CONTRACT SUM AND CONTRACT TIME OR THE METHOD FOR DETERMINING THEM. SUCH AGREEMENT SHALL
- BE EFFECTIVE IMMEDIATELY AND SHALL BE RECORDED AS A CHANGE ORDER. IF THE CONTRACTOR DOES NOT RESPOND PROMPTLY OR DISAGREES WITH THE METHOD FOR ADJUSTMENT IN THE CONTRACT SUM, THE ARCHITECT SHALL DETERMINE THE METHOD AND THE ADJUSTMENT ON THE BASIS OF REASONABLE EXPENDITURES AND SAVINGS OF THOSE PERFORMING THE WORK ATTRIBUTABLE TO THE CHANGE, INCLUDING, IN CASE OF AN INCREASE IN THE CONTRACT SUM, AN AMOUNT FOR OVERHEAD AND PROFIT AS SET FORTH IN THE AGREEMENT, OR IF NO SUCH AMOUNT IS SET FORTH IN THE AGREEMENT, A REASONABLE AMOUNT. IN SUCH CASE, THE CONTRACTOR SHALL KEEP AND PRESENT, IN SUCH FORM AS THE ARCHITECT MAY PRESCRIBE, AN ITEMIZED ACCOUNTING TOGETHER WITH APPROPRIATE SUPPORTING DATA. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, COSTS FOR THE PURPOSES BE LIMITED TO THE FOLLOWING
- 1.COSTS OF LABOR, INCLUDING SOCIAL SECURITY, OLD AGE AND UNEMPLOYMENT INSURANCE, FRINGE BENEFITS REQUIRED BY AGREEMENT OR CUSTOM, AND WORKERS' COMPENSATION INSURANCE; 2.COSTS OF MATERIALS, SUPPLIES AND EQUIPMENT, INCLUDING COST OF TRANSPORTATION, WHETHER INCORPORATED OR
- 3.RENTAL COSTS OF MACHINERY AND EQUIPMENT, EXCLUSIVE OF HAND TOOLS, WHETHER RENTED FROM THE CONTRACTOR OR 4.COSTS OF PREMIUMS FOR A GOLD THE WORK; Stamp:
- 5.ADDITIONAL COSTS OF SUPERVISION AND FIELD OFFICE PERSONNEL DIRECTLY ATTRIBUTABLE TO THE CHANGE. PUNCH LIST
- CONTRACTOR, UPON COMPLETION OF WORK SHALL NOTIFY ARCHITECT AND OWNER'S REPRESENTATIVE. AND SCHEDULE A WALK-THRU INSPECTION. UPON COMPLETION OF INSPECTION THE CONSTRUCTION PROJECT MANAGER WILL ISSUE A FORMAL
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CORRECT ALL DEFECTS IN MATERIAL AND/OR WORKMANSHIP NOTED DURING SAID INSPECTION AT NO ADDITIONAL COST TO THE OWNER WITHIN A PERIOD OF TIME AGREEABLE TO OWNER. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT UPON COMPLETION OF ALL PUNCH LIST ITEMS AND A FINAL INSPECTION SHALL THEN BE CONDUCTED TO VERIFY THEIR CORRECTION. FINAL PAYMENT REQUESTS CANNOT BE PROCESSED UNTIL ALL ITEMS
 - ON THE PUNCH LIST HAVE BEEN COMPLETED TO THE SATISFACTION OF NIKE AND THE ARCHITECT FILE FOLLOWING WITH OWNER PRIOR TO FINAL PAYMENT:

- WARRANTIES LIENS: RELEASE OR WAIVER AS REQUIRED UNDER CONTRACT DOCUMENTS.
- CONTRACTOR SHALL FILE A "NOTICE OF COMPLETION" RECORDED WITH THE LOCAL AUTHORITIES AS REQUIRED UPON COMPLETION BONDS AND SPECIAL SERVICE MAINTENANCE CONTRACTS: AS SPECIFIED, EXECUTED BY EACH SUBCONTRACTOR, MANUFACTURER AND SUPPLIER AS APPLICABLE.
- RECORDED DRAWINGS: KEEP MARKED-UP UP-TO-DATE SET OF CONSTRUCTION DRAWINGS ON SITE AS
- AN ACCURATE RECORD OF CHANGES AND DEVIATIONS BETWEEN WORK AS SHOWN AND INSTALLED. UPON COMPLETION OF WORK, FURNISH THE ARCHITECT WITH A COMPLETE SET
- OF MARKED-UP REPRODUCIBLES WITH "RECORD DOCUMENTS" CLEARLY PRINTED IN LOWER RIGHT HAND CORNER OF EACH SHE CHANGES AND DEVIATIONS FROM CONSTRUCTION SET TO "RECORD DOCUMENT" SET. SIGN EACH FINAL RECORD DRAWING. NO THEREON THAT RECORD DOCUMENTS ARE COMPLETED AND ACCURATE.
- CLOSE OUT PACKAGE REQUIREMENTS ALL OF THE FOLLOWING ITEMS SHALL BE COMPLETED BEFORE FINAL COMPLETION IS CERTIFIED AND RETENTION IS RELEASED
- I'HE CONTRACTOR. IT IS THE TENANT'S OBLIGATION TO SECURE ALL DOCUMENTS FROM THE CONTRACTOR THAT ARE REQUIREI PROJECT CLOSEOUT DOCUMENTS: ALL ITEMS SHALL BE SUBMITTED TOGETHER IN ONE INDEXED 3-RING BINDER WITH SECTIONAL TABS AS IDENTIFIED BELOW. BINDER TO BE IDENTIFIED AND LABELED WITH PROJECT NAME AND GENERAL CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ONE (1) COPY TO THE TENANT'S PROJECT MANAGER. PROJECT CLOSEOUT DOCUMENTS SHALL
- INCLUDE, BUT NOT BE LIMITED TO: OPERATIONS MANUALS FOR ALL RELEVANT EQUIPMENT INSTALLED IN TENANT
- IMPROVEMENT WORK A SWORN AFFIDAVIT LIST OF ALL CONTRACTORS AND SUBCONTRACTORS WHO PERFORMED TENANT IMPROVEMENT WORK ON THE PROJECT, INCLUDING COMPANY NAME, ADDRESS, TELEPHONE AND FAX
- NUMBERS AND CONTACT PERSON'S NAME; CONTRACT AMOUNTS AND ZERO BALANCE DUE CONFIRMATIONS. A LIGHT OF ALL ROOF EQUIPMENT INSTALLED IN TENANT IMPROVEMENT WORK,
- WITH SERIAL NUMBERS AND MODEL NUMBERS OF EACH PIECE OF EQUIPMENT WRITTEN ONE-YEAR WARRANTEES FROM CONTRACTOR AND SUBCONTRACTORS
- GUARANTEES FOR ALL RELEVANT EQUIPMENT INSTALLED IN TENANT IMPROVEMENT WORK A COPY OF THE BUILDING PERMIT IF A SEPARATE PERMIT WAS OBTAINED FOR
- TENANT IMPROVEMENT WORK A COPY OF THE CERTIFICATE OF SUBSTANTIAL COMPLETION FOR TENANT
- IMPROVEMENT WORK A COPY OF THE CERTIFICATE OF OCCUPANCY (OR TEMPORARY CERTIFICATE OF OCCUPANCY) IF OCCUPANCY WAS IMPACTED BY TENANT IMPROVEMENT WORK
- A COPY OF ALL OPERATING PERMITS FOR EQUIPMENT INSTALLED IN TENANT IMPROVEMENT WORK AS REQUIRED BY LOCAL AUTHORITIES
- A COPY OF THE FINAL PUNCH LIST WITH ALL ITEMS SIGNED OFF BY THE TENANT PROJECT MANAGER A CURRENT CHANGE ORDER LOG RECAPPING ALL EXTRAS HAVE BEEN DOCUMENTED AND APPROVED
- HVAC CERTIFIED AND INDEPENDENT AIR BALANCE REPORT. FINAL UNCONDITIONAL WAIVERS AND LIEN RELEASES FROM THE TENANT'S CONTRACTOR AND SUBCONTRACTORS.

INDEMINFICATION

- TO THE FULLEST EXTENT PERMITTED BY LAW THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND ITS AGENTS AND EMPLOYEES FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEYS' FEES, ARISING OUT OF OR RESULTING FROM PERFORMANCE OF THE WORK, PROVIDED THAT SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF), BUT ONLY TO THE EXTENT CAUSED BY THE NEGLIGENT ACTS OR OMISSIONS OF THE CONTRACTÒR, A SUBCONTRACTOR, ANYONÉ DIRECTLY OR INDIRECTLY EMPLOYED BY THEM OR ANYONE FOR WHOSE ACTS THEY MAY BE LIABLE, REGARDLESS OF WHETHER OR NOT SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER. SUCH OBLIGATION SHALL NOT BE CONSTRUED TO NEGATE, ABRIDGE, OR REDUCE OTHER RIGHTS OR OBLIGATIONS OF INDEMNITY WHICH WOULD OTHERWISE EXIST AS TO A PARTY OR PERSON.
- IN CLAIMS AGAINST ANY PERSON OR ENTITY INDEMNIFIED BY AN EMPLOYEE OF THE CONTRACTOR, A SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THEM OR ANYONE FOR WHOSE ACTS THEY MAY BE LIABLE, THE INDEMNIFICATION OBLIGATION SHALL NOT BE LIMITED BY A LIMITATION ON AMOUNT OR TYPE OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR OR A SUBCONTRACTOR UNDER WORKERS' COMPENSATION ACTS, DISABILITY BENEFIT ACTS OR OTHER EMPLOYEE BENEFIT ACTS.



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GEOFFREY B. LIM aia, ncarb, leed ap

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Project Owner:

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JOSH COOL WILLIAM AYALA WILLIAM AYALA

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PRINCIPAL IN CHARGE

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Project Number: 142-002-18

TUSTIN,CA 92780

Sheet Title: GENERAL NOTES

REFLECTED CEILING NOTES

- 1 ALL CEILING HEIGHT INDICATED ARE TO BE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE.
- 2 LOCATE ALL RECESSED FIXTURES @ CENTERLINE OF TILE UNLESS OTHERWISE INDICATED. 3 LIGHTING AT ALL FOOD PREP AREAS & KITCHEN HAS BEEN DESIGNED TO PROVIDE 50 fc @ WORK LEVEL. LIGHTING IN ALL OTHER AREAS HAS BEEN DESIGNED TO PROVIDE AT LEAST 10fc @ 30" A.F.F.. ALL EXPOSED LAMPS IN FOOD PREP AREAS ARE TO BE ENCAPSULATED COATED
- 4 CONTRACTOR TO PROVIDE LAMPS INDICATED FOR ALL O.F.C.I. FIXTURES.
- ALL EMERGENCY FIXTURES & EXIT SIGN QUANTITIES & LOCATIONS SHALL BE COORDINATED IN FIELD BY GC, LIGHTING VENDOR & CITY OFFICIAL. GC IS RESPONSIBLE TO PROVIDE ADDITIONAL FIXTURES IF REQUIRED BY OFFICIAL, G.C. MUST MATCH SPECIFIED FIXTURE.
- COORDINATE & NOTE (LIGHT SWITCHODIMMER BANK LOCATION. 6 FIXTURE QUANITIES SHOWN ARE APPROXIMATE THE LIGHTING VENDOR IS RESPONSIBLE FOR
- DETERMINING EXACT FIXTURE COUNTS REQUIRED FOR PROJECT. 7 GC IS RESPONSIBLE FOR COORDINATING FINAL FIXTURE QUANITIES WITH LIGHTING VENDOR PRIOR TO BIDDING, ORDERING & INSTALLATION.
- 8 REFER TO ELECTRICAL SHEETS FOR EXACT LIGHTING INFORMATION.
- 9 REFERENCE ELECTRICAL SHEETS FOR DIMMING SCHEDULE
- 10 GC TO PAINT ANY EXPOSE CONDUIT, DUCTWORK, BOTTOM OF DECK, AND ADJACENT WALL ABOVE BAFFLE CEILING AREA
- 11 GC TO FIELD PAINT LIGHT FIXTURE TRIM TO MATCH THE ADJACENT SOFFIT/CEILING FINISH PER THE FOLLOWING LOCATIONS:
- 12 GC SHALL ENSURE CLEARANCE FOR LIGHT FIXTURES, DUCTS, FIRE SPRINKLERS, ETC. SHOULD ANY OBSTRUCTION OCCUR THAT PREVENT INSTALLATION OF ANY REQUIRED COMPONENT, NOTIFY ARCHITECT PRIOR TO INSTALLATION OF GRID, INSTLLATION WITHOUT APPROVAL SHALL BE REMOVED REINSTALLED PER DIRECTION OF ARCHITECT AT GENERAL CONTRACTORS SOLE EXPENSE.
- 13 FIRE/LIFE SAFTY FIXTURES SHOWN ON PLAN ARE SUGGESTED LOCATIONS ONLY. F.L.S. CONTRACTOR TO COORINDATE AND SUBMIT DESIGN/BUILD DRAWINGS. FOR APPROPRIAE LOCATION OF STROBES AND EXIT SIGNS TO SUBMITTED TO IDA FOR APPROVAL AND FIRE DEPARTMENT FOR PERMIT PRIOR TO THE COMMENCEMENT OF ANY INSTALLATION.
- 14 BOTH NEW AND EXISTING SPRINKLER HEADS FOR THE AREA OF WORK WILL BE LOCATED PER SPRINKLER CONTRACTOR. DESIGN/BUILD DRAWING WILL BE SUBMITTED TO FIRE DEPARTMENT FOR APPROVAL
- 15 ALL LAY IN PANELS SHALL BE SECURED TO THE SUPENSION SYSTEM WITH TWO HOLD DOWNCLIPS MINIMUM FOR EACH TILE WITH A 4-FOOT RADIUS OF THE EXIT LIGHTS AND EXIT
- 16 ALL ACCESS PANEL IN GYPSUM BOARD CEILING TO GFRG ACCESS PANEL SIZED AS REQUIRED. PROVIDE 24" X 24" SIZE OPENING ACCESS PANEL. CONFIRM SIZE AND LOCATION WITH IDA. ACCESS PANELS SHALL BE PROVIDED FOR ELECTRICAL, PLUMBING, AND AIR CONDITIONING CONTROL AS REQUIRED BY THE BUILDING CODE, NFPA, AND LOCAL CITY CODE, IF LOCATION AND TYPE NOT SHOWN ON DRAWINGS, CONFIRM LOCATION AND TYPE WITH IDA PRIOR TO
- 17 RELOCATE / RAISE EXISTING BACK BOX, CONDUIT, HVAC EQUIPMENT, DEVICE, AND ANY OTHER
- ITEMS THAT WILL NEED UPWARD RELOCATION BASED ON NEW PROJECT CEILING HEIGHT. 18 CEILING GRID SYSTEM WITHIN AREA OF WORK ARE TO BE INSTALLED IN A CONTINUOUS GRID
- REPAIRS WILL RESULT IN A CONSISTENT CEILING GRID. 19 SMOKE DETECTOR SHALL BE INSTALLED IN TENANT SPACE BY LICENSED ALARM SYSTEMS CONTRACTOR, WORK SHALL BE CONNECTED TO EXISTING BUILDING SYSTEM.

PATTERN SO THAT WHEN A PENTRATING PARTITION IS REMOVED, NECESSARY CEILING

- 20 ALL SPRINKLERS ARE BUILDING STANDARD U.O.N.
- 21 ALL SWITCHING AND LIGHTING LAYOUT SHALL COMPLY WITH TITLE 24 STANDARD
- 22 PROVIDE EMERGEBCT EXIT AND EXIT LIGHTING SYSTEM AS REQUIRED BY GOVERING JURISDICTION. EMERGENCY LIGHTING SHALL HAVE MIN 90 MIN BATTERY BACKUP.
- 23 THE HEATING, VENTILATION, AND AIR CONDITIONS SHALL ACCODATE THE NEW OCCUPANCY. ALL ROOMS AND REAS SHALL HVAC SUPPLY AND RETURN AIR. THERMOSTATES SHALL HAVE AUTOMATIC CHANGEOVER FEATURE (NO MANUAL SWITCHING FROM HEATING TO COOLING CYCLES), WITH METAL NON VISUAL TAMPER PROOF COVERS.
- 24 PRIOR TO INSTALLATION, HVAC ZONES AND T-STAT LOCATIONS TO BE APPROVED BY TENANT & COORDINATE WITH FURNITURE PLANS AND WALL FINISH LOCATIONS.
- 25 LATERAL SUPPORTS TO BE PROVIDED BY POST WIRE OF MINIMUM 12 GA, LAYED IN FOUR FIRECTIONS 90 DEGRESSS APART. CONNECTED TO MAIN RUNNER WITH 12 INCHES OF THE CROSS RUNNER AND TO THE STRUCTURE ABOVE OR TO PARTITION. ATTACH TO WALLS OR BRACE AN ANGLE NOT EXCEED 45 DEGREES FROM THE PLANE OF THE CEILING, SUPPORT POINTS SHALL BE PLACED 12" O.C.. IN EACH DIRECTION WITH THE FIRST POINT WITH 4'-0"
- FROM EACH WALL. SEE TYPICAL DETAIL ON DETAIL SHEETS. 26 ALL LIGHTING TO BE COORDINATED WITH DINING TABLES

PLUMBING NOTES

- PLUMBING CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLUMBING ROUGH-IN. FIXTURES, AND ACCESSORIES SHOWN ON ALL CONSTRUCTION PLANS, AND DETAIL DRAWINGS UNLESS OTHERWISE NOTED. PLUMBING CONTRACTOR SHALL SUBMIT CUTS OF ALL NEW FIXTURE, FITTINGS, AND ACCESSORIES TO ARCHITECT
- AND PLUMBING ENGINEER FOR APPROVAL. PLUMBING CONTRACTOR SHALL COORDINATE WORK WITH MANUFACTURERS SPECIFICATIONS ALL EXISTING PLUMBING BEING ABANDONED SHALL BE CAPPED BEHIND EXISTING FINISHED SURFACES. EXISTING
- SURFACES SHALL BE PATCHED TO MATCH EXISTING SURROUND SURFACES IN MATERIAL AND FINISH. THE GENERAL CONTRACTOR SHALL ALSO INLUCDE IN HIS / HER BID A COST FOR WORK FOR CEILING REMOVAL AND REINSTALLATION REQUIRED FOR PLUMBING WORK IN CEILING PLENUM OF FLOOR BELOW TO COMPLETE WORK ON FLOOR BEING RENOVATED
- FURNISH ALL VALVES AS INDICATED ON THE DRAWINGS OR AS MAY BE REQUIRED FOR THE PROPER CONTROL OF THE VARIOUS APPARATUS AND PIPING INSTALLED UNDER THIS SECTION SO THAT ANY FIXTURE LINE OR PIECE OF APPARATUS MAY BE CUT OFF FOR REPAIR WITYHOUT INTERFERENCE OR INTERRIPTION OF THE SERVICE TO THE REST OF THE BUILDING.
- BEFORE BEING COVERED UP OR BUILT-IN ALL PIPE SHALL BE TESTED AND INSPECTED AS REQUIRED BY THE AUTHORITIES JURISDICTION.
- TOILET FLUSH CONTROLS PROVIDED AND INSTALLED AS PART OF THE WORK SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRED TIGHT GRASPING. PINCHING OR TWISTING OF THE WRIST, CONTROLS FOR THE FLUSH VALVES SHALL BNE MOUNTED ON TEH WIDE SIDE OF THE TOILET AREA, NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVIATED THE CONTROL SHALL NOT BE GREATER THAN 5 POUNDS.
- FAUCET CONTROLS OR OTHER OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHES, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE THE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. LEVEL OPERATED PUSH TYPE AND ELECTRONICALLY CONTROLED MECHANISM ARE EXAMPLE OF ACCEPTABLE DESIGN. SELF CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAIN OPEN FOR AT LEAST 10 SECOND.
- PLUMBING CONTRACTOR OR GENERAL CONTRACTOR SHALL INSTALL CAULKING, AND TO ENSURE THERE IS NO
- WHERE AT THE WATER SOFTENER WASTE WATER DISCHARGE, PLUMBING CONTRACTOR SHALL USE SALT CORROSION PREVENTION PIPE PRODUCT (IE. STAINLESS STEEL PIPE ETC.)

HVAC NOTES

- SUBMIT SHOP DRAWING INDICATING ALL NEW EQUIPMENT, DIFFUSERS, THERMOSTATE AND ANY REQUIRED ACCESS PANELS TO ARCHITECT AND MECHANICAL ENGINEER FOR REVUEW PRIOT TO PROCEEDING WITH FABRICATION AND /
- INSTALLATION SHALL BE COORDINATE WITH ALL TRADES AS REQUIRED FOR PROPER ASSEMBLY CEILING DIFFUSERS TO BE RELOCATED TO MAINTAIN NEW FIXTURE PATTERNS. INTERIOR SPACES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE ADMINTRATIVE CODE. PLANS
- SHOWING MECHANICAL VENTILATION SYSTEM WILL BE FILLED IN ACCORDANCE WITH THE RULE OF THE BUILDING DEPARTMENT.
- ANY BUILDING SERVICE SHUT DOWN REQUIRED FOR THE WORK SHALL BE REQUESTED IN WRITING BY THE HVAC CONTRACTOR AT LEASE 72 HOURS IN ADVANCE OF THE SHUT DOWN. THE HVAC CONTRACTOR SHALL OBTAIN APPROVAL FROM ALL AUTHORITIES HAVING JURISDICTION PRIOR TO SHUT DOWN. ANY SHUT DOWN AFFECTING THE NORMAL HVAC SERVICE OF OTHER BUILDING OCCUPANTS SHALL BE DONE ON OVERTIME AND AFTER HOURS. BALANCING OF ENTIRE SYSTEM SHALL BE DONE BY AN INDEPENDANT AIR BALANCE COMPANY, SUNMIT REPORT TO
- ARCHITECT, TENANT, AND MECHANCIAL FOR REPORT. ALL DUCT WORK SHALL BE INSULATED AS REQUIRED FOR THERMAL AND ACOUSTIC CONSIDERATION.
- MECHANCIAL VENTILATION IN TOILET ROOM SHALL PROVIDE (1) COMPLETE AIR CHANGE EVERY (15) MINUTE AND SHALL BE VENTED TO OUTSIDE AIR.
- ALL NEW MATERIAL REQUIRED SHALL BE EQUAL TO OR BETTER IN QUALITY THAN THE EXISTING

PAINT AND WALL COVERING NOTES

- 1 UNLESS OTHERWISED SPECIFIED, ALL AREAS TO BE PAINTED IN ACCORDANCE WITH FINISH PLAN.
- 2 ALL WALLS AND CEILING SHALL BE PROPERLY PREPARED, SPACKLED SANDED ETC. TO PROVIDE A PERFECTLY SMOOTH FINISH AND SURFACE READY FOR PRIME AND PAINT.
- 3 ALL LOOSE PAINT SHALL BE REMOVED AND SPACKLED OR PLASTER PATCHED
- 4 ALL UNEVENNESS IN PARTITIONS SHALL BE SANDED OR CHIPPED AWAY AND SURFACES PLASTER-PATCH OR SPACKLED TO INSURE EVEN SURFACE 5 ALL WOOD SHELVING AND PAINTED DOORS SHALL RECEIVING PRIMING SANDING AND TWO FULL COATS OF
- SEMIGLASS ENAMEL FREE OR BRUSH MARKS, UNLESS OTHERWISE NOTED. 6 THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL SWITCH PLATES AND OUTLET PLATES, SURFACE HARDWARE ETC, PRIOR TO PAINTING, PROTECTING AND REPLACING SAME WHEN PAINTING HAS BEEN COMPLETED. GC SHALL REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLISHED OR SPLASTERED ON SURFACES, INCLUDING BUT NOT LIMITED TO LIGHT FIXTURES, DIFFUSERS, REFISTERS AND SLAB FITTING ETC.
- 7 THE CONTRACTOR SHALL USE A LATEX BASE PAINT IN COLORS AND FINISHES SELECTED BY ARCHITECT. CONTRACTOR SHALL PROPERLY PREPARE ALL SURFACE TO RECEIVE ONE (1) PRIME COAT AND (2) FINISH COATS OF PAINT IN COLOR SELECTED BY ARCHITECT.
- 8 THE CONTRACTOR SHALL INSTALL WALL COVERINGS AS PER MANUFACTURERS INSTALLATION SPECIFICATION. WHERE DESIGNED, ALL WALL COVERINGS SHALL BE SMOOTH WITH NO SRINKLES, BUBBLES, OR LOOSE EDGE, ALL PASTE AND BRUSH MARKS SHALL BE THROUGHLY REMOVED WALL COVERING ADJOINING WOOD OR METAL TRIM SHALL BE CUT STRAIGHT AND SQUARE. ALL WORKMANSHIP WHICH IS NOT JUDGED TO BE FIRST EQUALITY BY ARCHITECT WILL NOT BE ACCEPTED
- 9 THE CONTRACTOR SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETE OF WORK BY ALL TRADES AND INDICATE ALL NECESSARY "TOUGH-UP" PAINTING AND/OR PATCHING 10 IT IS THE INTENT OF THE DRAWING THAT ALL EXPOSE SURFACE RECEIVE FINISHES AS INDICATED ON THE DRAWINGS OR IN THE SPECIFICATION UNLESS SPECIFICALLY NOTED OTHERWISE. ANY SURFACE WHICH DO NOT
- HAVE A SPECIFICATION FINISH NOTED OR ARE NOTED TO REMAIN UNFINISHED SHALL BE BROUGH TO ATTENTION TO ARCHITECT AND FINISHED PER ARCHITECT'S INSTRUCTION. 11 FINISH FRONT SIDE, BACK SIDE AND DOOR EDGE AT STRIKE SIDE AND HINGE SIDE, LEAVE TOP AND BOTTOM

UNPAINTED TO PREVENT WRAPING

- 12 PAINT ALL METAL ACCESS DOORS AND ACCESS PANELS TO MATCH ADJACENT WALL OR CEILING FINISH, GRAPHIC ON DOOR OR PANEL (IF ANY) ARE TO BE REPAINTEN/RE-APPLIED TO MATCH EXISTING. IF APPLICABLE. 13 MARBLE TILE INSTALLATION SHALL BE A THIN SET APPLICATION CONFORMING TO ANSI A108.4 TCA HANDBOOK AND SECTION 12 SHEET GN-1 REQUIREMENT FOR HORIZONTAL AND VERTICAL APPLICATION. GROUT JOINT SHALL BE 1/16" AND CONFORM ANSI A108.10 AND TCA HANDBOOK SPECIFICATION. GROUTED COLOR IS TO BE SPECIFIED BY ARCHITECT. EXPANSION JOINTS SHALL MEET METHOD EJ171. ALL HORIZONTAL SURFACE SHALL RECEIVE A CLEAR SEALER COAT AS MANUFACTURED BY MIRA SEAL #511 OR EQUAL AND SHALL BE APPLIED BY MANUFACTURERS RECOMMENDATION.
- 14 GRANITE TILE INSTALLATION SHALL BE A THING SET APPLICATION CONFORMING TO ANSI A108.4 TCA HANDBOOK AND SECTION 12 SHEET GN-1 REQUIREMENT FOR HORIZONTAL AND VERTICAL APPLICATION. GROUT JOINTS SHALL BE 1/16" AND CONFORM TO ANSI A108.10 AND TCA HANDBOOK SPECIFICATIONS. GROUT COLOR IS TO BE SPECIFIED BY ARCHITECT. EXPANSION JOINTS SHALL MEET TCA METHOD EJ-171. ALL HORIZONTAL SURFACE RECEIVE A CLEAR SEALER COAT AS MANUFACTURER BY MIRA - SEAL #511 OR EQUAL AND SHALL BE APPLIED BY MANUFACTURERS RECOMMENDATIONS.
- 15 CONTRACTOR IS TO INSTALL CERAMIC TILE IN ACCORDANCE WITH ANSI/TCA A108.5 INSTALLATION SPECIFICATION MORTAR BED SHALL BE A THING SET BOND COAT, DRY CEMENET MORTAR MEETING ANSI / TCA A166.4. GROUT SHALL BE CEMENT DRY CURE TYPE WITH LATEX ADDITIVE FOR STRENGTH AND ACID RESISTANCE, COLOR TO BE SPECIFIEDBY ARCHITECT, PROVIDE NECESSARY CAPS, STOPS, RETURNS, TRIMMERS, AND OTHER SHARPS TO COMPLETE INSTALLATION. PROVIDE COVE TYPE BASE TO MATCH WALL WHERE WALL TILE IS USE. OTHERWISE MATCH COLOR OF FLOOR TILE. PROVIDE THREHOLD AT WALL OR FRAME OPENING TO OTHER BUILDING AREA NOT

POWER/VOICE/DATA NOTES

- ALL FIXTURE PROVIDED FOR DATA CABLING SHALL COMPLY TO DATA CONSULTANT'S PERFORMANCE CRITERIA
- ELECTRICAL CONTRACTOR SHALL SUBMIT CUTS OF ALL FIXTURE AS DIRECTED
- 3 ELECTRICAL CONTRACTOR SHALL COORDINATE ANY ELECTRICAL OF LIGHTING INSTALLATION INTO THE
- CABINET WORK WITH THE MILLWORK VENDOR AS REQUIRED ELECTRICAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY LIGHTING AND ELECTRI CAL SERVICE FOR ALL
- WHERE MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION, THEY SHALL BE INSTALLED IN GANG TYPE BOX UNDER ONE COVER PLATE.
- ALL ELECTRICAL, TELEPHONE RECEPTACLES AND LIGHTING FIXTURE SHALL BE LOCATED DIMENSION ON
- 7 ALL NEW OUTLETS ON COLUMNS WILL BE CENTERED ON FACE SHOWN, UNLESS OTHERWISED NOTES. 8 NOT "BACK TO BACK" OUTLETS ARE PERMITTED WITHIN A WALL OUTLETS MUST BE STAFFERED IN LOCATION AND INSTALLED IN SEPARATE STUD CAVITIES.
- POWER AND TELEPHONE OUTLETS SHOWN ON PLANS ARE NOT INCLUSIVE OF ALL OUTLET REQUIRED BY TENANT. CONTRACTOR SHALL VERIFY WITH TENANT ALL REQUIRED OUTLETS ETC. WITH THE TENANT PRIOR TO COMPLETEING WALL CONTSTRUCTION
- 10 ALL FIRE PREVENTION AND ELECTRICAL WIRING TO BE PLACED IN CONDUIT.
- 11 FIRE RATED TEPLOW PLENUM CABLES SHALL BE USED FOR TELEPONE AND ANY LOW VOLTAGE CIRCUITS NOT IN CONDUIT 12 UNLESS OTHERWISE NOTED. ALL OUTLETS SIDE BY SIDE SHALL BE 6" FROM CENTER OF PLATE WITH POSITION DIMENSION CENTERED BETWEEN.
- 13 PROVIDE TELEPHONE OUTLETS BOXES (WHERE SHOWN ON ELECTRICAL / TELEPHONE PLAN) AND ALL NECESSARY CONDUIT RUNS TO TELEPHONE EQUIPMENT AS REQUIRED.
- ALL ELECTRICAL AND TELEPHONE WIRING CONDUIT SHALL BE CONCEALED IN PARTITION AND / OR CEILING.
- THE ELECTRICAL AND / OR GENERAL CONTRACTOR SHALL PROVIDE ALL CUTTING AND PATCHING OF ALL CHASES IN FLOORS, WALLS, AND CEILINGS, AS REQUIRED.
- PROVIDE NEW BLACK COVER PLATES FOR ABANDONED OUTLET LOCATIONS, COVER PLATES TO MATCH BUILDING STANDARD, UNLESS OTHERWISE NOTES.
- CONVENIENCE RECEPTACLES SHALL BE BUILDING STANDARD DUPLEX TYPE RATED 15 AMP, 125V GROUND
- TYP., UNLESS OTHERWISE NOTED 18 THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL POWER WIRING
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE WORK WITH THE AIR CONDITION ENGINEER AND CONTRACTOR PRIOR TO EXECUTING WORK
- 20 AS IT RELATED TO THIS SET OF DOCUMENT A DEDICATED CIRCUIT (DC) SHALL BE A SINGLE CIRCUIT WITH MULTIPLE OUTLETS DECDICATED TO A SPECIFICATION USAGE.
- 21 ALL POS STATION, SECURITY CAMERA SHALL BE DEDICATED CIRUCIT. ELECTRICAL CONTRACTOR TO COORDINATE WITH OWNER'S DATA AND SECURITY EQUIPMENT VENDOR FOR LOCATION AND NUMBER OF
- 22 ELECTIRCAL CONTRACTOR TO PROVIDE CONDUIT AND WIRING CONNECTION LANDLORD'S STUB-IN LOCATION TO TENANT ELECTRICAL PANELS LOCATION. IT IS ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO VERIFY IN
- FIELD THE LOCATION OF STUB IN AND RUN DISTANCE PRIOR SUBMITTING TO THE BID. 23 ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT FROM SERVER ROOM TO CEILING FOR FORIZONTAL CABLE DISTUBTION DATA, VENDOR TO CONFIRM SIZE AND QUANITITY OF CONDUIT.
- 24 ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL CIRCUITS AT THE MAIN PANEL ARE ADEQUATE FOR NEW REQUIREMENT, INSTALL NEW CONDUIT, OR PANEL IF REQUIRED.
- 25 ELECTRICAL CONTRACTOR DE CORPAT DIVIDUANIA ORIS NEOTE DE SLARM VENDOR, POWER REQUIREMENT. PROVIDE PLANEAU DE LA CORPAT DEL CORPAT DE LA CORPAT DE
- ALL DIMENSIONS ARE TAKEN FROM FACE OF METALSTUD, UNLESS OTHERWISE NOTED. DIMENSIONS TAKEN FROM DIMISING WALLS OR OTHER EXISITNG WALLS, ARE TAKEN FROM FINISH FACE OF DIMISING WALL, UNLESS OTEHRWISE NOTED. ALL EXISTING CONDITIONS ARE TO BE PROVIDED BY THE LANDLORD & VERIFIED
- 2 ALL WOOD TO BE SEALED W/ FIRE RETARDER INTUMESCENT SEALER TO MEET FIRE CLASS "B" RATING OR
- 3 ALL CONCEALED WOOD BLOCKING TO BE FIRE RETARDED TREATED WOOD.
- 4 RE-SPRAY ALL DAMAGED FIRE PROTECTION AROUND COLUMNS. WHERE APPLIES. COORDINATE W/ EQUIPMENT & PLUMBING PLANS FOR TRENCH DRAINS. FLOOR DRAINS. FLOOR SINKS & HUB
- DRAINS. DRAINS TO BE SET AT MIN. ELEVATION TO PROVIDE PROPER DRAINAGE. SLAB TO BE SLOPED 1/4" PER 1'-0" UNLESS OTHERWISE NOTED. 6 GC TO INSTALL SILICONE SEALANT TO ALL SS PANEL JOINTS LOCATED AT WALK-IN COOLERS & FREEZER, COORDINATE WITH EQUIPMENT MANUFACTURER
- PROVIDE FIRE CAULKING AT ALL PENETRATIONS IN DEMISING WALLS IN ORDER TO MAINTAIN FIRERATING GC TO PROVIDE : CLASS "K" WET CHEMICAL SURFACE MOUNTED FIRE EXTINGUISHERS & TYPE 2A10BC FIRE EXTINGUISHERS IN RECESSED CABINETS - VERIFY QAUNTITY & LOCATION IN FIELD W/ FIRE MARSHALL.
- 9 ALL GAPS UNDER EXTERIOR DOORS NOT TO EXCEED 1/4" 10 REFERENCE ELEVATIONS FOR ALL NEW WALL FINISHES 11 GC TO INSTALL GREASE AND SLIP RESISTANT ROOF WALKWAYS AROUND GREASE FAN AS REQUIRED BY MALL
- ROOFER AND ROOF MANUFACTER WHO RETAINS WARRANTY. 12 GC TO REMOVE TEMPORARY COVER ON EXTERIOR FENESTRATIONS FOR NEW STOREFRONT AND DOORS. 13 G.C. TO PROVIDE PAINT TOUCH UP AFTER FIXTURE INSTALL AND STOCKING 14 ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED MOISTURE RESISITANT WOOD
- 15 PROVIDE REDUCER/TRANSITION STRIPS AT ALL FLOORING TRANSITIONS. REFER TO FLOOR TRANSITION DETAILS 16 GC IS REQUIRED TO PROTECT CONCRETE SIDEWALKS, WALLS, FLOORS AND OTHER SURFACES PER CENTER
- MANAGEMENT DIRECTION. G.C. IS RESPONSIBLE TO PAY THE COSTS OF ANY DAMAGE TO THE COMMON AREA SURFACES CAUSED BY SUB-CONTRACTORS OR DELIVERY PERSONNEL.
- 17 GC TO ADVISE MALL MANAGEMENT 24 HOURS IN ADVANCE OF SAWCUTTING, UTILITY REMOVAL OR CAPPING 18 G.C. IS RESPONSIBLE TO INSURE THAT THERE ARE NO UNDERGROUND UTILITIES OR OTHER SERVICES BEFORE CUTTING ANY CONCRETE ANYWHERE ON THE PROPERTY
- 19 CONTRACTOR SHALL THOROUGHLY VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT

DOOR NOTES

- ALL DOOR HANDLES TO BE LEVER TYPE PER STATE AND LOCAL ACCESSIBILITY REQUIREMENTS. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE
- OF A KEY OR ANY SPECIAL KNOWLEDGE PROVIDE DOOR STOPS OF APPROPRIATE TYPE FOR ALL INTERIOR DOORS, MATCH
- ADJACENT HARDWARE. DOOR CLOSURES SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90
- DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 **DEGREES WILL BE 5 SECONDS MINIMUM** FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE
- APPROPRIATE ADMINISTRATIVE AUTHORITY. THE REQUIRED FORCE FOR PUSHING OPEN OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS: INTERIOR HINGED DOOR: 5.0 LB (22.2 N) MAXIMUM SLIDING/FOLDING DOOR: 5.0 LB (22.2 N) MAXIMUM EXTERIOR HINGED DOOR: 7.5 LB (22.2 N) MAXIMUM
- THE BOTTOM 10 IN. OF ALL DOORS EXCEPT AUTOMATIC DOORS, POWER ASSISTED DOORS, AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION
- PANIC HARDWARE SHALL BE PROVIDED AS SCHEDULED LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN THE PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE PANIC BARS PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE
- LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION. HAND-ACTIVATED DOOR OPENING HARDWARE TO BE CENTERED BETWEEN 30" AND 44"
- ABOVE THE FLOOR EVERY DOORWAY WHICH IS LOCATED WITHIN AN ACCESSIBLE PATH OF TRAVEL SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3'-0" IN WIDTH & NOT LESS THAN 6'-8" IN HEIGHT. WHEN INSTALLED, EXIT DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE EXIT IS NOT LESS THAT 32"
- MINIMUM MANEUVERING CLEARANCES @ DOORS SHALL BE AS SHOWN IN FIGURE 33-2. THE FLR. OR GROUND AREA WITHIN THE REQ'D. CLEARANCES SHALL BE LEVEL & CLR. THERE SHALL BE A LEVEL AND CLR. FLR. OR LANDING ON EACH SIDE OF A DOOR. THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48" AS MEASURED AT
- RIGHT ANGLES TO THE PLANE OF THE DOOR IN THE CLOSED POSITION. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND A MINIMUM OF 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXT. DOORS AND A MINIMUM OF 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS.

THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD

- OF THE DOORWAY. DOORS SHALL NOT PROJECT MORE THAN 7" INTO THE REQUIRED CORRIDOR WIDTH WHEN FULLY OPENED OR MORE THAN ONE HALF INTO THE REQUIRED WIDTH WHEN IN ANY POSITION.
- COORDINATE DOOR WOOD SPECIES WITH OWNER 17 ALL HARDWARE SHALL BE FINISHED TO MATCH ANSI #623, LIGHT OXIDIZED, STATUARY BRONZE, CLEAR COATED, UNLESS OTHERWISE NOTED.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 LBS. FOR INTERIOR
- 19 ALL HARDWARE SHALL COMPLY WITH APPLICABLE CODES AND ADA REQUIREMENTS. SPECIFIC HARDWARE MANUFACTURER AND MODEL NUMBERS SHALL BE SELECTED BY
- ARCHITECT FROM MANUFACTURER'S STANDARDS AND COLORS ALL DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
- OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2 N) MAXIMUM
- 23 ALL LOCK SETS SHALL BE CODED AND/OR KEYED IN ACCORDANCE WITH THE BUILDING REQUIREMENTS. CODES AND/OR KEYS ARE TO BE DELIVERED TO TENANT PROPERLY TESTED AND/OR TAGGED, THE NUMBER OF MASTER AND PASS KE COORINDATE WITH VALUE OF MASTER AND PASS KE COORINGATE WITH VALUE <u>K</u>EYS SHALL BE

MILLWORKER TO SUBMIT COMPLETE SHOP DRAWINGS FOR APPROVAL AND VERIFY ALL

- DIMENSIONS IN THE FIELD BEFORE FABRICATION. CONFIRM FINISHES ON SHOP DRAWINGS. SUBMIT (4) 9" X 9" SAMPLE OF EACH FINISH FOR APPROVAL. ALL WOOD VENEERED OR CONVERSION VARNISH FINISHED MILLWORK SHALL BE
- FABRICATED TO PREMIUM GRADE STANDARDS. 3 GC TO COORDINATE WITH MILLWORKER AND PROVIDE METAL BACKING AT WALL FRAMING FOR ALL WALL MOUNTED MILLWORK. GC TO ENSURE DELIVERY AND INSTALLATION OF CASEWORK AND FINISH CARPENTRY
- WILL NOT BE DAMAGED BY OTHER CONSTRUCTION WORK. COMPOSITE WOOD AND AGRIFIBER PRODUCTS. INCLUDING CORE MATERIAL MUST NOT CONTACTIN ADDED UREAFORMALDE RESINS.
- 6 LAMINATE ADHESIVE USED TO FABBRICATED ON SITE AND SHOP APPLIED ASSEMBLIES CONTAINING THESE LAMINATE ADHSIVE MUST CONTAIN NO ADDED UREAFORMLDEHYDE 7 ALL ADHESIVES AND SEALANTS USED FOR MILL WORK, PANELSING, OR VENEERING
- SHALL BE LOW VOC AND MUST NOT EXCEED THE VOC CONTENT LIMIT OF SCAQMD RULE 8 AEROSOL ADESIVE SHALL MEET REQUIREMENT EQUAL TO GREEN SEAL STANDARD
- 9 ALL THE WORK SHALL BE FABRICATED, ASSEMBLED, FINISHED, AND ERECTED TO MEET CURRET WIC STANDARDS 10 MILLWORK SHOP DRAWINGS ARE TO CALL OUT ALL MATERIAL AND FINISH, ALL JOINTS,

CORNERS. AND EDGES ARE TO BE DETAILED IN INDIVIDIUAL DETAILS. ALL DIMENIONS,

CRITICAL OR OTHERWISE. ARE TO BE CALLED OUT ON THE SHOP DRAWING. 11 COORDINATION OF MILLWORK AND OTHER SPECIALITY CONTRACTORS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

FINISH FLOOR PLAN NOTES

- 1 CLOSE GAP FROM COOLER WALL WITH S.S. CHANNEL 2 WALL FINISH, FACING TOWARDS WALK-IN COOLER, TO BE 12" BASE OD CEMENT BACKER
- BOARD WITH 5/8" MOISTURE RESISTANT GYPSUM BOARD TAPE, SAND AND PRIME ONLY 3 FINISHES IN ALL AREA, OTHER THAN THE CUSTOMER WAITING OR DINING AREAS, MUST BE SMOOTH, NONABSORBENT, WASILT CLEANABLE, AND DURABLE MATERIALS 4 FOOD PREP AREA FLOORING SHALL BE SMOOTH, NONABSORBENT, EASILY CLEANABLE, AND
- DURABLE. THE FLOORING SHALL BE OF AN APPROVED TYPE THAT CONTINUES UP THE WALL 31 4" IN A SEAMLESS MANNER, FORMING A 3/8" MIN. RADIUS COVE AS AN INTEGRAL UNIT. 5 ALL HIGH MOISTURE AREA, SUCH AS RESTROOM, KITCHEN, JANITOR CLOSET. GC SHELL USE GREENBOARD OTHERWISE NOTED ON THE PLAN. SURFACES BENEATH AND BEHIND
- SINKS SHALL BE FRP OR EQUIVALENTS. 6 ALL WALLS AND CEILINGS REQUIRED TO BE WASHABLE WILL HAVE SMOOTH FINISH 7 GC TO ENSURE SMOOTH AND ADA COMPLIANT TRANSITIONS BETWEEN FLOOR TYPES
- 8 GC TO OFFSET ALL 12"X24" TILE BY 1/3 MAXIMUM PER INDUSTRY STANDARDS AND MANUFACTURERS RECOMMENDATIONS

- NSF REGISTERED — MEETS USDA/FDA REQUIREMENTS

- 9 ALL INSET/CORNER TILES TO BE FULL TILES ONLY 10 PRIOR TO INSTALLING TILES, G.C. TO PROVIDE TILE PATTERN LAYOUT AND DIMENSIONS TO ARCHITECT FOR REVIEW AND APPROVAL 11 GC TO VERIFY ALL FLOORING PATTERN LAYOUT DIMENSIONS. NOTIFY ARCHITECT OF ANY
- DISCREPANCIES. DO NOT SCALE DRAWINGS. 12 G.C. TO CREATE SMOOTH FINISH TO ACCEPT FINISH FLOORING AS SCHEDULED SO THAT TOP OF FINISH FLOORING ALIGNS WITH EXTERIOR SLAB AND CREATES SMOOTH TRANSITION & ADA COMPLIANT. REFERENCE FLOOR PLAN AND KITCHEN DRAWINGS.

MMA* - REFERENCE FINISH SCHEDULE 'MMA-1' & 'MMA-2' MMA-1 = TRACTION FLOORING MMA-2 = SMOOTH FLOORING FINISH UNDERNEATH ALL KITCHEN EQUIPMENT

- METHYL-METHACRYLATE FLOORING SYSTEMS: - ONE-HOUR CURE TIME — REDUCING OPERATIONS DOWNTIME - PERMANENTLY BONDS TO CONCRETE SUBSTRATE - SPECIFICALLY DESIGNED TO WITHSTAND HEAVY IMPACT AND INTENSE TRAFFIC - SEAMLESS FINISH THAT IS UV RESISTANT AND WATERPROOF
- RES-TEK IS A LEADING U.S. MANUFACTURER DEDICATED TO THE FORMULATION AND PRODUCTION OF SEAMLESS COMMERCIAL AND INDUSTRIAL FLOORING SYSTEMS. CONCRETE DECK COATINGS. AND POLYMER CONCRETE REPAIR MORTARS. THEIR INNOVATIVE, PROPRIETARY PRODUCT LINES, BASED ON HIGH QUALITY REACTIVE ACRYLIC RESINS (METHYL-MATHACRYLATE) AND CEMENTITIOUS URETHANE, ARE RELIABLE, DURABLE, AND FAST CURING; OFFERING A SUPERIOR SOLUTION FOR THE MOST CHALLENGING ENVIRONMENTS.

DEMOLITION NOTES

- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF. HE SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH THE PLANS IN RELATION TO THE EXISTING FIELD CONDITIONS OR ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS. GC TO BRING SALES AREA TO A "SHELL" CONDITION" IN ORDER TO ACCEPT NEW FIXTURE LAYOUT AS PER NEW FIXTURE PLAN.
- SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION AND NOTIFY ARCHITECT BEFORE PROCEEDING. PERFORM SURVEYS AS THE WORK
- PROGRESSES TO DETECT HAZARDS RESULTING FROM DEMOLITION ACTIVITIES. CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING TO
- HAVE ACCEPTED SUCH CONDITIONS AND TO HAVE MADE ALLOWANCES THEREFORE IN PREPARING HIS BID PLANS SHOW GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE REMAINING CONTRACT DOCUMENTS, INCLUDING THE PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS. WORK INCLUDES REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISHED. PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED IN ORDER TO FACILITATE THE FINISHED PROJECT.
- FIELD VERIFY ALL DIMENSIONS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT. DO NOT SCALE DRAWINGS. ALL DIMENSIONS LOCATING WALLS ARE TAKEN FROM OUTSIDE FACE OF EXISTING PARTITIONS OR SURFACE OF MASONRY UNLESS OTHERWISE INDICATED.
- COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, OR DETERMINED BY OWNER TO REMAIN THE OWNER'S PROPERTY, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE
- REMOVED FROM THE SITE. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. REMOVE & TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS
- STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER. COORDINATE ALL WORK WITH THE LANDLORD/PROPERTY
- MANAGER TO VERIFY USE OF THE STORAGE ROOM, POWER, TEMPORARY STORAGE, SITE ACCESS, HOURS OF WORK
- SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERING ELEMENTS WHICH AFFECT: A. STRUCTURAL INTEGRITY OF ELEMENT
- B. INTEGRITY OF WEATHER EXPOSED OR MOISTURE RESISTANT ELEMENTS. PROVIDE TEMPORARY BRACING AND SHORING WITH CONNECTIONS OF SUFFICIENT STRENGTH TO BEAR IMPOSED LOADS, AND TO PROTECT ALL PERSONS AND PROPERTY, AND TO ENSURE PROPER ALIGNMENT, COMPLY WITH ALL STATE, O.S.H.A. AND LOCAL CODES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROVIDING ADEQUATE BRACING OF WALLS DURING DEMOLITION AND ERECTION TO PREVENT DAMAGE DUE TO HIGH WINDS OR OTHER LATERAL LOADS AND CONSTRUCTION IMPACTS. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR DAMAGE DUE
- TO HIS FAILURE TO TAKE SUCH PRECAUTIONS. SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.
- REMOVE & REINSTALL ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.
- 14 THE CONTRACTOR SHALL PROTECT ALL UNALTERED PORTIONS OF THE EXISTING CONDITIONS, AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING WORK AND WORK BY OTHERS. MAINTAIN EXISTING UTILITIES WHERE APPLICABLE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. VERIFY THAT SERVICE IS NOT DISCONNECTED IN OTHER TENANT
 - SPACES DURING DEMOLITION. PROVIDE TEMPORARY WEATHER PROTECTION, DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION, ON EXTERIOR SURFACES AND NEW CONSTRUCTION TO ENSURE THAT NO WATER DAMAGE OCCURS TO STRUCTURE, EXTERIOR, OR INTERIOR AREAS. G.C. TO PLACE WALK-OFF MATS AT EXITS TO CONTROL THE
 - TRACKING OF DUST, DIRT AND DEBRIS INTO LANDLORD'S COMMON AREAS. PROTECT WALLS, ROOF, SIDEWALKS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS. GENERAL CONTRACTOR TO REVIEW CONDITION OF CONCRETE SLABS (INTERIOR & EXTERIOR) TO BE RE-USED WITH
 - OWNER'S CONSTRUCTION MANAGER AFTER DEMOLITION OF EXISTING WALLS, FLOORS, & CEILINGS IS COMPLETE. GENERAL CONTRACTOR TO REVIEW PATCH LOCATIONS & COLOR FOR: TRENCHING LOCATIONS FOR NEW PLUMBING: NON-COMPLIANT CODE CONDITIONS; AND SIGNIFICANT COSMETIC DEFECTS WITH OWNER'S CONSTRUCTION MANAGER ANY EXISTING FINISHED SURFACES TO REMAIN THAT ARE AFFECTED BY SELECTIVE DEMOLITION SHALL BE PATCHED
- WHERE NEW WORK ADJOINS EXISTING WORK, THE CONTRACTOR SHALL DO ALL NECESSARY CUTTING, PATCHING AND FITTING. JUNCTURES OF NEW AND EXISTING OR OTHER WORK SHALL BE REPAIRED AND PATCHED TO MATCH ADJACENT EXISTING SURFACES. EXISTING WALLS: REQUIRING MODIFICATION OF ANY KIND SHALL BE REFINISHED TO THE NEAREST OUTSIDE OR INSIDE CORNER.

TO MATCH EXISTING ADJACENT SURFACES UNLESS CONCEALED BY NEW CONSTRUCTION

- 21 DISCONNECT AND REMOVE AND/OR CAP ALL EXISTING UTILITIES (ELECTRIC, GAS, WATER, SANITARY & STORM) WHERE SCHEDULED NOT TO BE REUSED, IN ACCORDANCE WITH CITY AND GOVERNING CODE AND UTILITY COMPANY
- 22 PROVIDE TEMPORARY LIGHTING/POWER AS REQUIRED, DURING AND AFTER DEMOLITION FOR ALL AREAS WITHIN LIMITS OF THIS CONTRACT. SUCH SERVICE SHALL BE TAKEN FROM EXISTING PANEL BOARDS, AND EXISTING EQUIPMENT MAY BE UTILIZED WHERE FEASIBLE. ALL EXISTING CONDUIT AND WIRE INTERFERING WITH THE NEW WORK SHALL BE REROUTED CONCEALED IN THE NEW
- CONSTRUCTION, UNLESS NOTED OTHERWISE. ALL UNUSED CONDUIT AND WIRE REMOVED SHALL BE REMOVED COMPLETELY BACK TO SOURCE, AND BRANCH
- OVER-CURRENT PROTECTIVE DEVICES PROPERLY LABELED "SPARE" UPON COMPLETION OF THE NEW INSTALLATION WORK, DISCONNECT, REMOVE, AND PROPERLY DISPOSE OF ALL TEMPORARY LIGHTING, POWER, AND WIRING, PROVIDE PHOTOGRAPHS OR VIDEOTAPE, SUFFICIENTLY DETAILED, OF EXISTING CONDITIONS OF ADJOINING
- CONSTRUCTION AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION CLEAN ALL HORIZONTAL SURFACES OF ACCUMULATED DUST AND DEBRIS. SWEEP THE BUILDING BROOM CLEAN ON COMPLETION OF DEMOLITION OPERATION. SHOULD THE CONTRACTOR ENCOUNTER SUSPICIOUS MATERIAL OR BECOME AWARE OF THE PRESENCE OF ASBES' CONTAINING MATERIALS, THEN THE CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER OF SUCH CONDITIONS. THE

- SPECIALIST CONTRACTOR TO VALIDATE, ABATE, ENCAPSULATE OR OTHERWISE ADDRESS THE ASBESTOS-CONTAINI MATERIALS AND WARRANT TO THE CONTRACTOR THAT THE WORK CAN PROCEED IN FULL COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS. MODIFY EXISTING FIRE SPRINKLER AS REQUIRED BY NEW CONSTRUCTION AND DESIGN BY TENANT G.C. SPRINKLER DESIGN TO BE DESIGN BUILD UNDER SEPARATE PERMIT. SPRINKLER CONTRACTOR TO PROVIDE DRAWINGS TO LOCA
- CONTRACTOR IN REGARDS TO DESIGN, PERMITTING AND INSTALLATION. ALL SPRINKLER MODIFICATION/INSTALL WO WILL BE UNDER A SEPARATE PERMIT SUBMITTAL. G.C. TO COORDINATE FIRE ALARM SYSTEM MODIFICATION WITH LANDLORD PREFERRED FIRE ALARM CONTRACTOR PER NEW FLOOR PLAN. ALL FIRE ALARM MODIFICATION/INSTALL WORK TO BE UNDER SEPARATE PERMIT.
- G.C. SHALL COORDINATE WORK WITH MALL MANAGER TO INSURE MINIMAL DISRUPTION TO MALL OPERATIONS AND ADJACENT TENANTS. G.C. TO REUSE ANY EXISTING IMPROVEMENTS, EQUIPMENT AND UTILITY SYSTEMS, PROVIDED THEY ACKNOWLEDGE RESPONSIBILITY FOR THE REPAIR, REPLACEMENT OR UPGRADE OF SUCH IF DETERMINED TO BE NON COMPLAINT WITH LATEST CODE, NOT DESIGNED OF TALREST FOR TO THE SAMAGED OR NON OPERATIONAL.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL PARTITIONS DESIGNATED ON THE DRAWINGS. UNLESS OTHERWISE NOTED. ALL DIMENSIONS FOR PARTITIONS ARE FROM FACE OF STUD TO STUD. ALL HEIGHTS
- THE GENERAL CONTRACTOR SHALL USE CORNER BEADS AT ALL EXPOSED CORNERS AND EXPOSED ENDS IN PLASTER AND DRYWALL PARTITIONS ALL PARTITIONS SHALL BE ANCHORED FIRMLY AS PER MANUFACTURERS SPECIFICATIONS AND AS REQUIRED BY THE

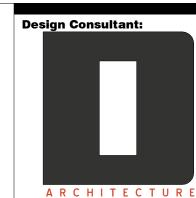
ARE FROM THE TOP OF THE FINISHED FLOOR UNLESS OTHER WISE NOTED.

PROPERBLY SEALED FOR SOUNDPROOFING AND VIBRATION.

THE LOCAL JURIDICATION.

- STATE AND LOCAL CODES. THE GENERAL CONTRACTOR SHALL PROVIDE SUFFICIENT FRAMING FOR ALL WALL PARTITOINS FOR DUCT WORK, RETURN AIR OPENINGS AND GRILL OPENINGS ABOVE AND BELOW HUNG CEILING. COORDINATE WITH HVAC ENGINEERING DRAWINGS AND THE GENERAL CONTRACTOR MECHANICAL SHOP DRAWINGS. ALL OPENING SHALL BE
- 6. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ACCESS PANEL AS REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATION PER LOCAL BUILDING CODES. LOCATIONS SHALL BE COORDINATE WITH ARCHITECT PRIOR TO INSTALLATION. ALL GYPSUM BOARD CONSTRUCTION IS TO MEET WITH THE GYPSUM ASSOICATION STANDARDS AS ENFORCED BY
- 8. THE GENERAL CONTRACTOR IS TO VERIFY PRIOR TO PRCING THE RATING OF THE EXISTING PARTITIONS. COLUMNS. ETC. THE GENERAL CONTRACTOR SHALL PROVIDE WALL FURRING AT EXISTING PARTITIONS WITH A RATING OF GREATER THAN 1 HOUR AS NECESSARY TO ACCOMMODATE ELECTRICAL OR PLUMBING CONDITIONS AS INDICATED
- 9. STANDARD DRYWALL STUDS SHOULD BE ELECTRO GALVANIZED STEEL WITH PUNCHED UTILITY OPENINGS AND KNURLED FLANGE AT LEAST 1 -1/4" WIDE FLANGE RETURNS. 10. GAUGE SPECIFIED ABOVE ARE A MINIMUM WHERE REQUIRED STUD HEIGHT EXCEEDS CODE COMPLIANCE, PROVIDE HEAVIER GAUGES STUDS OR DECREASE STUD SPACING AS NECESSARY TO CONFORM WITH CODE
- 11. ALL FIRE RATED PARTITIONS SHALL MEET CONSTRUCTION REQUIREMENT PER CBC STANDARD 12. ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE FULLY SEALED AND FITTED WITH APPROPRIATELY SIZED FIRE DAMPERS. 13. METAL STUDS ICC APPROVAL REPORT ESR #3064P

14. GFCI PROTECTION MUST BE PROVIDED FOR ALL FOOD PREPARATION AREAS §210.8 (B) (2) CEC.



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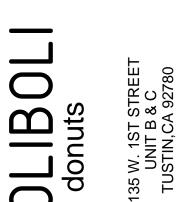
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Project Owner:





Issue For: ISSUED FOR CONSTRUCTION

> Issue Date: 02.26.2018 REASON

OVER-CURRENT PROTECTIVE DEVICES PROPERLY LABELED "SPARE".		
UPON COMPLETION OF THE NEW INSTALLATION WORK, DISCONNECT, REMOVE, AND PROPERLY DISPOSE OF ALL TEMPORARY LIGHTING, POWER, AND WIRING.		
PROVIDE PHOTOGRAPHS OR VIDEOTAPE, SUFFICIENTLY DETAILED, OF EXISTING CONDITIONS OF ADJOINING CONSTRUCTION AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION OPERATIONS.		
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CONTRACTOR SHALL NOT PROCEED WITH WORK IN THESE AREAS UNTIL OWNER HAS RETAINED A QUALIFIED SPECIALIST CONTRACTOR TO VALIDATE, ABATE, ENCAPSULATE OR OTHERWISE ADDRESS THE ASBESTOS-CONTAINING		
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INCIPAL IN CHARGE JOSH COOL

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UNIT #B&C

142-002-18 heet Title: GENERAL NOTES

HEALTH DEPARTMENT NOTES

WASTE WATER DISPOSAL

- 1. ALL LIQUID WASTE SHALL BE DRAINED BY MEANS OF INDIRECT WASTE PIPES INTO A FLOOR SINK. FLOOR SINKS ARE TO BE INSTALLED FLUSH WITH THE FINISHED FLOOR
- SURFACE AND HAVE SUITABLE EASILY REMOVABLE SAFETY COVER GRATES.

 2. FLOOR DRAINS SHALL BE INSTALLED IN FLOORS THAT ARE WATER-FLUSHED FOR CLEANING AND IN AREAS WHERE PRESSURE SPRAY METHODS FOR CLEANING EQUIPMENT ARE USED, IN RESTROOMS, JANITORIAL ROOMS, SCULLERIES, AND AT BARS WITH WAREWASHING. FLOOR SURFACES IN AREAS PURSUANT TO THIS SHALL BE SLOPED 1:50 TO THE FLOOR DRAINS.
- FLOOR SINKS TO BE 50% EXPOSED WHEN NO ACCESS IS PROVIDED FOR CLEANING OR BE IN LINE WITH THE FRONT FACE OF ELEVATED FREESTANDING EQUIPMENT.
- 4. APPROVED BACKFLOW PREVENTION DEVICES SHALL BE PROPERLY INSTALLED UPSTREAM OF ANY POTENTIAL HAZARD BETWEEN THE POTABLE WATER SUPPLY AND A SOURCE OF CONTAMINATION. HOSES SHALL NOT BE ATTACHED TO A FAUCET OR HOSE
- BIB UNLESS AN APPROVED BACKFLOW PREVENTER IS PROVIDED.

 5. NO CONDENSATE OR WASTEWATER INCLUDING HVAC WILL DRAIN INTO THE JANITORIAL

CONTACTED FOR GREASE REMOVAL REQUIREMENTS.

- A SEPARATE WET WASTE DUMP FIXTURE SHALL BE PROVIDED FOR DISPOSAL OF DRINK OR WASTE ICE OR COFFEE WASTE.
- 7. GREASE TRAP TO BE LOCATED OUTSIDE THE FOOD SERVICE ACTIVITY AREA, FLUSH WITH THE FINISHED FLOOR WHEN INDOORS. LOCAL WASTEWATER DISTRICT TO BE

WATER SUPPLY

- 1. THE HOT WATER HEATER WILL BE A COMMERCIAL TYPE CAPABLE OF CONSTANTLY SUPPLYING HOT WATER AT A TEMPERATURE OF 120°F TO ALL SINKS. IN SIZING THE WATER HEATER, THE PEAK HOURLY DEMAND FOR ALL SINKS, ETC., ARE ADDED TOGETHER TO DETERMINE THE MINIMUM REQUIRED RECOVERY RATE.
- 2. WATER SUPPLY TO CARBONATORS SHALL BE PROTECTED BY AN APPROVED REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTER. THE RELIEF VALVE SHALL DRAIN INDIRECTLY TO SEWER WITH A LEGAL AIR GAP.

GENERAL UTILITIES

- STATE ON PLANS WHETHER THE FACILITY IS SERVED BY A MUNICIPAL WATER SYSTEM OR BY WELL WATER.
- STATE ON PLANS WHETHER THE FACILITY IS SERVED BY A MUNICIPAL SEWER SYSTEM OR BY A SUB-SURFACE SEWAGE DISPOSAL SYSTEM (I.E. SEPTIC TANKS).
- ALL PLUMBING, ELECTRICAL AND GAS LINES SHALL BE CONCEALED WITHIN THE BUILDING STRUCTURE TO AS GREAT AN EXTENT AS POSSIBLE. ALL EXPOSED CONDUITS, PLUMBING, ETC. SHALL BE INSTALLED AT LEAST 6" OFF FLOOR AND ¾ FROM WALL USING STANDOFF BRACKETS.
- 4. CONDUITS, PLUMBING OR PIPING CANNOT BE INSTALLED ACROSS ANY AISLE WAY, TRAFFIC AREA OR DOOR OPENING.
- 5. MULTIPLE RUNS OR CLUSTERS OF CONDUIT OR PIPELINES SHALL BE FURRED DOWN OR ENCASED IN AN APPROVED SEALED ENCLOSURE.

6. ALL SEAMS, GAPS, AND OPENINGS TO BE PROPERLY SEALED.

VENTILATION

1. ADEQUATE VENTILATION IS TO BE PROVIDED TO ALL TOILET ROOMS, JANITORIAL CLOSETS WITH MOP SINKS, AND INDOOR TRASH ROOMS AND IN DRESSING, CHANGING POOMS)

LIGHTING NOTES

- 1. A MINIMUM OF 10 FOOT-CANDLES OF LIGHT MEASURED 30" OFF FLOOR IS PROVIDED IN WALK-IN REFRIGERATED STORAGE AND DRY STORAGE ROOMS AND AT LEAST 20 FOOT-CANDLES IS PROVIDED WHERE FOOD IS PROVIDED FOR CONSUMER SELF-SERVICE, WHERE FRESH PRODUCE OR PREPACKAGED FOODS ARE SOLD OR OFFERED FOR CONSUMPTION; INSIDE EQUIPMENT SUCH AS REACH-IN AND UNDER-COUNTER REFRIGERATORS; IN AREAS USED FOR HANDWASHING,
- WAREWASHING, EQUIPMENT AND UTENSILS STORAGE, AND IN TOILET ROOMS.
 A MINIMUM OF 50 FOOT-CANDLES OF LIGHT MEASURED 30" OFF FLOOR IS PROVIDED WHEN WORKING WITH FOOD OR WORKING WITH UTENSILS OR EQUIPMENT SUCH AS KNIVES, SLIVERS, GRINDERS, OR SAWS WHERE EMPLOYEE SAFETY IS A FACTOR AND IN ALL AREAS DURING PERIODS OF CLEANING.
- 3. SHATTERSHIELDS FOR ALL LIGHTS ABOVE FOOD PREPARATION, WORK, AND STORAGE AREAS WILL BE PROVIDED.
- 4 ALL FLUORESCENT FIXTURES WITH DOUBLE-ENDED LAMPS SHALL BE EQUIPPED WITH DISCONNECT MEANS PER 410.73(G) (§CEC 2013)

FLOORS, WALLS, WINDOWS, DOORS

- 1. FLOORING UNDER EQUIPMENT SHALL BE COMPLETELY SMOOTH FOR CLEANABILITY. FLOOR SURFACES THAT CONTAIN LIGHT TEXTURE SURFACES, ANTI-SLIP AGENTS OR ABRASIVE SURFACES ARE LIMITED TO WALKWAYS ONLY.
- THE PAINT USED ON WALLS AND CEILINGS OF ALL KITCHEN, FOOD PREPARATION, WORK, AND STORAGE AREAS WILL BE A GLOSS OR SEMI-GLOSS ENAMEL. FINISH
- MATERIAL SHALL BE A LIGHT COLOR IN FOOD PREP AREAS FOR EASY CLEANING.

 3. PRIOR TO INSTALLATION, SAMPLES OF FINISHES MAY BE SUBMITTED TO ENVIRONMENTAL HEALTH FOR APPROVAL AS NEEDED.
- 4. ANY OPENABLE WINDOWS IN DINING AREA ONLY, VENT OPENING OR OTHER SIMILAR OPENINGS MUST BE PROVIDED WITH TIGHT FITTING SCREENS OF MINIMUM 16-MESH TO THE INCH. WINDOWS TO BE FIXED AT FOOD PREP, UTENSIL-WASHING, OPEN FOOD AND UTENSIL STORAGE AREAS.
- 5. PASS-THROUGH WINDOWS MUST BE PROVIDED WITH TIGHT FITTING SCREENS ON MINIMUM 16-MESH TO THE INCH OR AIR CURTAIN AND MULTIPLE PASS-THROUGH WINDOWS ARE SPACED A MINIMUM OF 18" APART, MEASURED ON EDGE.
- ALL EXTERIOR DOORS OPEN OUTWARD AND ARE SELF-CLOSING AND TIGHT FITTING.
 BI-FOLD, FRENCH, ACCORDION STYLE AND ROLL-UP DOORS CANNOT OPEN INTO THE FOOD PREP, UTENSIL WASHING OR UNPACKAGED FOOD SERVICE AREAS.
- TOILET ROOM AND DRESSING ROOM DOORS MUST BE SELF-CLOSING, TIGHT FITTING.
 9. DELIVERY DOORS TO HAVE AIR CURTAIN FANS THAT SPAN THE WIDTH OVER THE DOOR. THE FAN MUST ACTIVATE VIA A MICROSWITCH PROVIDING A MINIMUM VELOCITY OF 1600 FPM MEASURED 3 FEET ABOVE THE GROUND.

CLEANING NOTES

- THE CONTRACTOR SHALL KEEP THE PREMISES AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY OPERATIONS UNDER THE CONTRACT. AT COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE WASTE MATERIALS, RUBBISH, THE CONTRACTOR'S TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS FROM AND ABOUT THE PROJECT.
- 2 IF THE CONTRACTOR FAILS TO CLEAN UP AS PROVIDED IN THE CONTRACT DOCUMENTS, THE OWNER MAY DO SO AND OWNER SHALL BE ENTITLED TO REIMBURSEMENT FROM THE CONTRACTOR.

CONSTRUCTION PROJECT...

- WEEKLY CONSTRUCTION MEETING SHALL BE CONDUCT ON SITE. GENERAL CONTRACTOR MANAGER, SUPER INTENDENT, ARCHITECT, ENGINEER,, AND OWNER'S REPRESENTATIVE ARE REQUIRED TO ATTEND THE MEETING.
 GENERAL CONTRACTOR MANAGER SHALL PREPARE MEETING AGENDA, CONDUCT
- 2 GENERAL CONTRACTOR MANAGER SHALL PREPARE MEETING AGENDA, CONDUCT MEETINGS, AND WRITE AND DISTRUBTE MEETING MINUTE AND DECISION TO PARTICIPANTS IN MEETING AND PARTIES AFFECT BY DECISION MADE AT THE MEETINGS.
- NOTIFICATION: GIVE PARTICIPANTS NO FEWER THAN SEVEN (7) DAYS NOTICE FOR ANY MEETING NOT REGULARLY SCHEDULED.

PRODUCT HANDLING NOTES

- 1 EXCEPT AS OTHERWISE APPROVED BY THE ARCHITECT, DETERMINE AND COMPLY WITH MANUFACTURER'S RECOMMENDATIONS ON PRODUCT HANDLING, STORAGE AND PROTECTION.
- DELIVER PRODUCTS TO THE JOB SITE IN THEIR MANUFACTURER'S ORIGINAL CONTAINER WITH LABELS INTACT AND LEGIBLE. MAINTAIN PACKED MATERIAL WITH SEALS UNBROEKN AND LABELS INTACT UNTIL TIME OF USE.
- PROMPTLY REMOVE DAMANGED MATERIAL AND UNSUITABLE ITEMS FROM THE JOB SITE AND PROMPTLY REPLACE WITH MATERIAL MEETING THE SPECIFIED REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
- 4 PROTECT FINISHED SURFACES, INCLUDING JAMBS AN SOFFITS OF OPENINGS USED AS PASSAGEWAYS AND FLOORS THROUGH WHICH QUIPMENT AND MATERIALS ARE HANDLED.

 5 IN THE EVENT OF DAMAGE, PROMPTLY MAKE REPLACEMENTS AND REPAIRS TO THE
- APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO OWNER.

 6 ALL DELIVERIES ARE TO BE CLEARLY MARKED WITH TENANT NAME, SPACE NUMBER,
- TENANT GENERAL CONTRACTOR'S NAME AND PHONE NUMBER.

 7 TENANT GENERAL CONTRACTOR IS REQUIRED TO HAVE ADEQUATE PERSONEL AND EQUIPMENT FOR RECEIVING DELIVERIES.

REFLECTED CEILING NOTES

- 1 ALL CEILING HEIGHT INDICATED ARE TO BE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE
- LOCATE ALL RECESSED FIXTURES @ CENTERLINE OF TILE UNLESS OTHERWISE INDICATED.
 LIGHTING AT ALL FOOD PREP AREAS & KITCHEN HAS BEEN DESIGNED TO PROVIDE 50 fc @
 WORK LEVEL. LIGHTING IN ALL OTHER AREAS HAS BEEN DESIGNED TO PROVIDE AT LEAST 10fc @ 30" A.F.F.. ALL EXPOSED LAMPS IN FOOD PREP AREAS ARE TO BE ENCAPSULATED COATED PAR LAMPS.
- CONTRACTOR TO PROVIDE LAMPS INDICATED FOR ALL O.F.C.I. FIXTURES.
 ALL EMERGENCY FIXTURES & EXIT SIGN QUANTITIES & LOCATIONS SHALL BE COORDINATED IN FIELD BY GC, LIGHTING VENDOR & CITY OFFICIAL. GC IS RESPONSIBLE TO PROVIDE ADDITIONAL FIXTURES IF REQUIRED BY OFFICIAL. G.C. MUST MATCH SPECIFIED FIXTURE. COORDINATE & NOTE (LIGHT SWITCHODIMMER BANK LOCATION.
- 6 FIXTURE QUANITIES SHOWN ARE APPROXIMATE THE LIGHTING VENDOR IS RESPONSIBLE FOR DETERMINING EXACT FIXTURE COUNTS REQUIRED FOR PROJECT.
- 7 GC IS RESPONSIBLE FOR COORDINATING FINAL FIXTURE QUANITIES WITH LIGHTING VENDOR PRIOR TO BIDDING, ORDERING & INSTALLATION.
- 8 REFER TO ELECTRICAL SHEETS FOR EXACT LIGHTING INFORMATION.
 9 REFERENCE ELECTRICAL SHEETS FOR DIMMING SCHEDULE.
- 10 GC TO PAINT ANY EXPOSE CONDUIT, DUCTWORK, BOTTOM OF DECK, AND ADJACENT WALL
- ABOVE BAFFLE CEILING AREA

 11 GC TO FIELD PAINT LIGHT FIXTURE TRIM TO MATCH THE ADJACENT SOFFIT/CEILING FINISH PER
- THE FOLLOWING LOCATIONS:

 12 GC SHALL ENSURE CLEARANCE FOR LIGHT FIXTURES, DUCTS, FIRE SPRINKLERS, ETC. SHOULD ANY OBSTRUCTION OCCUR THAT PREVENT INSTALLATION OF ANY REQUIRED COMPONENT, NOTIFY ARCHITECT PRIOR TO INSTALLATION OF GRID, INSTLLATION WITHOUT APPROVAL SHALL BE REMOVED REINSTALLED PER DIRECTION OF ARCHITECT AT GENERAL
- 13 FIRE/LIFE SAFTY FIXTURES SHOWN ON PLAN ARE SUGGESTED LOCATIONS ONLY. F.L.S. CONTRACTOR TO COORINDATE AND SUBMIT DESIGN/BUILD DRAWINGS. FOR APPROPRIAE LOCATION OF STROBES AND EXIT SIGNS TO SUBMITTED TO IDA FOR APPROVAL AND FIRE
- DEPARTMENT FOR PERMIT PRIOR TO THE COMMENCEMENT OF ANY INSTALLATION.

 14 BOTH NEW AND EXISTING SPRINKLER HEADS FOR THE AREA OF WORK WILL BE LOCATED PER SPRINKLER CONTRACTOR. DESIGN/BUILD DRAWING WILL BE SUBMITTED TO FIRE
- DEPARTMENT FOR APPROVAL.

 15 ALL LAY IN PANELS SHALL BE SECURED TO THE SUPENSION SYSTEM WITH TWO HOLD DOWNCLIPS MINIMUM FOR EACH TILE WITH A 4-FOOT RADIUS OF THE EXIT LIGHTS AND EXIT
- ALL ACCESS PANEL IN GYPSUM BOARD CEILING TO GFRG ACCESS PANEL SIZED AS REQUIRED. PROVIDE 24" X 24" SIZE OPENING ACCESS PANEL. CONFIRM SIZE AND LOCATION WITH IDA. ACCESS PANELS SHALL BE PROVIDED FOR ELECTRICAL, PLUMBING, AND AIR CONDITIONING CONTROL AS REQUIRED BY THE BUILDING CODE, NFPA, AND LOCAL CITY CODE. IF LOCATION AND TYPE NOT SHOWN ON DRAWINGS, CONFIRM LOCATION AND TYPE WITH IDA PRIOR TO
- 17 RELOCATE / RAISE EXISTING BACK BOX, CONDUIT, HVAC EQUIPMENT, DEVICE, AND ANY OTHER ITEMS THAT WILL NEED LIPWARD RELOCATION BASED ON NEW PROJECT CEILING HEIGHT
- ITEMS THAT WILL NEED UPWARD RELOCATION BASED ON NEW PROJECT CEILING HEIGHT.

 CEILING GRID SYSTEM WITHIN AREA OF WORK ARE TO BE INSTALLED IN A CONTINUOUS GRID PATTERN SO THAT WHEN A PENTRATING PARTITION IS REMOVED, NECESSARY CEILING REPAIRS WILL RESULT IN A CONSISTENT CEILING GRID.
- 19 SMOKE DETECTOR SHALL BE INSTALLED IN TENANT SPACE BY LICENSED ALARM SYSTEMS CONTRACTOR, WORK SHALL BE CONNECTED TO EXISTING BUILDING SYSTEM.
- 20 ALL SPRINKLERS ARE BUILDING STANDARD U.O.N.

CONTRACTORS SOLE EXPENSE.

- 21 ALL SWITCHING AND LIGHTING LAYOUT SHALL COMPLY WITH TITLE 24 STANDARD
 22 PROVIDE EMERGEBET EXIT AND EXIT LIGHTING SYSTEM AS REQUIRED BY GOVERING
- JURISDICTION. EMERGENCY LIGHTING SHALL HAVE MIN 90 MIN BATTERY BACKUP.

 THE HEATING, VENTILATION, AND AIR CONDITIONS SHALL ACCODATE THE NEW OCCUPANCY.
 ALL ROOMS AND REAS SHALL HVAC SUPPLY AND RETURN AIR. THERMOSTATES SHALL HAVE
- CYCLES), WITH METAL NON VISUAL TAMPER PROOF COVERS.

 24 PRIOR TO INSTALLATION, HVAC ZONES AND T-STAT LOCATIONS TO BE APPROVED BY TENANT
- EVALUATION, HVAC ZONES AND 1-STAT LOCATIONS TO BE APPROVED BY TENAN & COORDINATE WITH FURNITURE PLANS AND WALL FINISH LOCATIONS.
 LATERAL SUPPORTS TO BE PROVIDED BY POST WIRE OF MINIMUM 12 GA. LAYED IN FOUR

AUTOMATIC CHANGEOVER FEATURE (NO MANUAL SWITCHING FROM HEATING TO COOLING

- FIRECTIONS 90 DEGRESSS APART. CONNECTED TO MAIN RUNNER WITH 12 INCHES OF THE CROSS RUNNER AND TO THE STRUCTURE ABOVE OR TO PARTITION. ATTACH TO WALLS OR BRACE AN ANGLE NOT EXCEED 45 DEGREES FROM THE PLANE OF THE CEILING. SUPPORT POINTS SHALL BE PLACED 12" O.C.. IN EACH DIRECTION WITH THE FIRST POINT WITH 4'-0" FROM EACH WALL. SEE TYPICAL DETAIL ON DETAIL SHEETS.
- 26 ALL LIGHTING TO BE COORDINATED WITH DINING TABLES

HEALTH DEPARTMENT NOTES

DRY STORAGE

- 1. BACK-UP DRY STORAGE SHELVING SHALL BE A MINIMUM OF 96 LINEAR FEET (MEASURED WITH TIERS) OR 25% OF KITCHEN, FOOD PREP, AND WORK AREAS, WHICHEVER IS GREATER. SHELVING
- SHALL BE AT LEAST 18" DEEP AND START A MINIMUM OF 6" OFF THE FLOOR SURFACE.

 2. \SHELVING OVER WET AREAS (SINKS, MOP SINKS, ETC.) AND FOOD PREP SURFACES WILL BE METAL.

COLD STORAGE

1. COLD STORAGE ROOMS SHALL BE PROVIDED WITH A SECTION OF SHELVING INSTALLED TO HOLD SHALLOW COOL DOWN PANS – NOT TO EXCEED 4" IN HEIGHT. SPACE BETWEEN SHELVING TO BE

AT LEAST 8" HIGH.

2. A THERMOMETER SHALL BE PROVIDED FOR EACH REFRIGERATION UNIT.

EQUIPMENT

READILY MOVABLE

TRASH ENCLOSURE

- 1. ALL FOOD-RELATED AND UTENSIL-RELATED EQUIPMENT SHALL MEET OR BE EQUIVALENT TO SANITATION STANDARDS ESTABLISHED BY AN AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
- ACCREDITED PROGRAM.

 2. ALL FLOOR MOUNTED EQUIPMENT WILL BE INSTALLED ON MINIMUM 6" SANITARY LEGS, CASTORS, OR COMPLETELY SEALED IN POSITION ON A 4" HIGH CURB WITH CONTINUOUSLY COVED BASE. COUNTERTOP EQUIPMENT WILL BE ON 4" SANITARY LEGS OR SEALED TO THE COUNTER UNLESS
- 3. IF SOFT DRINK, ICE OR OTHER DISPENSERS ARE SELF-SERVICE, OR IF REFILLS ARE PROVIDED THEY MUST BE PUSH BUTTON TYPES, OR LEVER TYPES WHERE THE LEVER CONTACTS THE CONTAINER AT LEAST ONE INCH BELOW THE RIM.
- 1. A CONCRETE SLAB IS PROVIDED FOR TRASH, GARBAGE, AND GREASE CONTAINER. IF WALLS ENCLOSE AREA, THE INTERIOR WALL SURFACES WILL BE SMOOTH, SEALED AND WASHABLE (E.G., PLASTERED SMOOTH AND PAINTED, ETC.).

SINKS

- 1. ALL WAREWASHING SINKS TO HAVE 3-COMPARTMENTS THAT ARE A MINIMUM SIZE OF AT LEAST 18"X18"X12" DEEP (OR 16"X20"X12" DEEP) WITH A MINIMUM 18" DRAINBOARD AT EACH END. IF AGAINST A WALL, IT MUST HAVE AN 8" INTEGRAL BACKSPLASH. HOWEVER, IT MUST BE CAPABLE OF ACCOMMODATING THE LARGEST UTENSIL TO BE WASHED. A WAREWASHING MACHINE DOES NOT SUBSTITUTE FOR THE SINK REQUIREMENT.
- 2. SINKS TO HAVE SPOUT(S) CAPABLE OF REACHING EACH COMPARTMENT.
- 3. FOOD PREP SINK COMPARTMENT(S) TO BE AT LEAST 18"X18"X12" DEEP (OR 16"X20"X12" DEEP) WITH A MINIMUM 18" DRAINBOARD. SEPARATE FOOD PREP SINKS TO BE PROVIDED FOR MEATS AND
- PRODUCE.

 4. THE 3 OR 4 COMPARTMENT BAR SINK TO BE AT LEAST 12"X12"X10" DEEP (OR 10"X14"X10" DEEP)
- WITH A MINIMUM 18" DRAINBOARD AT EACH END.

 5. EACH HANDWASHING SINK MUST HAVE PERMANENTLY MOUNTED SINGLE-SERVICE SOAP AND
- PAPER TOWEL DISPENSERS.

 6. ALL LAVATORIES OR HAND SINKS WILL HAVE A COMBINATION FAUCET OR PREMIXING FAUCET
- CAPABLE OF SUPPLYING WATER TEMPERED TO 100°F. SELF-CLOSING OR METERED FAUCET TO PROVIDE AT LEAST 15 SECONDS OF WATER WITHOUT REACTIVATION.
- PROVIDE AT LEAST 15 SECONDS OF WATER WITHOUT REACTIVATION.

 7. FOR CLEANING FLOOR MATS, THE JANITORIAL SINK MUST BE A MINIMUM 24"X36" FLOOR-MOUNTED
- TYPE. MOPS SHALL BE PLACED IN A POSITION THAT ALLOWS THEM TO AIR-DRY WITHOUT SOILING WALLS, EQUIPMENT, OR SUPPLIES.

 8. THE JANITORIAL SINK FAUCET WILL HAVE A THREADED OUTER LIP FOR HOSE ATTACHMENT AND AN
- APPROVED BACKFLOW PREVENTION DEVICE. NO CHEMICAL DISPENSING SYSTEMS OR SHUTOFF VALVES TO BE ATTACHED TO MOP SINK FAUCET OUTLET (UNLESS A "SIDEKICK" PLUMBING DEVICE IS INSTALLED).



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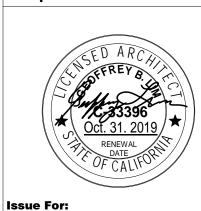
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Project Owner:



ST STR B & C CA 927

Stam



ISSUED FOR CONSTRUCTION

02.26.2018

	DATE

Checker DRAWN BY: Author

PRINCIPAL IN CHARGE
Approver
PROJECT ----MANAGER:

Project Address:
OLIBOLI

135 W. FIRST STREET UNIT #B&C TUSTIN,CA 92780

Project Number:

142-002-18 **Sheet Title:**

GENERAL NOTES

eet Number:



AIAICC 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (INCLUDING JANUARY 1, 2017 ERRATA)

	CALIFORNIA COUNCIL NONRESIDENTIA		ANDATORY MEASURES, SH		I I (INCLUDING JANUARY 1, 2017 ERRATA)	
INSPECTOR SIGNOFF		INSPECTOR SIGNOFF		INSPECTOR SIGNOFF	INSPECTOR SIGNOFF	_
	CHAPTER 3		5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State		TABLE 5.106.5.3.3	DIVISION 5.2 ENERGY EFFICIENCY
	GREEN BUILDING SECTION 301 GENERAL		Architect pursuant to Section 105, comply with Section 5.106.4.2 5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the		TOTAL NUMBER OF PARKING SPACES NUMBER OF REQUIRED SPACES	SECTION 5.201 GENERAL 5.201.1 Scope [BSC-CG]. California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency
	301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in		applicable local ordinance, whichever is stricter.		0-9 0 10-25 1	standards in this code, the California Energy Commission will continue to adopt mandatory building standards. DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION
	the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.		5.106.4.1.1 Short-term bicycle parking. If the project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being		36-50 2	SECTION 5.301 GENERAL 5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors
	301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC] The provisions of		added, with a minimum of one two-bike capacity rack. Exception: Additions or alterations which add nine or less visitor vehicular parking spaces.		51-75 4 76-100 5	and in wastewater conveyance.
	individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations		5.106.4.1.2 Long-term bicycle parking. For new buildings with 10 or more tenant-occupants or for additions or alterations that add 10 or more tenant-occupants or for additions or alterations that add 10 or		101-200 7	SECTION 5.302 DEFINITIONS 5.302.1 Definitions. The following terms are defined in Chapter 2 (and are included here for reference)
	shall only apply to the portions of the building being added or altered within the scope of the permitted work.		more tenant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicle parking spaces being added, with a minimum of one space. Acceptable parking facilities shall be		201 AND OVER 6% of total ¹ 1. Calculation for spaces shall be rounded up to the nearest whole number.	EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS]. An adjustment factor when applied to reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which ae two major influences on the amount of water that needs to be applied to the landscape.
	A code section will be designated by a banner to indicate where the code section only applies to newly constructed building [N] or to additions and alterations [A]. When the code section applies to both, no banner will be used.		convenient from the street and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles;		5.106.5.3.4 [N] Identification. The service panel or subpanel(s) circuit directory shall identify the	FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the structure projected to natural grade,
	301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only:		 Lockable bicycle rooms with permanently anchored racks; or Lockable, permanently anchored bicycle lockers. 		reserved overcurrent protective device space(s) for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".	not including exterior areas such as stairs, covered walkways, patios and decks. METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The
	Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions,		Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.		5.106.5.3.5 [N] Future charging spaces qualify as designated parking as described in Section 5.106.5.2 Designated parking for clean air vehicles. Notes:	volume or cycle duration can be fixed or adjustable. GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater that
	types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for		5.106.4.2 Bicycle parking. [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2		The California Department of Transportation adopts and publishes the California Manual on	has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or
	ensuring compliance. 301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and		5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building.		Uniform Traffic Control Devices (California MUTCD) to provide uniform standards and specifications for all official traffic control devices in California. Zero Emission Vehicle Signs and Pavement Markings can be found in the New Policies & Directives number 13-01.	operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or dishwashers.
	alterations whenever a permit is required for work.		5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities		 www.dot.ca.gov/hq/traffops/policy/13-01.pdf. See Vehicle Code Section 22511 for EV charging spaces signage in off-street parking facilities and for use of EV charging spaces. 	MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape
	301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC) 301.5 HEALTH FACILITIES. (see GBSC)		shall be convenient from the street or staff parking area and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles;		 The Governor's Office of Planning and Research published a Zero-Emission Vehicle Community Readiness Guidebook which provides helpful information for local governments. 	design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and climatological parameters.
	SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building		 Lockable bicycle rooms with permanently anchored racks; or Lockable, permanently anchored bicycle lockers. 		residents and businesses. www.opr.ca.gov/docs/ZEV_Guidebook.pdf.	MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). [HCD] The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and
	shall comply with the specific green building measures applicable to each specific occupancy.		5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES. In new projects or additions or alterations that add 10 or more vehicular parking spaces, provide designated parking for any combination of low-emitting,		5.106.8 LIGHT POLLUTION REDUCTION. [N] Outdoor lighting systems shall be designed and installed to comply with the following:	maintenance practices. Local agencies are required to adopt the updated MWELO, or adopt a local ordinance at least as effective as the MWELO.
	SECTION 303 PHASED PROJECTS		fuel-efficient and carpool/van pool vehicles as follows:		The minimum requirements in the California Energy Code for Lighting Zones 1-4 as defined in Chapter 10 of the California Administrative Code; and	POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5.
	303.1 Phased projects. For shell buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply.		TABLE 5.106.5.2 - PARKING		 Backlight, Uplight and Glare (BUG) ratings as defined in IES TM-15-11; and Allowable BUG ratings not exceeding those shown in Table 5.106.8, or Comply with a local ordinance 	POTABLE WATER. [HCD] Water that is satisfactory for drinking, culinary, and domestic puroses, and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority
	303.1.1 Tenant improvements. The provisions of this code shall apply only to the initial tenant or occupant		TOTAL NUMBER OF PARKING SPACES NUMBER OF REQUIRED SPACES 0-9 0		lawfully enacted pursuant to Section 101.7, whichever is more stringent. Exceptions: [N]	Having Jurisdiction.
	improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.		10-25 1 25-50 3		Luminaires that qualify as exceptions in Section 140.7 of the California Energy Code. Emergency lighting.	RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water is water treated to remove waste matter attaining a quality that is suitable to use the water again.
	ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development		51-75		 Building facade meeting the requirements in Table 140.7-B of the California Energy Code, Part 6. Custom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8 	SUBMETER. A meter installed subordinate to a site meter. Usually used to measure water intended for one purpose, such as landscape irrigation. For the purposes of CALGreen, a dedicated meter may be considered a submeter.
	BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development		76-100 8 101-150 11		Alternate materials, designs and methods of construction. Note: [N] See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting	WATER BUDGET. Is the estimated total landscape irrigation water use which shall not exceed the maximum applied
	LR Low Rise HR High Rise AA Additions and Alterations		151-200 16		requirements for parking facilities and walkways. 5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will	water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape Ordinance (MWELO).
	N New		201 AND OVER AT LEAST 8% OF TOTAL		manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:	SECTION 5.303 INDOOR WATER USE 5.303.1 METERS. Separate submeters or metering devices shall be installed for the uses described in Sections 503.1.1 and 503.1.2.
	CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES		5.106.5.2.1 - Parking stall marking. Paint, in the paint used for stall striping, the following characters such that the lower edge of the last word aligns with the end of the stall striping and is		Swales. Water collection and disposal systems.	5.303.1.1 Buildings in excess of 50,000 square feet. Separate submeters shall be installed as follows:
			visible beneath a parked vehicle: CLEAN AIR / VAN POOL / EV		French drains. Water retention gardens. Other water measures which keep surface water away from buildings and aid in groundwater	 For each individual leased, rented or other tenant space within the building projected to consume more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners,
	DIVISION 5.1 PLANNING AND DESIGN SECTION 5.101 GENERAL		Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces.		recharge.	restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop. 2. Where separate submeters for individual building tenants are unfeasible, for water supplied to the following subsystems:
	5.101.1 Scope The provisions of this chapter outline planning, design and development methods that include environmentally		5.106.5.3 Electric vehicle (EV) charging. [N] Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE).		Exception: Additions and alterations not altering the drainage path.	Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s).
	responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.		When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Energy Commission (CEC) and as follows:		TABLE 5.106.8 [N] MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS 1,2	 b. Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s). c. Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW).
	SECTION 5.102 DEFINITIONS 5.102.1 DEFINITIONS		5.106.5.3.1 Single charging space requirements. [N] When only a single charging space is required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction		ALLOWABLE RATING LIGHTING ZONE LIGHTING ZONE LIGHTING ZONE LIGHTING ZONE 4	5.303.1.2 Excess consumption. A separate submeter or metering device shall be provided for any tenant within a new building or within an addition that is projected to consume more than 1,000 gal/day.
	The following terms are defined in Chapter 2 (and are included here for reference) CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not		and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:		MAXIMUM ALLOWABLE BACKLIGHT RATING 3	5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:
	numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.		 The type and location of the EVSE. A listed raceway capable of accommodating a 208/240 -volt dedicated branch circuit. 		Luminaire greater than 2 mounting heights (MH) from property line No Limit No Limit No Limit	5.303.3.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type toilets.
	LOW-EMITTING AND FUEL EFFICIENT VEHICLES. Eligible vehicles are limited to the following:		 The raceway shall not be less than trade size 1." The raceway shall originate at a service panel or a subpanel serving the area, and shall 		Luminaire back hemisphere is 1-2 B2 B3 B4 B4	Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of
	 Zero emission vehicle (ZEV), including neighborhood electric vehicles (NEV), partial zero emission vehicle (PZEV), advanced technology PZEV (AT ZEV) or CNG fueled (original equipment manufacturer 		terminate in close proximity to the proposed location of the charging equipment and listed suitable cabinet, box, enclosure or equivalent. 5. The service panel or subpanel shall have sufficient capacity to accommodate a minimum		Luminaire back hemisphere is 0.5-1 MH from property line B1 B2 B3 B3	two reduced flushes and one full flush. 5.303.3.2 Urinals. The effective flush volume of urinals shall not exceed 0.5 gallons per flush.
	only) regulated under Health and Safety Code section 43800 and CCR, Title 13, Sections 1961 and 1962. High-efficiency vehicles, regulated by U.S. EPA, bearing High-Occupancy Vehicle (HOV) car pool lane stickers issued by the Department of Motor Vehicles.		40-ampere dedicated branch circuit for the future installation of the EVSE.		Luminaire back hemisphere is less than 0.5 MH from property line B0 B0 B1 B2	5.303.3.3 Showerheads. 5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0
	NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is certified to		5.106.5.3.2 Multiple charging space requirements. [N] When multiple charging spaces are required per Table 5.106.5.3.3 raceway(s) is/are required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and		MAXIMUM ALLOWABLE	gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
	zero-emission vehicle standards.		specifications shall include, but are not limited to, the following:		UPLIGHT RATING U0 U0 U0 For area lighting 4 U0 U0 U0	5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a
	TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, as distinguished from customers and other transient visitors.		 The type and location of the EVSE. The raceway(s) shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and 		For all other outdoor lighting,including decorative U1 U2 U3 U4	single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.
	VANPOOL VEHICLE. Eligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor, designed for carrying more than 10 but not more than 15 persons including the driver, which is maintained and used primarily for the nonprofit work-related transportation of adults for the purpose of ridesharing.		into listed suitable cabinet(s), box(es), enclosure(s) or equivalent.3. Plan design shall be based upon 40-ampere minimum branch circuits.		Iuminaires MAXIMUM ALLOWABLE GLARE	Note: A hand-held shower shall be considered a showerhead.
	Note: Source: Vehicle Code, Division 1, Section 668		 Electrical calculations shall substantiate the design of the electrical system, to include the rating of equipment and any on-site distribution transformers and have sufficient capacity to simultaneously charge all required EVs at its full rated amperage. 		RATING 5 Luminaire greater than 2 MH from G1 G2 G3 G4	5.303.3.4 Faucets and fountains. 5.303.3.4.1 Nonresidential Lavatory faucets. Lavatory faucets shall have a maximum flow rate of not
	ZEV. Any vehicle certified to zero-emission standards.		 The service panel or subpanel(s) shall have sufficient capacity to accommodate the required number of dedicated branch circuit(s) for the future installation of the EVSE. 		Luminaire front hemisphere is 1-2	more than 0.5 gallons per minute at 60 psi. 5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8
	SECTION 5.106 SITE DEVELOPMENT 5.106.1 STORM WATER POLLUTION PREVENTION. Newly constructed projects and additions which disturb less than one acre of land shall prevent the pollution of storm water runoff from the construction activities through one or		5.106.5.3.3 EV charging space calculations. [N] Table 5.106.5.3.3 shall be used to determine if single or multiple charging space requirements apply for the future installation of EVSE.		Luminaire front hemisphere is 0.5-1	gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.
	more of the following measures:		Exceptions: On a case-by-case basis where the local enforcing agency has determined EV		MH from property line	5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than 1.8
	5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control ordinance.		charging and infrastructure is not feasible based upon one or more of the following conditions: 1. Where there is insufficient electrical supply.		than 0.5 MH from property line G0 G0 G0 G1 1. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy	gallons per minute/20 [rim space (inches) at 60 psi]. 5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle.
	5.106.1.2 Best Management Practices (BMP). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMP.		Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the		Code and Chapter 10 of the Callifornia Administrative Code.	5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute/20 [rim space (inches) at 60 psi].
	 Soil loss BMP that should be considered for each project include, but are not limited to, the following: 		implementation of Section 5.106.5.3, may adversely impact the construction cost of the project.		For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the	Note: Where complying faucets are unavailable, aerators or other means may be used to achieve
	a. Scheduling construction activity.b. Preservation of natural features, vegetation and soil.				centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section. 3. If the nearest property line is less than or equal to two mounting heights from the back hemisphere of the	reduction. 5.303.4 COMMERCIAL KITCHEN EQUIPMENT.
	 c. Drainage swales or lined ditches to control stormwater flow. d. Mulching or hydroseeding to stabilize disturbed soils. e. Erosion control to protect slopes. 				If the hearest property line is less than or equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced Backlight rating shall be met. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced.	5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no
	f. Protection of storm drain inlets (gravel bags or catch basin inserts). g. Perimeter sediment control (perimeter silt fence, fiber rolls). h. Sediment trap or sediment basin to retain sediment on site.				ratings. Decorative luminaires located in these areas shall meet <i>U</i> -value limits for "all other outdoor lighting".	more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water.
	i. Stabilized construction exits.j. Wind erosion control.				If the nearest property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced Glare rating shall be met.	Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation.
	k. Other soil loss BMP acceptable to the enforcing agency.2. Good housekeeping BMP to manage construction equipment, materials and wastes that should be					5.303.5 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alteration to the building.
	considered for implementation as appropriate for each project include, but are not limited to, the following:					5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed
	a. Material handling and waste management.b. Building materials stockpile management.					in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code and in Chapter 6 of this code.
	 c. Management of washout areas (concrete, paints, stucco, etc.). d. Control of vehicle/equipment fueling to contractor's staging area. e. Vehicle and equipment cleaning performed off site. 					
	f. Spill prevention and control. g. Other housekeeping BMP acceptable to the enforcing agency.					
DISCLAIMER:	- THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE 2016 CAI	IFORNIA GREEN	BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHE	ECKLIST IS TO B	USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUM	ES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

Innovation and Design in

Long Beach, CA 90802 www.idaexperience.net

OLIBOL donuts



Issue For: ISSUED FOR CONSTRUCTION

02.26.2018

NO.	REASON	DATE
		-
		-
		-

PRINCIPAL IN CHARGE: JOSH COOL PROJECT MANAGER: WILLIAM AYALA

WILLIAM AYALA

Project Address: OLIBOLI

135 W. FIRST STREET

UNIT #B&C TUSTIN,CA 92780

142-002-18

CALIFORNIA GREEN BUILDING STANDARDS



2016 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (INCLUDING JANUARY 1, 2017 ERRATA)

INSPECTOR SIGNOFF		INSPECTOR SIGNOFF		INSPECTOR SIGNOFF		INSPECTOR SIGNOFF	
	SECTION 5.304 OUTDOOR WATER USE 5.304.1 SCOPE. The provisions of Section 5.304, Outdoor Water Use reference the mandatory Model Water Efficiency Landscape Ordinance (MWELO) contained within Chapter 2.7, Division 2, Title 23, California Code of Regulations.		SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 5.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the		5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. This documentation shall include the following: Environmental and sustainability goals. 		DIVISION 5.5 ENVIRONMENTAL QUALITY SECTION 5.501 GENERAL 5.501.1 SCOPE. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that
	5.304.2 OUTDOOR WATER USE IN LANDSCAPE AREAS EQUAL TO OR GREATER THAN 500 SQUARE FEET. When water is used for outdoor irrigation for new construction projects with an aggregate landscape area equal to or greater than 500 square feet requiring a building or landscape permit, plan check or design review, one of the following shall apply:		non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent. 5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance, submit a construction waste management plan that:		 Energy efficiency goals. Indoor environmental quality requirements. Project program, including facility functions and hours of operation, and need for after hours operation. Equipment and systems expectations. 		are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors. SECTION 5.502 DEFINITIONS 5.502.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference)
	 A local water efficient landscape ordinance that is, based on evidence in the record, at least as effective in conserving water as the updated model ordinance adopted by the Department of Water Resouces (DWR) per Government Code Section 65595(c). 		 Identifies the construction and demolition waste materials to be diverted from disposal by efficient usage, recycling, reuse on the project or salvage for future use or sale. Determines if construction and demolition waste materials will be sorted on-site (source-separated) or the project of construction and demolition waste materials will be sorted on-site (source-separated) or the project of construction and demolition waste materials will be sorted on-site (source-separated). 		6. Building occupant and operation and maintenance (O&M) personnel expectations. 5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems:		ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route. A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting adjustments have been made.
	The California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations.		 bulk mixed (single stream). 3. Identifies diversion facilities where construction and demolition waste material collected will be taken. 4. Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. 		 Heating, ventilation, air conditioning (HVAC) systems and controls. Indoor lighting system and controls. 		BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu,
	5.304.3 OUTDOOR WATER USE IN REHABILITATED LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN 2,500 SQUARE FEET. Rehabilitated landscape project with an aggregate landscape area equal to or greater than 2.500 square feet requiring a building or landscape permit, plan check, or design review shall comply with Section 5.304.2, Item 1 or 2.		5.408.1.2 Waste Management Company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section.		3. Water heating system. 4. Renewable energy systems. 6. Water reuse systems. 5.410.2.3 Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to		the amount of heat required to melt a ton (2,000 pounds) of ice at 32° Fahrenheit. COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn.
	5.304.4 OUTDOOR WATER USE IN LANDSCAPE AREAS OF 2,500 SQUARE FEET OR LESS. Any project with an aggregate area of 2,500 square feet of less may comply with the performance requirements of MWELO or conform to the prescriptive compliance measures contained in MWELO's Appendix D.		Note: The owner or contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company. Exceptions to Sections 5.408.1.1 and 5.408.1.2:		document how the project will be commissioned. The commissioning plan shall include the following: 1. General project information. 2. Commissioning goals. 3. Systems to be commissioned. Plans to test systems and components shall include:		COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I—joists or
	5.304.5 GRAYWATER OR RAINWATER USE IN LANDSCAPE AREAS. For projects using treated or untreated graywater or rainwater captured on site, any lot or parcet within the project that has less than 2,500 square feet of landscape and meets the lot or parcel's landscape water requirement (Estimate Total Water Use) entirely with treated or untreated graywater or through stored rainwater captured on site is subject only to Appendix D Section (5).		 Excavated soil and land-clearing debris. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist. 		 a. An explanation of the original design intent. b. Equipment and systems to be tested, including the extent of tests. c. Functions to be tested. d. Conditions under which the test shall be performed. e. Measurable criteria for acceptable performance. 		finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a). Note: See CCR, Title 17, Section 93120.1. DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a
	Notes: 1. DWR's Model Water Efficient Landscape Ordinance, definitions and supporting documents are available at the following link: http://water.ca.gov/wateruseefficiency/landscapeordinance/		Demolition waste meeting local ordinance or calculated in consideration of load recycleing facilities and markets. 1.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirement.		 Weasurable chiefla for acceptable performance. Commissioning team information. Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included. 		24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.). DECIBEL (db). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, sound power, sound intensity) with respect to a reference quantity.
	A water budget calculator is available at the following link: http://water.ca.gov/wateruseefficiency/landscapeordinance/ The NAME Communication of the communicatio		as approved by the enforcing agency. 5.408.1.4 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be updated as		5.410.2.4 Functional performance testing. [N] Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments		ELECTRIC VEHICLE (EV). An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current.
	The MWELO prescriptive compliance measure Appendix D may be found at the following link: http://water.ca.gov/wateruseefficiency/landscapeordinance/ In addition, a copy of MWELO Appendix D may be found in Chapter 8 of this code. - COLOR DESCRIPTION OF THE STATE OF		necessary and shall be accessible during construction for examination by the enforcing agency. Notes:		made. 5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required,		Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code, off-road, self-propoelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground support equipment, tractors, boats, and the like, are not included.
	5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS [DSA-SS]. For public schools and community colleges, landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resoucres Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations, except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35.		Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located at www.bsc.ca.gov/Home/CALGreen.aspx may be used to assist in documenting compliance with the waste management plan. Mixed construction and demolition debris processors can be located at the California Department of		including Occupational Safety and Health Act (OSHA) requirements in <i>California Code of Regulations</i> (CCR), Title 8, Section 5142, and other related regulations. 5.410.2.5.1 Systems manual. [N] Documentation of the operational aspects of the building shall be		ELECTRIC VEHICLE CHARGING STATION(S) (EVCSj). One or more spaces intended for charging electric vehicles. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices,
	Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of MWELO.		Resources Recycling and Recovery (CalRecycle). 5.408.2 UNIVERSAL WASTE. [A] Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste		completed within the systems manual and delivered to the building owner or representative. The systems manual shall include the following: 1. Site information, including facility description, history and current requirements.		power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle. ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as
	5.304.6.1 Newly constructed landscapes. [DSA-SS] New construction projects with an aggregate landscape area equal to or greater than 500 square feet.		items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste materials shall be included in the construction documents.		 Site contact information. Basic operations and maintenance, including general site operating procedures, basic troubleshooting, recommended maintenance requirements, site events log. Major systems. 		the fluctuating noise level integrated over the time of period of interest. EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections.
	 5.304.6.2 Rehabilitated landscapes. [DSA-SS] Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1,200 square feet. 5.304.3 IRRIGATION DESIGN. In new nonresidential construction with at least 1,000 but not more than 2,500 square 		Note: Refer to the Universal Waste Rule link at: http://www.dtsc.ca.gov/LawsRegsPolicies/Regs/upload/OEAR-A_REGS_UWR_FinalText.pdf		 Site equipment inventory and maintenance notes. A copy of verifications required by the enforcing agency or this code. Other resources and documentation, if applicable. 		FREEWAY. A divided arterial highway with full control of access and with grade separations at intersections.
	feet of cumulative landscaped area (the level at which the MWELO applies), install irrigation controllers and sensors which include the following criteria, and meet manufacturer's recommendations. 5.304.3.1 Irrigation controllers. Automatic irrigation system controllers installed at the time of final inspection		5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.		5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning		GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greenhouse gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one.
	shall comply with the following: 1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.		Exception: Reuse, either on or off-site, of vegetation or soil contaminated by disease or pest infestation. Notes:		 report and shall include the following: 1. System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces). 2. Review and demonstration of servicing/preventive maintenance. 		GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995); or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of Table 2.14.; the AR4 GWP values are found in column "100 yr" of Table 2.14.
	 Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input. 		 If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow its direction for recycling or disposal of the material. For a map of know pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. (www.cdfa.ca.gov) 		3. Review of the information in the Systems Manual. 4. Review of the record drawings on the system/equipment. 5.410.2.6 Commissioning report. [N] A report of commissioning process activities undertaken through the		HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a hdrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (B) any ozone depleting substance as defined in Title 40 of the Code of
	Note: More information regarding irrigation controller function and specifications is available from the Irrigation Association.		SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS		design and construction phases of the building project shall be completed and provided to the owner or representative.		Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009). LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction,
	DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY		5.410.1 RECYCLING BY OCCUPANTS. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.		 5.410.4 TESTING AND ADJUSTING. Testing and adjusting of systems shall be required for buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1. 5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be 		with a radius 1.5 times the pipe diameter. LOW-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).
	SECTION 5.401 GENERAL 5.401.1 SCOPE. The provisions of this chapter shall outline means of achieving material conservation and resource		Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code 42649.82 (a)(2)(A) et seq. shall also be exempt from the organic waste portion of this section.		included for testing and adjusting shall include at a minimum, as applicable to the project: 1. HVAC systems and controls. 2. Indoor and outdoor lighting and controls.		MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2–1999. MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a
	efficiency through protection of buildings from exterior moisture, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting. SECTION 5.402 DEFINITIONS		5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site. Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor		 Water heating systems. Renewable energy systems. Landscape irrigation systems. 		compound to the "Base REactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundreths of a gram (g O ³ /g ROC). PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this
	5.402.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference) ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust a damper.		area. 5.410.1.2 Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the <i>Public Resources Code</i> . Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (Act).		 Water reuse systems. 5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system. 		article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). PSIG. Pounds per square inch, guage.
	BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminals, according to design quantities.		Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site.		5.410.4.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National		REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.
	BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.		5.410.2 COMMISSIONING. [N] For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in		Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Balance Council National Standards or as approved by the enforcing agency. 5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing		SCHRADER ACCESS VALVES. Access fittings with a valve core installed. SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter.
	ORGANIC WASTE. Food waste, green waste, landscape and pruning wste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.		accordance with this section by trained personnel with experience on projects of comparable size and complexity. All occupancies other than I-occupancies and L-occupancies shall comply with the California Energy Code as prescribed in California Energy Code Section 120.8. For I-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by the California Energy Code Section 100.0 Scope, all requirements in		signed by the individual responsible for performing these services. 5.410.4.5 Operation and maintenance (O & M) manual. Provide the building owner or representative with		SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units.
	TEST. A procedure to determine quantitative performance of a system or equipment SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT 5.407.1 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by		Sections 5.410.2 through 5.410.2.6 shall apply. Commissioning requirements shall include:		detailed operating and maintenance instructions and copies of guaranties/warranties for each system. O & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations.		VOC. A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a)
	California Building Code Section 1403.2 (Weather Protection) and California Energy Code Section 150, (Mandatory Features and Devices), manufacturer's installation instructions or local ordinance, whichever is more stringent. 5.407.2 MOISTURE CONTROL. Employ moisture control measures by the following methods.		 Owner's or Owner representative's project requirements. Basis of design. Commissioning measures shown in the construction documents. Commissioning plan. 		5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.		. Note: Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in question.
	 5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures. 5.407.2.2 Entries and openings. Design exterior entries and/or openings subject to foot traffic or wind-driven 		 Functional performance testing. Documentation and training. Commissioning report. 				SECTION 5.503 FIREPLACES 5.503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances.
	rain to prevent water intrusion into buildings as follows: 5.407.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to		Exceptions: 1. Unconditioned warehouses of any size. 2. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within				5.503.1.1 Woodstoves. Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits.
	such openings plus at least one of the following: 1. An installed awning at least 4 feet in depth. 2. The door is protected by a roof overhang at least 4 feet in depth.		unconditioned warehouses. 3. Tenant improvements less than 10,000 square feet as described in Section 303.1.1. 4. Open parking garages of any size, or open parking garage areas, of any size, within a structure.				SECTION 5.504 POLLUTANT CONTROL 5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if
	 The door is recessed at least 4 feet. Other methods which provide equivalent protection. 5.407.2.2.2 Flashing. Install flashings integrated with a drainage plane. 		Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not provide heating and or air conditioning. Informational Notes:				necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992 Replace all filters immediately prior to occupancy, or, if the building is
			 IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 des not certify individuals to conduct functional 				occupied during alteration, at the conclusion of construction. 5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation, or during storage on the construction site and until final startup of the heating, cooling and
			performance tests or to adjust and balance systems.2. Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code.				ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may collect in the system.
DISCLAIMER:	THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE 2016 CAL	IFORNIA GREEN	RI III DING STANDARDS (CAL GREEN) CODE. DUE TO THE VARIARIES RETWEEN RUII DING DEPARTMENT ILIRISDICTIONS. THIS CHE	CKLIST IS TO BE	FUSED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END	USER ASSUME	ES ALL RESPONSIBILITY ASSOCIATED WITH THE LISE OF THIS DOCUMENT. INCLUDING VERIFICATION WITH THE FULL CODE

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Issue For: **ISSUED FOR**

CONSTRUCTION Issue Date:

02.26.2018

NO.	REASON	DATE

JOSH COOL PROJECT MANAGER: WILLIAM AYALA

WILLIAM AYALA

Project Address: OLIBOLI

135 W. FIRST STREET UNIT #B&C TUSTIN,CA 92780

142-002-18

CALIFORNIA GREEN

BUILDING STANDARDS



CALIFORNIA GREEN BUILDIING STANDARDS (CALGREEN) COMMERCIAL CHECKLIST CHAPTER 5

Project Address: _____ Date: ____

ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
		PLANNING AND DESIGN		
1	5.106.1	Storm water pollution prevention plan		
2	5.106.4.1	Short-term bicycle parking		
3	5.106.4.2	Long-term bicycle parking		
4	5.106.5.2	Designated parking		
6	5.106.8	Light pollution reduction		
7	5.106.10	Grading and Paving		
		ENERGY EFFICIENCY		
8	5.210.1	Comply with CEC		
		WATER EFFICIENCY & CONSERVATION		
11	5.303.1.1	Buildings in excess of 50,000 square feet/submeter	-	
12	5.303.1.2	Excess consumption		
13	5.303.2	20 Percent Savings		
14	5.303.2.1	Multiple showerheads serving one shower		
15	5.303.4	Wastewater reduction		
17	5.304.1	Water budget		
18	5.304.2	Outdoor potable water use		
19	5.304.3	Irrigation design		Mary 1997 1997 1997 1997 1997 1997 1997 199
		MATERIAL CONSERVATION & RESOURCE	EFFICIENCY	
20	5.407.1	Weather protection		
21	5.407.2.1	Sprinklers		
22		Roof overhangs and recesses entries		
23	5.407.2.2	Nonabsorbent interior finishes		
23	5.408.1	Construction waste diversion		
24	5.408.4	Excavated soil and land clearing debris		
25	5.410.1	Recycling by occupants		
26	5.410.2	Commissioning (> 10,000 sq ft.)		
27	5.410.2.1			
28	5.410.2.2	Owner's Project Requirements (OPR)Basis of Design (BOD)		
	5.410.2.3	- Commissioning plan		
	5.410.2.4	- Functional performance testing		
	5.410.2.5.1	- Systems manual		
	5.410.2.5.2	- Systems operations training		
	5.410.2.6	- Commissioning report		

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ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #
34	5.410.4	Testing, adjusting and balancing (< 10,000 sq ft)		
35	5.410.4.2	- Systems		
36	5.410.4.3	- Procedures		
37	5.410.4.3.1	- HVAC balancing		
38	5.410.4.4	- Reporting		
39	5.410.4.5	- Operation and maintenance manual		
40	5.410.4.5.1			10
H E T		ENVIRONMENTAL QUALITY		
41	5.503.1	Fireplace		
42	5.503.1.1	Woodstoves		
43	5.504.3	Covering of duct openings and protection of mechanical equipment during construction		
44	5.504.4	- Finish material pollutant control		
45	5.504.4.1	- Adhesives, sealants, and caulks		
46	5.504.4.3	- Paints and coatings		
47	5.504.4.3.1	S		
48	5.504.4.3.2	- Verification		
49	5.504.4.4	Carpet systems		
50	5.504.4.4.1			
51	5.504.4.5	Composite wood products		
52	5.504.4.6	Resilient flooring systems		
53	5.504.5.3	Filters		
54	5.504.7	Environmental tobacco smoke (ETS) control		
55	5.505.1	Indoor moisture control		
56	5.506.1	Outside air delivery		
57	5.506.2	Carbon dioxide (CO ₂) monitoring		
58	5.507.4	Acoustical control		
59		Exterior noise transmission for roof		
60	5.507.4.1	Exterior noise transmission for walls		
61		Exterior noise transmission for windows		
62	5.507.4.2	Interior sound		
63	5.508.1	Ozone depletion and global warming reductions		
64	5.508.1.1	CFCs		
65	5.508.1.2	Halons		

Page 2 of 2



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NO.	REASON	DATE

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PROJECT
MANAGER:
WILLIAM AYALA
DRAWN BY:
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PRINCIPAL IN CHARGE:

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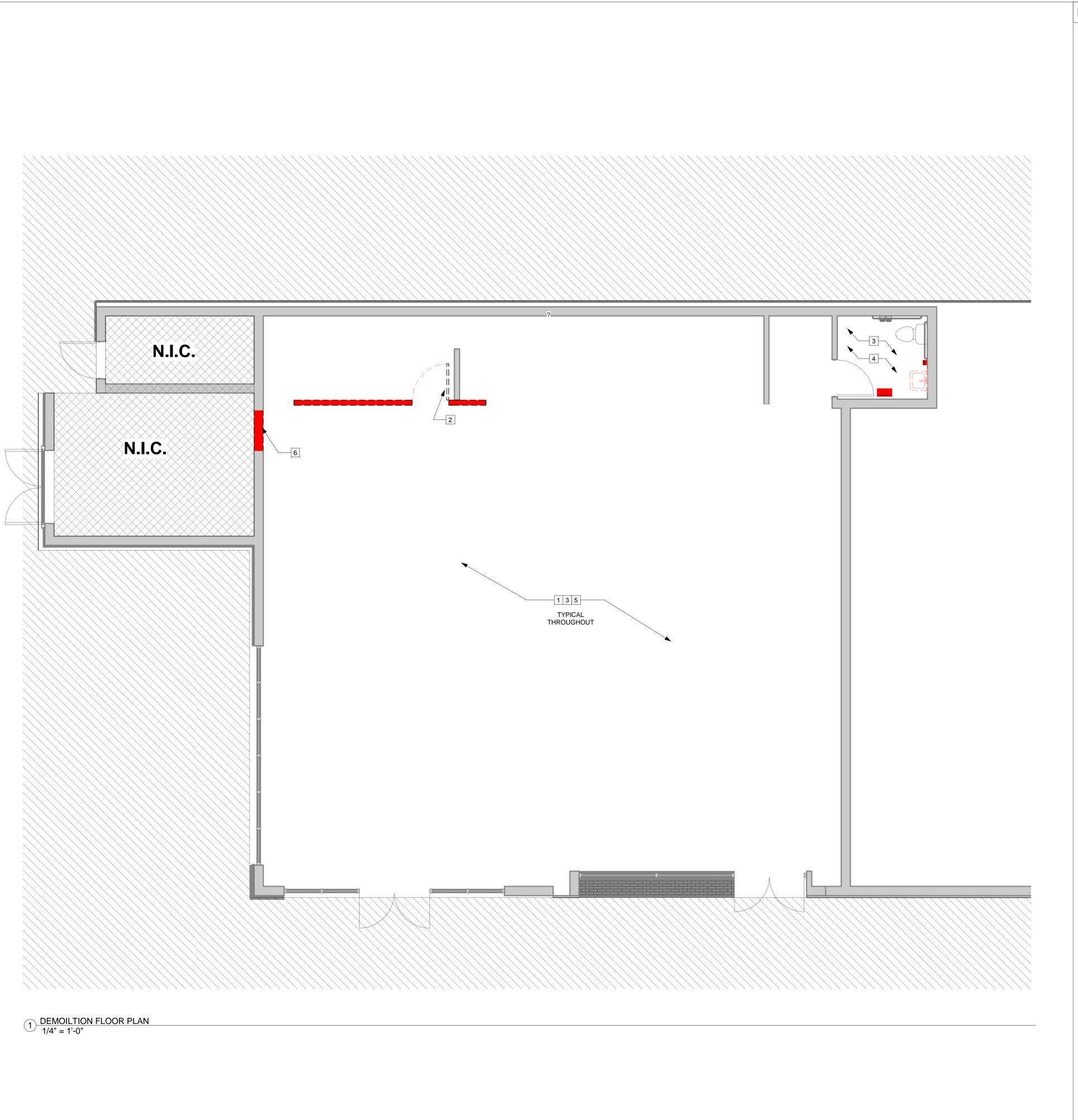
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Project Number

142-002-18 **Sheet Title:**

CALIFORNIA GREEN BUILDING STANDARDS

Sheet Numbe



DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF. HE SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH THE PLANS IN RELATION TO THE EXISTING FIELD CONDITIONS OR ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS. GC TO BRING SALES AREA TO A "SHELL" CONDITION" IN ORDER TO ACCEPT NEW FIXTURE LAYOUT AS PER NEW FIXTURE PLAN.

2. SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION AND NOTIFY ARCHITECT BEFORE PROCEEDING. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM DEMOLITION ACTIVITIES.

3. CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING TO HAVE ACCEPTED SUCH CONDITIONS AND TO HAVE MADE ALLOWANCES THEREFORE IN PREPARING HIS BID.

4. PLANS SHOW GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE REMAINING CONTRACT DOCUMENTS, INCLUDING THE PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS. WORK INCLUDES REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISHED PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED IN ORDER TO FACILITATE THE FINISHED PROJECT.

5. FIELD VERIFY ALL DIMENSIONS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT. DO NOT SCALE DRAWINGS. ALL DIMENSIONS LOCATING WALLS ARE TAKEN FROM OUTSIDE FACE OF EXISTING PARTITIONS OR SURFACE OF MASONRY UNLESS OTHERWISE

6. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY.

7. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, OR DETERMINED BY OWNER TO REMAIN THE OWNER'S PROPERTY, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. REMOVE & TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.

8. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED.

9. EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER. COORDINATE ALL WORK WITH THE LANDLORD/PROPERTY MANAGER TO VERIFY USE OF THE STORAGE ROOM, POWER, TEMPORARY STORAGE, SITE ACCESS, HOURS OF WORK ETC..

10. SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERING **ELEMENTS WHICH AFFECT:** a. STRUCTURAL INTEGRITY OF ELEMENT

b. INTEGRITY OF WEATHER EXPOSED OR MOISTURE RESISTANT ELEMENTS.

11. PROVIDE TEMPORARY BRACING AND SHORING WITH CONNECTIONS OF SUFFICIENT STRENGTH TO BEAR IMPOSED LOADS, AND TO PROTECT ALL COMPLY WITH ALL STATE, O.S.H.A. AND LOCAL CODES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROVIDING ADEQUATE BRACING OF WALLS DURING DEMOLITION AND ERECTION TO PREVENT DAMAGE DUE TO HIGH WINDS OR OTHER LATERAL LOADS AND CONSTRUCTION IMPACTS. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR DAMAGE DUE TO HIS FAILURE TO TAKE SUCH PRECAUTIONS.

12. SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.

13. REMOVE & REINSTALL ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE: STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.

14. THE CONTRACTOR SHALL PROTECT ALL UNALTERED PORTIONS OF THE EXISTING CONDITIONS. AS NECESSARY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING WORK AND WORK BY

15. MAINTAIN EXISTING UTILITIES WHERE APPLICABLE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. VERIFY THAT SERVICE IS NOT DISCONNECTED IN OTHER TENANT SPACES DURING DEMOLITION.

16. PROVIDE TEMPORARY WEATHER PROTECTION, DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION, ON EXTERIOR SURFACES AND NEW CONSTRUCTION TO ENSURE THAT NO WATER DAMAGE OCCURS TO STRUCTURE, EXTERIOR, OR INTERIOR AREAS. G.C. TO PLACE WALK-OFF MATS AT EXITS TO CONTROL THE TRACKING OF DUST, DIRT AND DEBRIS INTO LANDLORD'S COMMON

17. PROTECT WALLS, ROOF, SIDEWALKS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS.

18. GENERAL CONTRACTOR TO REVIEW CONDITION OF CONCRETE SLABS (INTERIOR & EXTERIOR) TO BE RE-USED WITH OWNER'S CONSTRUCTION MANAGER AFTER DEMOLITION OF EXISTING WALLS, FLOORS, & CEILINGS IS COMPLETE. GENERAL CONTRACTOR TO REVIEW PATCH LOCATIONS & COLOR FOR: TRENCHING LOCATIONS FOR NEW PLUMBING; NON-COMPLIANT CODE CONDITIONS; AND SIGNIFICANT COSMETIC DEFECTS WITH OWNER'S CONSTRUCTION MANAGER.

19. ANY EXISTING FINISHED SURFACES TO REMAIN THAT ARE AFFECTED BY SELECTIVE DEMOLITION SHALL BE PATCHED TO MATCH EXISTING ADJACENT SURFACES UNLESS CONCEALED BY NEW CONSTRUCTION

20. WHERE NEW WORK ADJOINS EXISTING WORK, THE CONTRACTOR SHALL DO ALL NECESSARY CUTTING, PATCHING AND FITTING. JUNCTURES OF NEW AND EXISTING OR OTHER WORK SHALL BE REPAIRED AND PATCHED TO MATCH ADJACENT EXISTING SURFACES. EXISTING WALLS REQUIRING MODIFICATION OF ANY KIND SHALL BE REFINISHED TO THE NEAREST OUTSIDE OR INSIDE CORNER.

21. DISCONNECT AND REMOVE AND/OR CAP ALL EXISTING UTILITIES (ELECTRIC, GAS, WATER, SANITARY & STORM) WHERE SCHEDULED NOT TO BE REUSED, IN ACCORDANCE WITH CITY AND GOVERNING CODE AND UTILITY COMPANY REQUIREMENTS.

22. PROVIDE TEMPORARY LIGHTING/POWER AS REQUIRED, DURING AND AFTER DEMOLITION FOR ALL AREAS WITHIN LIMITS OF THIS CONTRACT. SUCH SERVICE SHALL BE TAKEN FROM EXISTING PANEL BOARDS, AND EXISTING EQUIPMENT MAY BE UTILIZED WHERE FEASIBLE.

23. ALL EXISTING CONDUIT AND WIRE INTERFERING WITH THE NEW WORK SHALL BE REROUTED CONCEALED IN THE NEW CONSTRUCTION, UNLESS NOTED OTHERWISE.

24. ALL UNUSED CONDUIT AND WIRE REMOVED SHALL BE REMOVED COMPLETELY BACK TO SOURCE, AND BRANCH OVER-CURRENT PROTECTIVE DEVICES PROPERLY LABELED "SPARE".

REMOVE, AND PROPERLY DISPOSE OF ALL TEMPORARY LIGHTING,

DEMOLITION OPERATIONS.

25. UPON COMPLETION OF THE NEW INSTALLATION WORK, DISCONNECT.

POWER, AND WIRING. 26. PROVIDE PHOTOGRAPHS OR VIDEOTAPE, SUFFICIENTLY DETAILED, OF EXISTING CONDITIONS OF ADJOINING CONSTRUCTION AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY

27. CLEAN ALL HORIZONTAL SURFACES OF ACCUMULATED DUST

COMPLETION OF DEMOLITION OPERATION.

REGULATIONS.

CONTRACTOR TO VALIDATE, ABATE, ENCAPSULATE OR

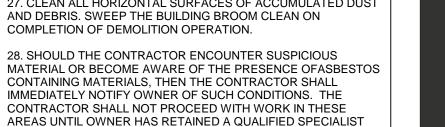
OTHERWISE ADDRESS THE ASBESTOS-CONTAINING MATERIALS

AND WARRANT TO THE CONTRACTOR THAT THE WORK CAN

PROCEED IN FULL COMPLIANCE WITH APPLICABLE LAWS AND

29. MODIFY EXISTING FIRE SPRINKLER AS REQUIRED BY NEW

CONSTRUCTION AND DESIGN BY TENANT G.C. SPRINKLER



Design Consultant:

DESIGN TO BE DESIGN BUILD UNDER SEPARATE PERMIT. SPRINKLER CONTRACTOR TO PROVIDE DRAWINGS TO LOCAL JURISDICTION AS REQUIRED FOR SPRINKLER PERMIT. G.C. TO COORDINATE WITH LANDLORD APPROVED SPRINKLER CONTRACTOR IN REGARDS TO DESIGN, PERMITTING AND INSTALLATION. ALL SPRINKLER MODIFICATION/INSTALL WORK WILL BE UNDER A SEPARATE PERMIT SUBMITTAL.

30. G.C. TO COORDINATE FIRE ALARM SYSTEM MODIFICATION WITH LANDLORD PREFERRED FIRE ALARM CONTRACTOR PER NEW FLOOR PLAN. ALL FIRE ALARM MODIFICATION/INSTALL WORK TO BE UNDER SEPARATE PERMIT.

31. G.C. SHALL COORDINATE WORK WITH MALL MANAGER TO INSURE MINIMAL DISRUPTION TO MALL OPERATIONS AND ADJACENT TENANTS.

32. G.C. TO REUSE ANY EXISTING IMPROVEMENTS, EQUIPMENT AND UTILITY SYSTEMS, PROVIDED THEY ACKNOWLEDGE RESPONSIBILITY FOR THE REPAIR, REPLACEMENT OR UPGRADE OF SUCH IF DETERMINED TO BE NON COMPLAINT WITH LATEST CODE, NOT DESIGNED OR APPLICABLE FOR PROPOSED APPLICATION, DAMAGED OR NON OPERATIONAL.

DEMOLITION KEY NOTES

- REMOVE ALL EXISTING EQUIPMENT, HOODS, FURNITURE, TABLES, CHAIRS & BOOTHS. COORDINATE w/ OWNER FOR STORAGE / DISPOSAL.
- REMOVE EXISTING DOOR & FRAME. COORDINATE w/ NEW DOOR LOCATION AND INFILL WALL TO EXTENTS OF NEW DESIGN w/ MATCHING MATERIALS
- REMOVE ALL EXISTING FLOORING MATERIALS BACK DOWN TO SLAB, PROVIDE SLAB LEVELING MATERIAL AS NEEDED TO CREATE SOLID FLUSH SURFACE TO ACCEPT NEW FLOOR FINISHES.
- REMOVE EXISTING FRP AND REPLACE WITH NEW FRP IN THE RESTROOMS. ALL RESTROOM FIXTURE ARE EXISTING TO REMAIN UNLESS NOTIFIED BY OWNER.
- EXISTING STRUCTURAL FRAMING TO REMAIN AND REPAIRED TO ACCOMMODATE NEW CEILING AND FINISHES. GC TO PROTECT DURING CONSTRUCTION

REPAIR AS NEEDED.

REMOVE PARTITION WALL TO EXTENDED SHOWN.

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KEYNOTES - DEMO FLOOR PLAN

GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE FOR VERIFICATION PURPOSES TO ESTABLISH EXISTING CONDITIONS AND LOCATIONS OF DEMOLISHED ELEMENTS. GC IS RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS AND COORDINATE WITH NEW DESIGN PRIOR TO COMMENCING DEMOLITION WORK
- ALL EXISTING DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF EXTERIOR SHEATHING OR INTERIOR FACE OF WOOD STUD UNLESS OTHERWISE INDICATED. ALL EXISTING CONDITIONS ARE TO BE PROVIDED BY THE LANDLORD & VERIFIED BY G.C. COORDINATE W/ EQUIPMENT, PLUMBING & ELECTRICAL PLANS FOR UNDERGROUND UTILITY REQUIREMENTS INCLUDING BUT NOT LIMITED TO TRENCH DRAINS, FLOOR DRAINS, FLOOR SINKS, HUB DRAINS & ELECTRICAL

LEGEND - DEMO FLOOR PLAN



EXISTING WALLS TO BE DEMOLISHED

EXISTING WALLS TO

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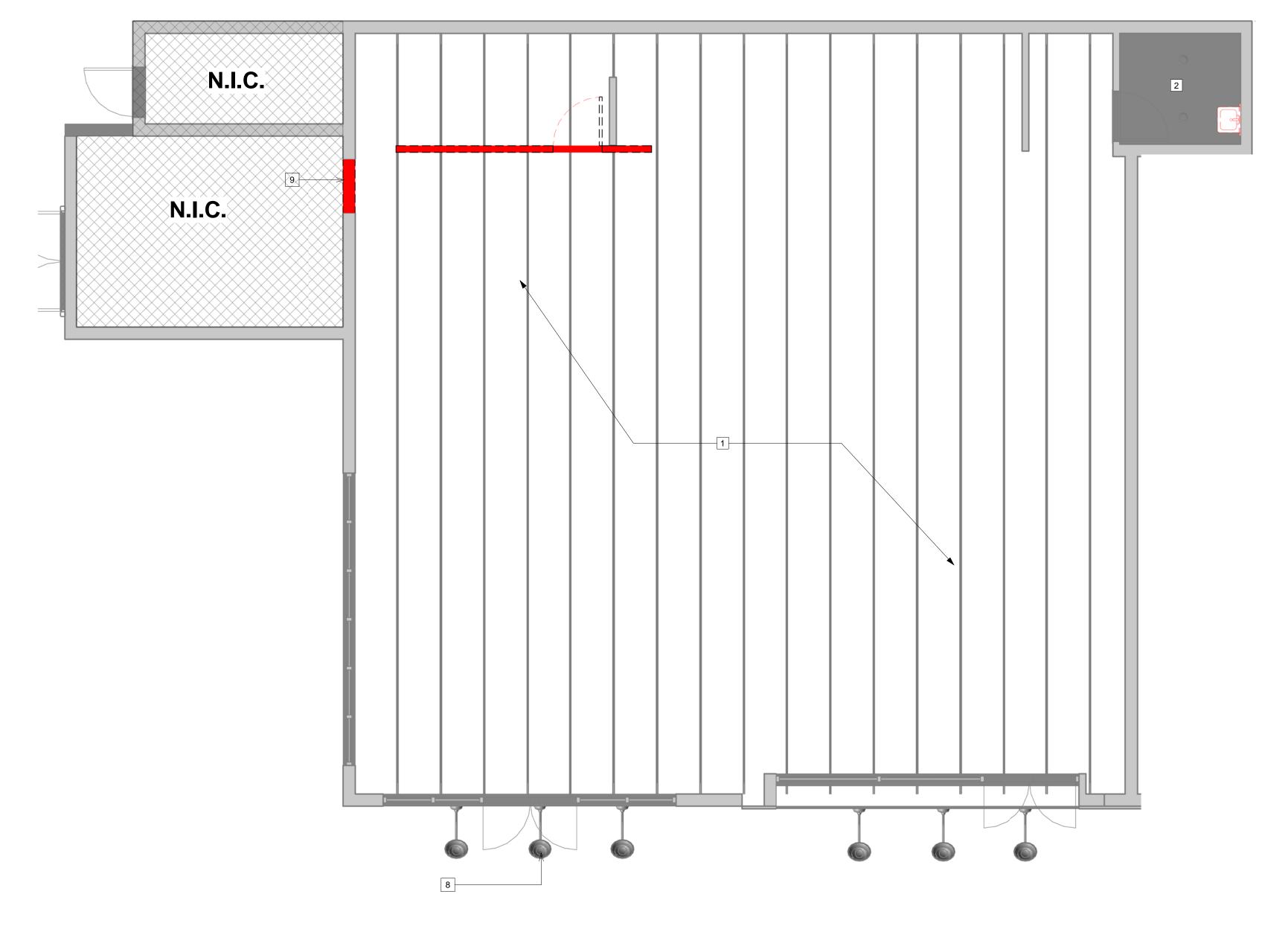
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DEMOLITION FLOOR PLAN

DM100



1 DEMOLITION CEILING PLAN
1/4" = 1'-0"

GENERAL NOTES - DEMO RCP

LAYOUT SHOWN.

THE ARCHITECTURAL DRAWINGS SHOULD BE USED WITH AND IN CONJUNCTION WITH THE CIVIL, STRUCTURAL, MEP, FIRE PROTECTION DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN THE DRAWINGS. DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF GOOD FULTON & FARRELL.

- THE GENERAL CONTRACTOR IS ADVISED THAT THE AVAILABLE SPACE FOR ROUTING ALL ELECTRICAL, MECHANICAL, PLUMBING. FIRE PROTECTION AND COMMUNICATIONS PIPING CONDUIT, TRAYS AND DUCTWORK MAY BE MINIMAL IN MANY LOCATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE ALL OF THE TRADES
- G.C. TO VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, DUCTS, STRUCTURAL ELEMENTS, ETC., AND ARRANGE & MODIFY NON-VISIBLE ITEMS TO ENSURE ADEQUATE CLEARANCES FOR CEILING
- 4. ALL PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL BE FIRE BLOCKED AND SEALED PER UL APPROVED METHODS.

THE GENERAL CONTRACTOR IS TO ENSURE THE CONTINUITY OF NEW OR EXISTING FIRE-RATED CONSTRUCTION.

- ALL MANUFACTURER'S NAME, TRADEMARK, LOGOS, ETC SHALL NOT BE VISIBLE TO THE PUBLIC, UNLESS REQUIRED BY THE BUILDING CODE.
- ALL CEILING MOUNTED ITEMS SHALL BE REINFORCED WITH BRACING, BLOCKING, AND/OR STRUCTURE AS REQUIRED. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE SUPPORT REQUIRED TO MAINTAIN THE INTEGRITY OF THE CEILING AND THE SECURITY OF THE ITEM MOUNTED. THE GENERAL CONTRACTOR SHALL COORDINATE THE PLACEMENT OF ALL BLOCKING PRIOR TO CLOSING OF CEILING, ALL BLOCKING SHALL BE FIRE RETARDANT TREATED. USE OF

COMBUSTIBLE MATERIALS ABOVE THE CEILING IS NOT PERMITTED.

- PROVIDE FRAMING ABOVE CEILING WHERE WALLS DO NOT GO TO DECK FOR SUPPORT OF SUSPENDED ACOUSTICAL CEILING SYSTEM.
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, NOTIFY GOOD FULTON & FARRELL FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING.
- DIMENSIONS SHOWN AS "V.I.F." SHALL BE VERIFIED IN THE FIELD. THE GENERAL CONTRACTOR SHALL NOTIFY GOOD, FULTON & FARRELL OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH WORK IN THAT AREA.
- DIMENSIONS MARKED "HOLD" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES. THE GENERAL CONTRACTOR SHALL NOT ADJUST DIMENSION WITHOUT WRITTEN INSTRUCTIONS FROM GOOD FULTON & FARRELL.
- THE LOCATIONS OF MECHANICAL, ELECTRICAL, AND FIRE PROTECTION ITEMS (I.E. CEILING MOUNTED DEVICES, SUCH AS STROBES, SPEAKERS, LIGHT FIXTURES, SPRINKLER HEADS, RETURN AND SUPPLY AIR GRILLES, SECURITY DEVICES, ETC.) ARE SHOWN FOR REFERENCE ONLY AND SHALL BE CONFIRMED WITH GOOD FULTON & FARRELL IN THE FIELD PRIOR TO INSTALLATION. REFER TO MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS & SPECIFICATIONS FOR DESIGN OF THESE SYSTEMS. NOTIFY GOOD Stamp: FULTON & FARRELL OF ANY CONFLICTS PRIOR INSTALLATION.
- 13. SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED WITH A SINGLE COVERPLATE. REFER TO ELECTRICAL DRAWINGS FOR SWITCH COVER PLATE SPECIFICATION. NOTIFY GOOD FULTON & FARRELL OF ANY CONFLICTS PRIOR TO INSTALLATION.
- 14. COLOR OF ESCUTCHEON COVERS IN CEILINGS WILL BE SELECTED BY GOOD, FULTON & FARRELL.
- 15. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AT ALL CONCEALED MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS WHICH REQUIRE SERVICE OR ACCESS. ACCESS PANELS IN RATED CEILINGS SHALL HAVE THE SAME RATING AS THE ASSEMBLY THEY
- ALL CEILING MOUNTED DEVICES, SUCH AS LIGHT FIXTURES, FIRE ALARM STROBES OCCUPANCY SENSORS, SPEAKERS, RETURN AND SUPPLY AIR GRILLES, SECURITY DEVICES, ETC. TO BE CENTERED IN
- 17. ALL CEILING HEIGHTS TO BE 11'-0" AFF, UNO.
- 18. ALL FIRE PROTECTION ITEMS (SPRINKLER HEADS) TO BE CENTERED NO. IN THE CEILING TILE (BOTH WAYS), UNO.
- 19. THE LIGHTING LAYOUT AND TYPES SHALL MEET ALL ENERGY CODE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- 20. PROVIDE SHOP DRAWINGS AND PRODUCT SUBMITTALS FOR ALL LIGHT FIXTURES, FIRE ALARM STROBES, FIRE/LIFE/SAFETY DEVICES SECURITY DEVICES, SPEAKERS, ETC. PRIOR TO ORDERING, FABRICATION, AND INSTALLATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SUBMITTALS IN A TIMELY MANNER TO ALLOW FOR CORRECTIONS OR REJECTIONS WITHOUT CAUSING DELAY TO THE PROJECT SCHEDULE.
- 21. PROVIDE EMERGENCY LIGHTING AS REQUIRED PER MEP.
- 22. REF STRUCTURAL DETAIL 05/S201 FOR ABOVE CEILING SUPPORT OF FIXTURE C1,C2, & C3.
- KEY NOTES DEMO RCP PLANN MATERIALS SHALL HAVE A FLAM SPREAD RATING OF 76-200 WITH A MAXIMUM SMOKE GENERATION FACTOR OF 1 PEFREMOVE ALL EXISTING CEILING, MECHANICAL DUCTS, & AND DECORATILIGHTS. M MATERIALS & HANGING & OTHER DECORATIVE MAT 2 IALS SHALL MEETTHE FLAME PROPAGATION PERFORMANCE CRITERIA (EXISTING CEILING AND LIGHTS TO REMAIN; PREP FOR NEW
- 24. SUSPENDED CELING SYSTEMS SHALL BE DESIGNED AND INSTALLED
 IN ACCORDANCE WITH ASTM C635, ASTM C636, AND COMPLY WITH 2010 CBC
 PROJECT 2506.2.1 / ASCE 7-05, SECTION 13.5.6. REF. SHEET A502 FOR DETAILS.
- 25. ALL EXISTING LIGHTS AT THE DINING TO BE REMOVED



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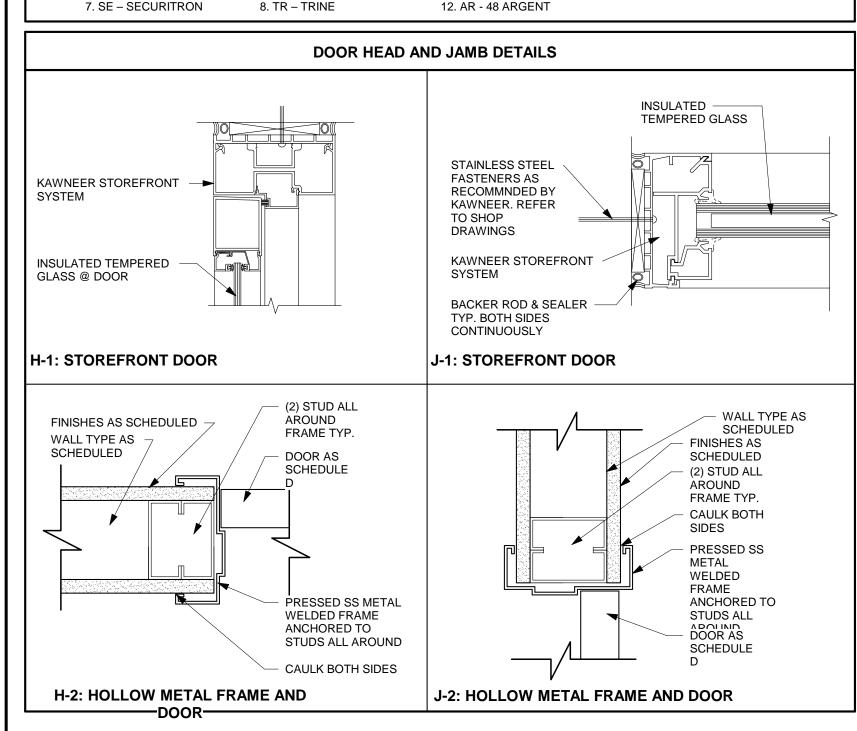
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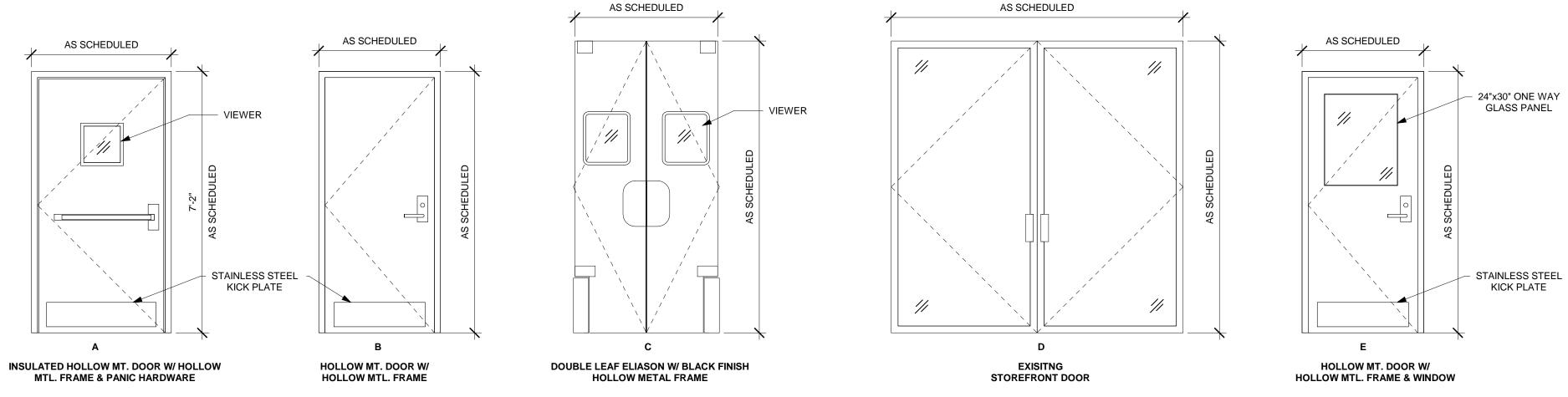
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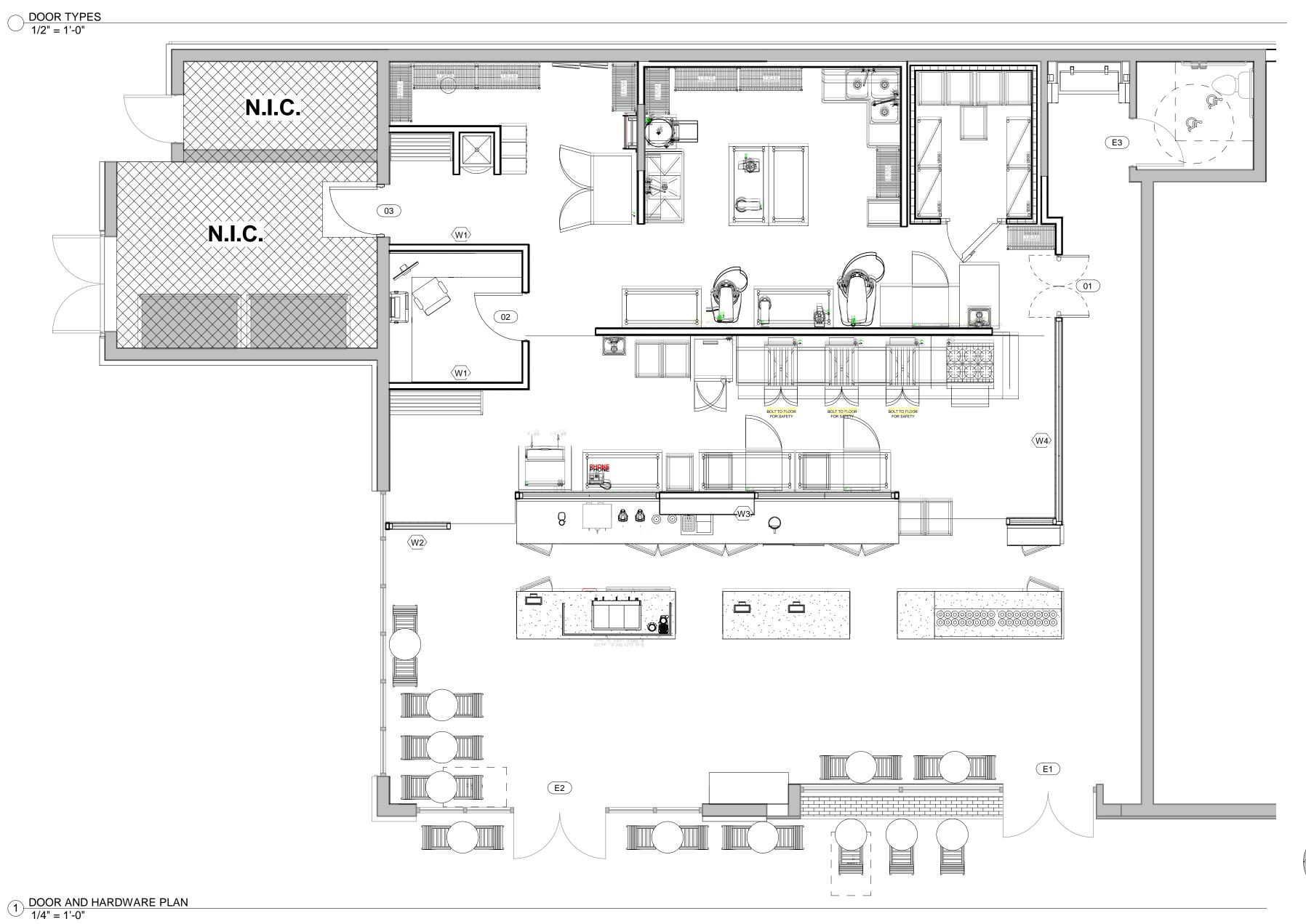
DEMOLITION REFLECTED CEILING PLAN

	DOOR SCHEDULE												
Mark	ROOM NAME	TYPE	WIDTH NOMINAL	HEIGHT NOMINAL	THICK	PANEL MATERIAL MATERIAL	. FRAME MATERIAL	PANEL FINISH FINISH	FRAME FINISH FINISH	JAMB DETAIL	HEAD DETAIL	Hardware Set	REMARKS
01	KITCHEN	A	4' - 0"	8' - 0"	0' - 1 1/2"	WOOD	ALUMINUM	-	-	H-2	J-2	MANUF.	
02	OFFICE	E	3' - 0"	7' - 0"	0' - 1 3/4"	ALUMINUM	ALUMINUM	-	-	H-2	J-2	HWS-3	HOLLOW MT DOOR WITH HOLLOW MTL. FRAME
03	SERVICE	С	3' - 0"	7' - 0"	0' - 2"	ALUMINUM	ALUMINUM	-	-	H-2	J-2	HWS-4	
E1	ENTRY	D	5' - 8 1/4"	8' - 0"		GLASS	ALUMINUM	-	-	EXISTING	EXISTING	EXISTING	G.C. TO REPLACE HARDWARE SETS ON OWNER'S REQUEST
E2	ENTRY	D	5' - 9 1/2"	8' - 0"		GLASS	ALUMINUM	-	-	EXISTING	EXISTING	EXISTING	G.C. TO REPLACE HARDWARE SETS ON OWNER'S REQUEST
E3	RESTROOM	В	3' - 0"	7' - 0"	0' - 1 3/4"	EXISTING	EXISTING	-	-	EXISTING	EXISTING	EXISTING	HOLLOW MT DOOR WITH HOLLOW MTL. FRAME,G.C. TO REPLACE HARDWARE SETS ON OWNER'S REQUEST
EA			3' N"	6' 0"	0' 2"								

	PAIR EXTERIOR S	STOREFRONT ENTRY D	<u>oors</u>	
	HARDWARE TYPE	MODEL#	FINISH MF	R
	SET: 1.0			
HWS - 1	1 CONTINUOU 2 DOOR PULL 1 THUMBTURN 2 SURFACE CI 2 KICK PLATE 1 THRESHOLD 2 SWEEP 1 GASKETING	LOSER UNI4400 K1050 10" X 2" LDW	5.563 US26D 689	MK RO YA YA RO PE PE
	TOILET SWING D	<u>OOR</u>		
	HARDWARE TYPE	MODEL#	FINISH	MFR.
- 2	SET: 10.0			
HWS	3 HINGE	4B81 4 1/2" x 4 1/2"	652 PBB	ST
f	1 DOOR PULL 1 PUSH PLATE	8106 X 70C 4" x 16" 870C 4" x 16"	630 ROC 630 ROC	TC TC
	1 SURFACE CL 1 KICK PLATE	OSER 011 TB K1050 10" X 34"	689 LCN 63	AR 0 ROC
	1 WALL STOP 3 SILENCER	409 MTL FRAME 608	630 ROC	TC RY ROC
	1 PRIVACY LOC			SC
	OFFICE / STORAG	<u>GE</u>		
	HARDWARE	MODEL#	FINISH	MFR.
S-3	TYPE <u>SET: 8.0</u>			
HWS	3 HINGE	MPB79 4-1/2" X 4-1/2		MK
	1 OFFICE LOCK 1 WALL STOP	AU 4705LN A600-7 409	626 US32D	YA RO
	3 SILENCER		608	RO
	EXTERIOR EGRE	SS DOOR		
	HARDWARE TYPE	MODEL #	FINISH	MFR.
4	SET: 2.0			
	3 HINGE 1 ALARM EXIT D	MPB99 X NRP 4-1/2" DEVICE 7150 A EO A620	X 4-1/2" US32D 630	MK YA
HMS	1 SURFACE CLO	OSER 3521	689	YA
_	1 KICK PLATE 1 THRESHOLD	K1050 10" X 2" LDW 271A	US32D	RO PE
	1 GASKETING 1 SWEEP	45041CNB 18061CNB		PE PE
				FE
Α				_
3.	MK – MCKINNEY YA – YALE	2. RF – RIXSON 4. RO – ROCKWOOD	9. ST - S 10. TC - TRIMCO	
	PE – PEMKO	6. HE – HES	11. SC - SCHLAG	F









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02.26.2018

NO.	REASON	DATE
	IPAL IN CHARGE: SH COOL	

MANAGER:
WILLIAM AYALA
DRAWN BY:
WILLIAM AYALA
Project Address:

OLIBOLI

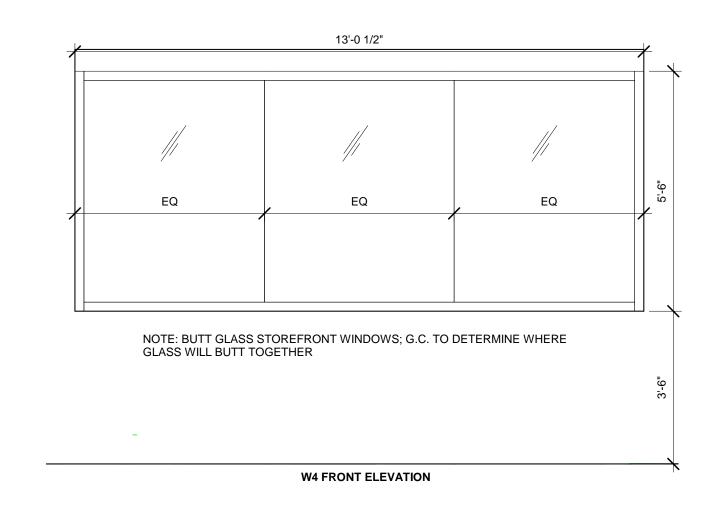
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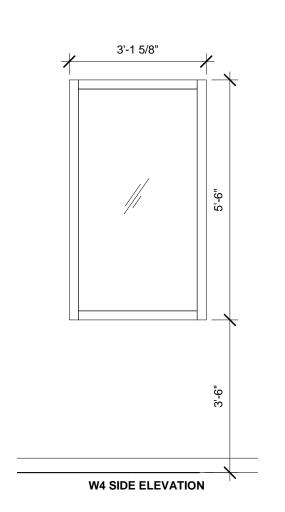
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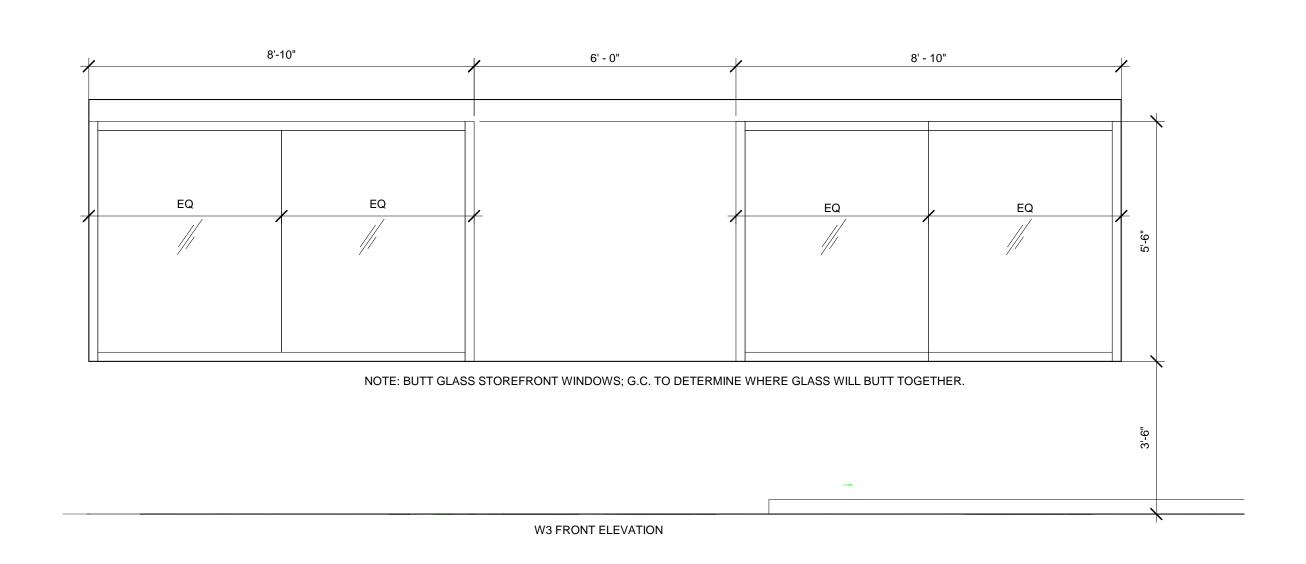
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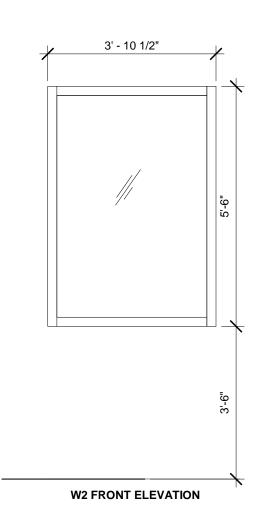
DOOR & HARDWARE
SCHEDULE

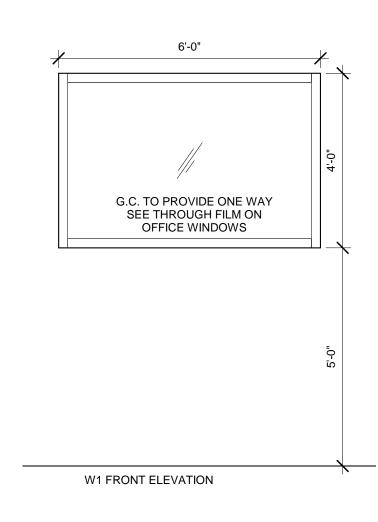
heet Number:













Architect:

Geoffrey B. Lim Aia, Ncarb, Leed ap

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PRINCIPAL IN CHARGE:
JOSH COOL
PROJECT
MANAGER:
WILLIAM AYALA
DRAWN BY:
WILLIAM AYALA

Project Address:

OLIBOLI

135 W. FIRST STREET
UNIT #B&C
TUSTIN,CA 92780

Project Number

142-002-18 Sheet Title:

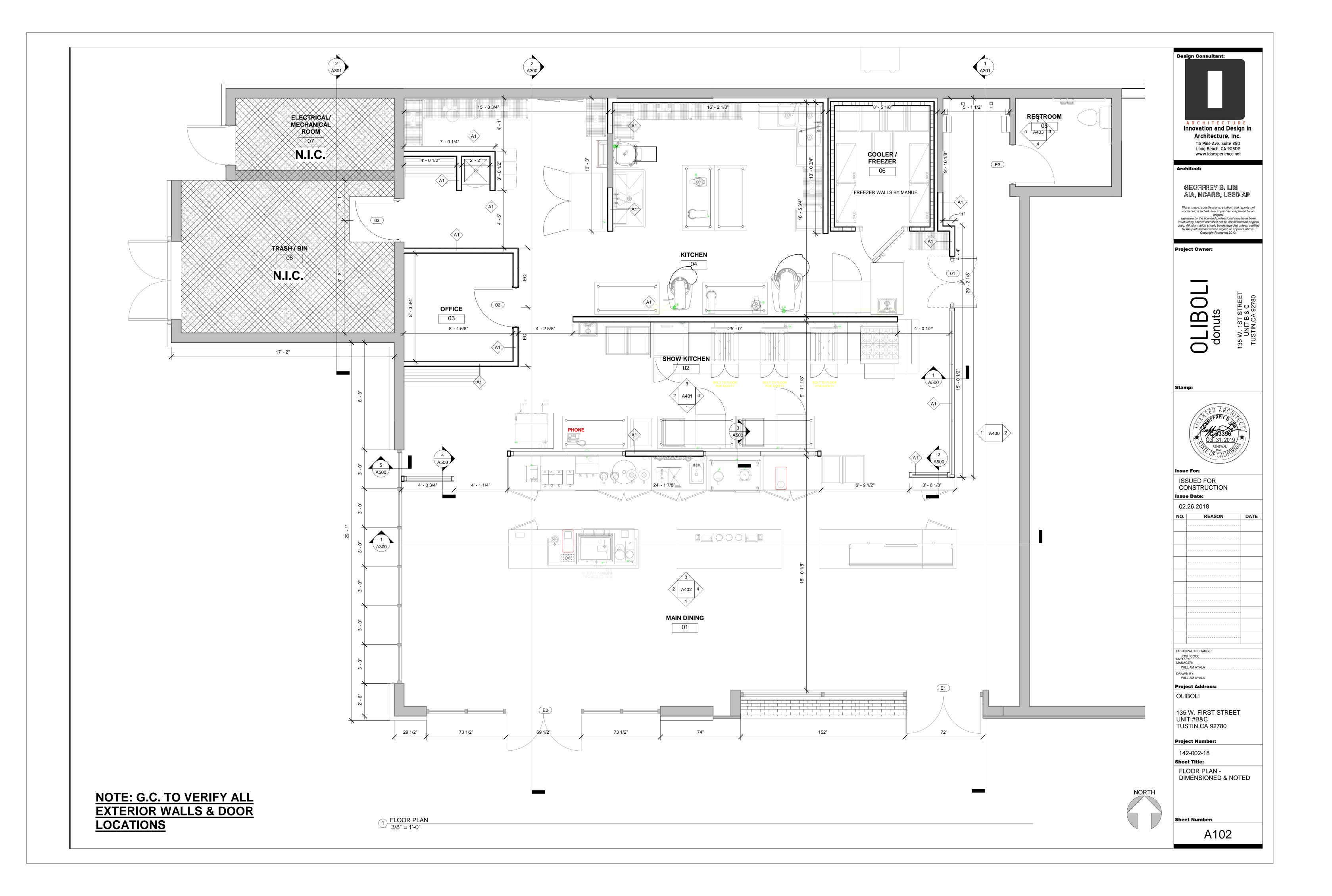
WINDOW SCHEDULE

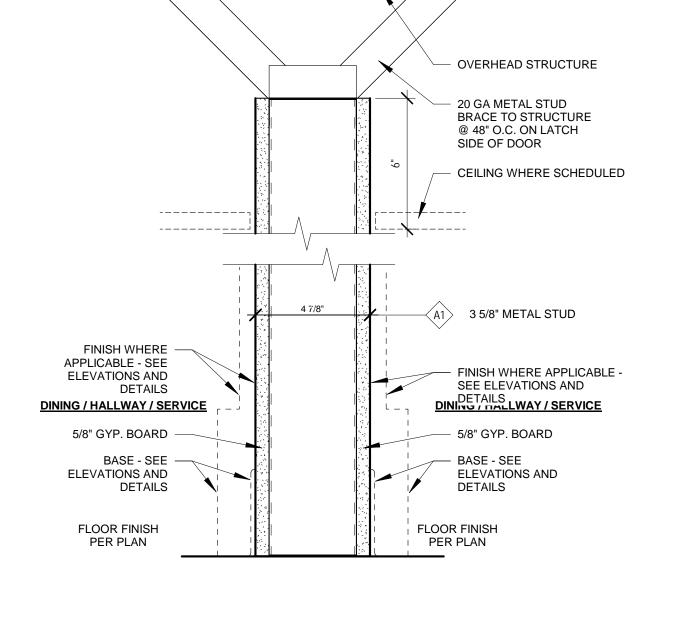
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WINDOW TYPES

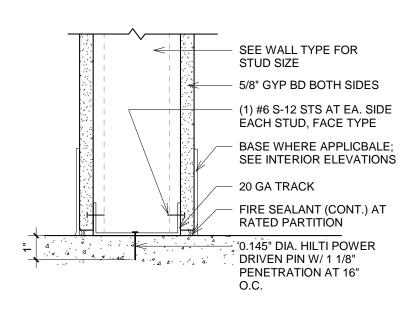
1/2" = 1'-0"

۸ 1 🗅 1

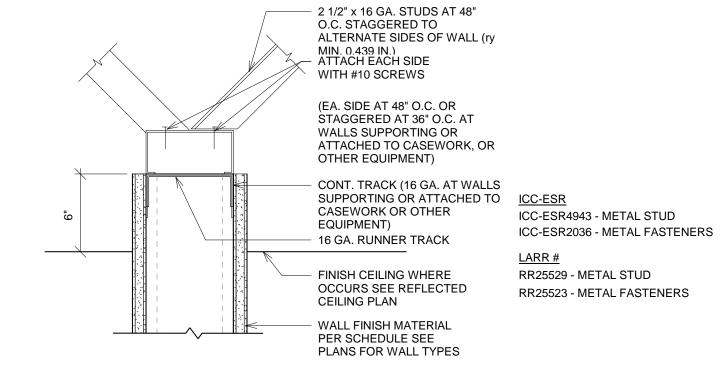




6 WALL PARTITION DETAIL
3" = 1'-0"



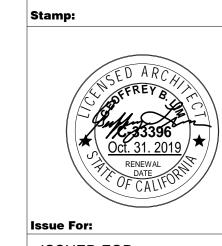
5 WALL PARTITION DETAIL
3" = 1'-0"



WALL PARTITION DETAIL

3" = 1'-0"

1 WALL PARTITION DETAIL
3" = 1'-0"



OLIBOL donuts

Design Consultant:

Architect:

Project Owner:

Innovation and Design in Architecture, Inc. 115 Pine Ave. Suite 250 Long Beach, CA 90802 www.idaexperience.net

Geoffrey B. Lim aia, ncarb, leed ap

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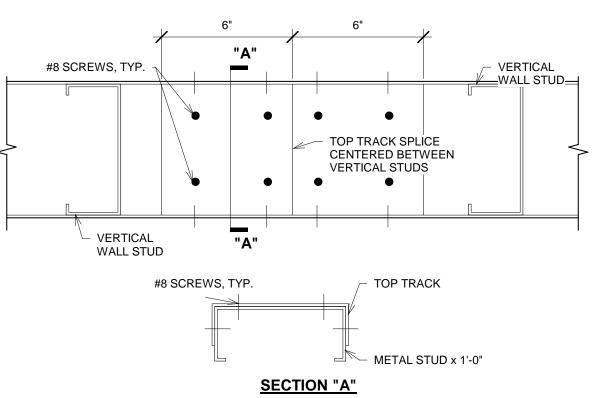
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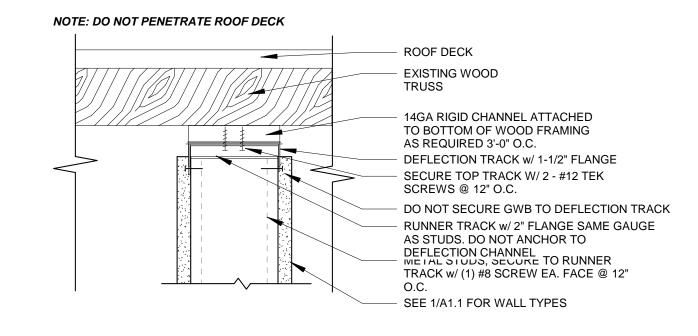
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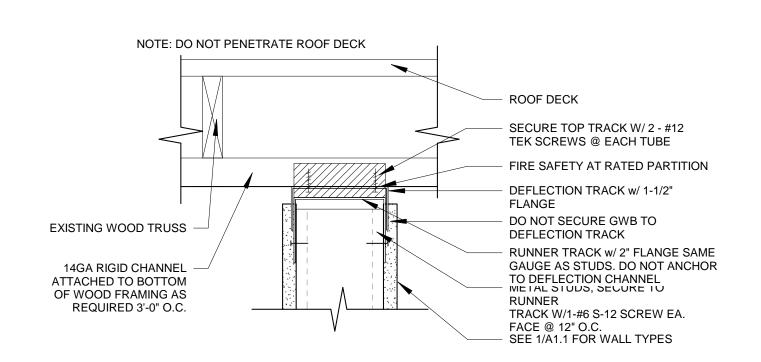
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142-002-18 Sheet Title: WALL PARTITIONS

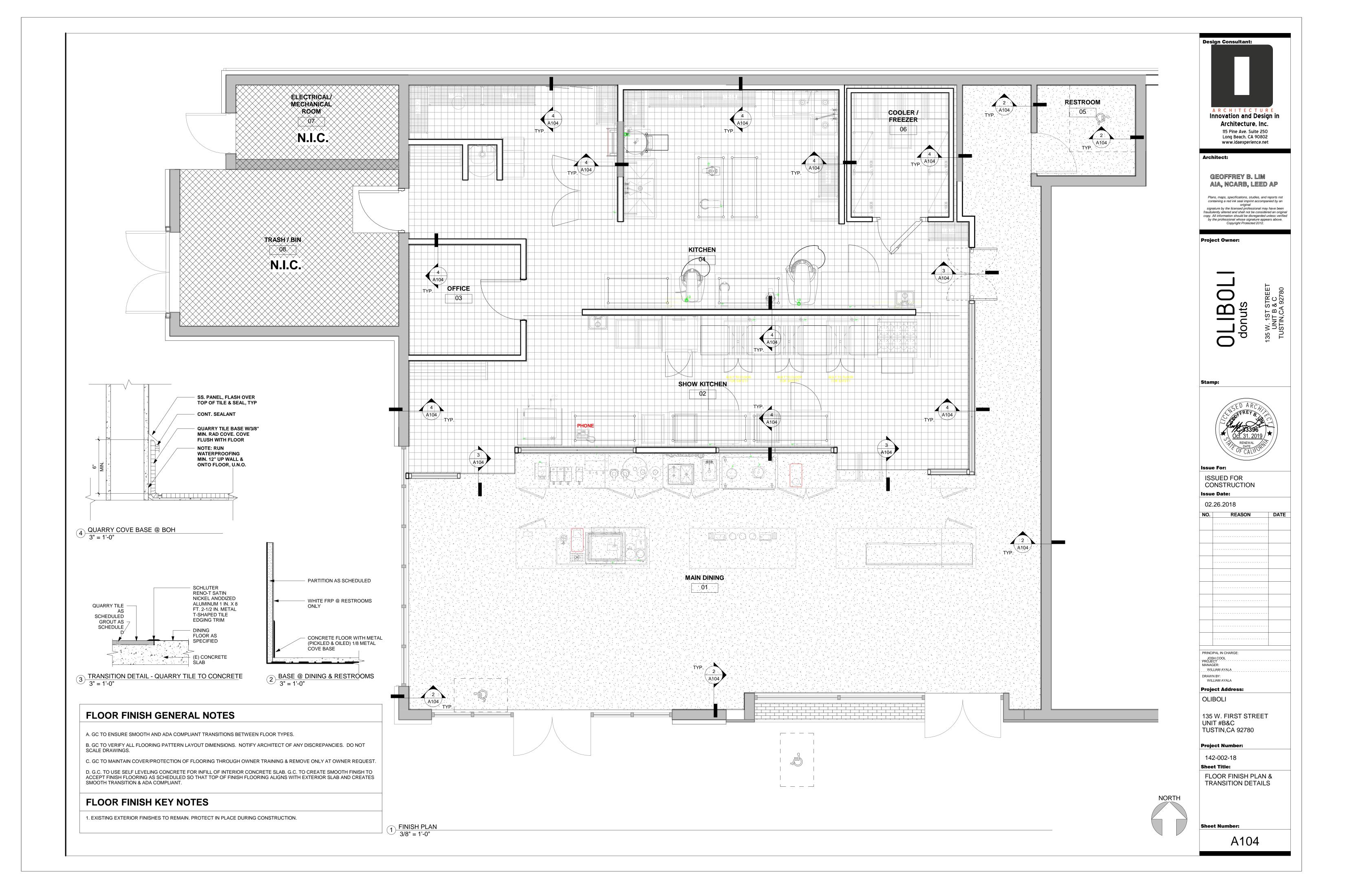
#8 SCREWS, TYP. VERTICAL WALL STUD TOP TRACK SPLICE CENTERED BETWEEN VERTICAL STUDS

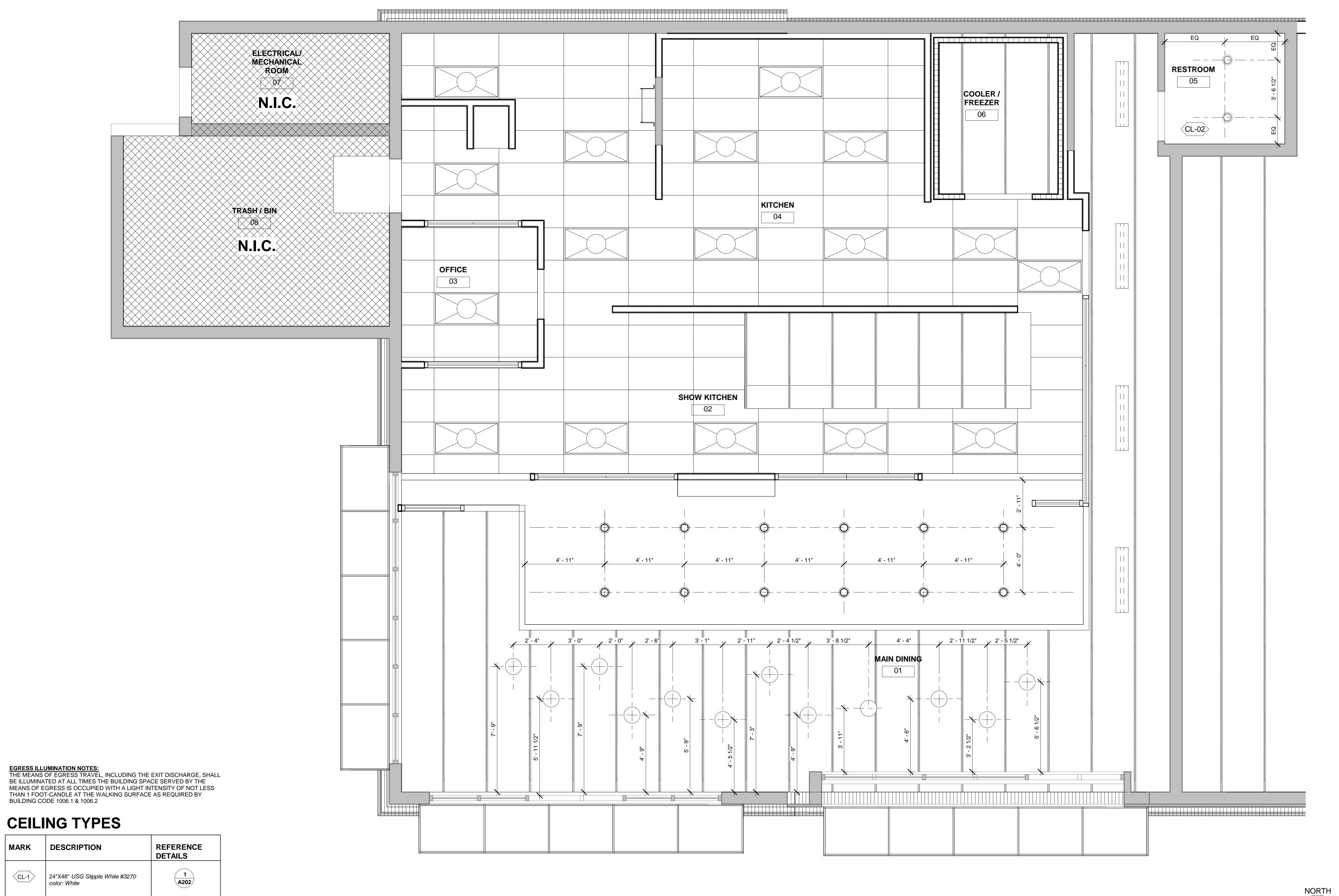






3 WALL PARTITION DETAIL
3" = 1'-0"





2 A202

CL-2

5/8" GYP. BOARD CEILING, SEE

PLAN FOR FINISH.



Architect:

Geoffrey B. Lim Aia, ncarb, leed ap

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PRINCIPAL IN CHARGE JOSH COOL PROJECT MANAGER: WILLIAM AYALA

WILLIAM AYALA

Project Address:

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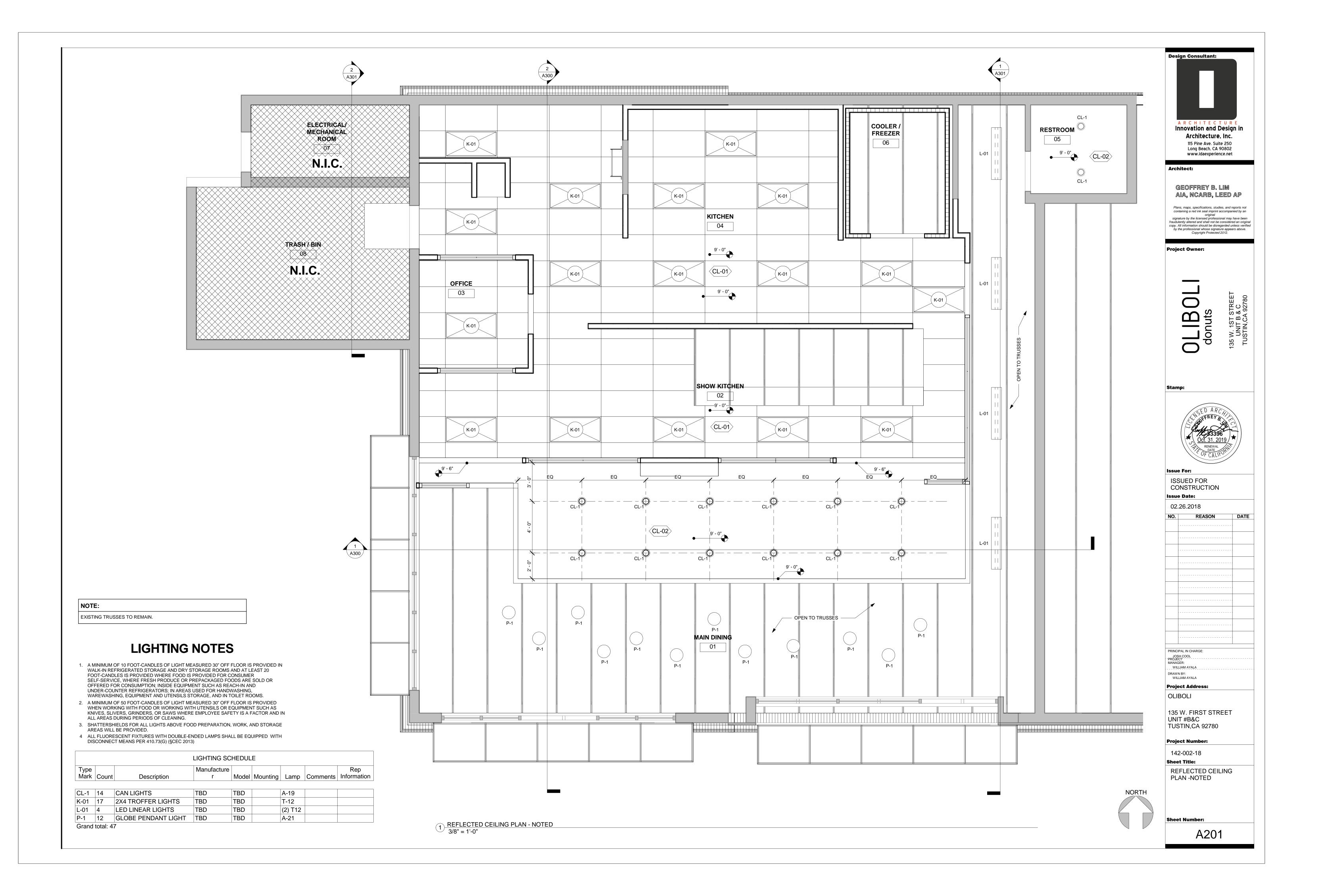
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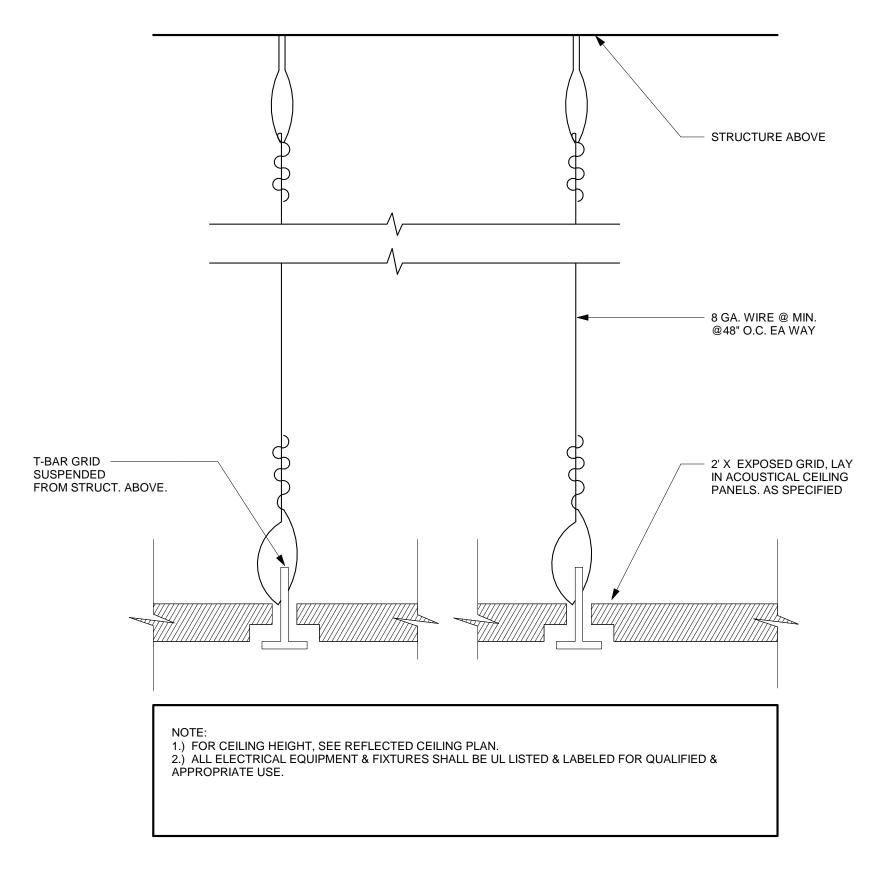
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142-002-18
Sheet Title:
REFLECTED C

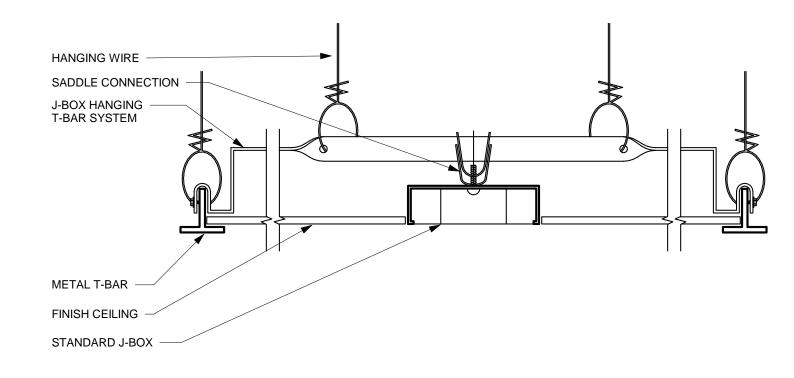
REFLECTED CEILING PLAN -DIMENSIONED

Sheet Number:

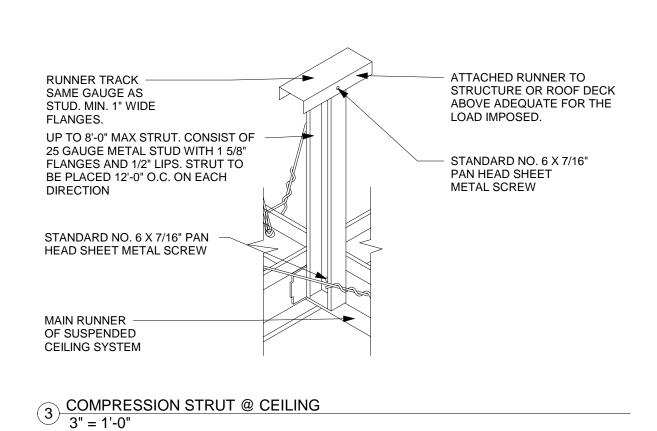


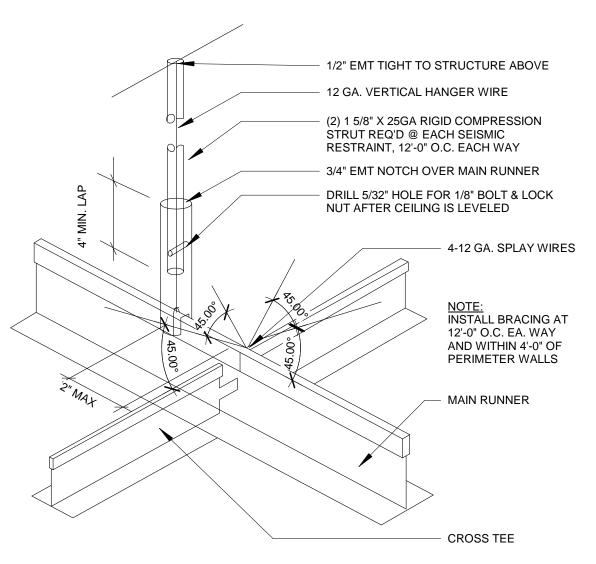


1 TYP. CEILING TILE DETAIL 6" = 1'-0"



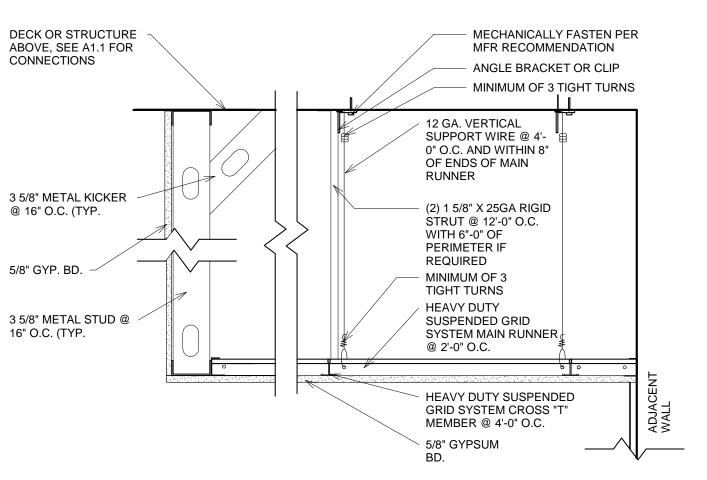
2 TYP. J-BOX @ CEILING GRID 3" = 1'-0"





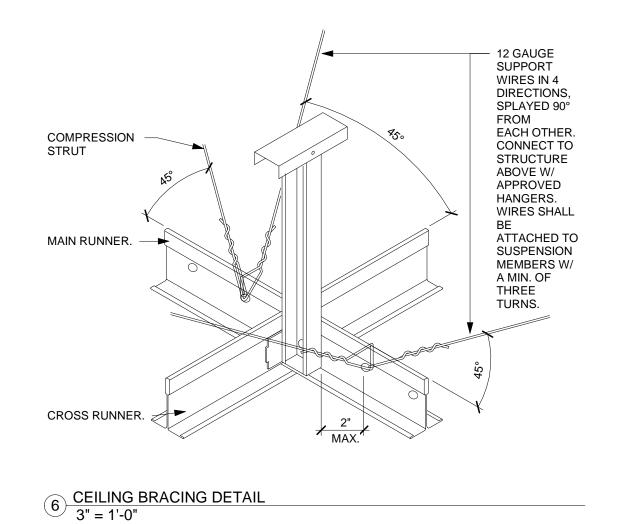
GYP BD - COMPRESSION STRUT DETAIL

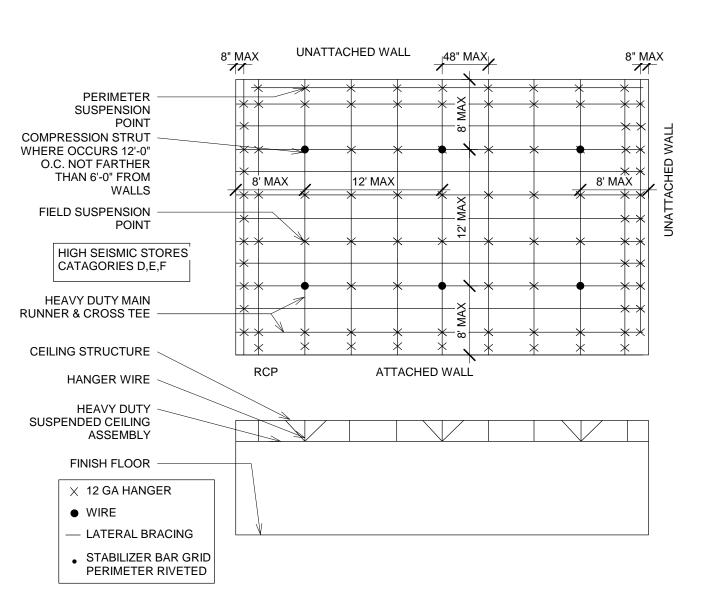
4 COMPRESSION STRUT @ CEILING 3/8" = 1'-0"



GYP BD CEILING FRAMING SECTION - SEISMIC HIGH - D, E, F

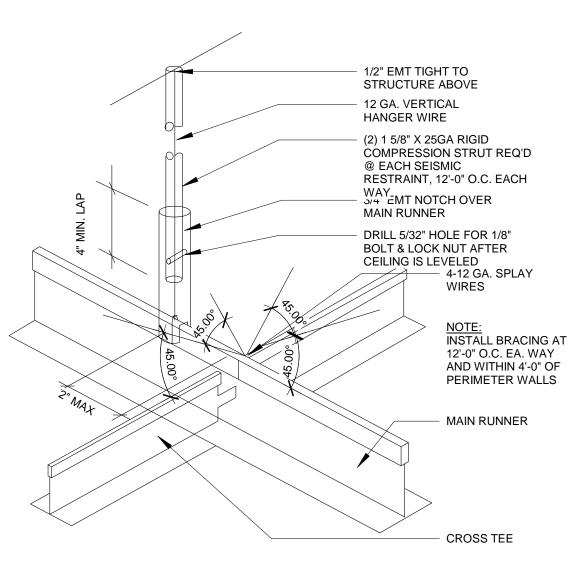
5 COMPRESSION STRUT @ CEILING 1 1/2" = 1'-0"





CEILING LAYOUT SEISMIC HIGH - D, E, F

7 COMPRESSION STRUT @ CEILING 1/8" = 1'-0"



ACT COMPRESSION STRUT DETAIL - ACT CEILING

8 COMPRESSION STRUT @ CEILING 3/8" = 1'-0"

STRUT SIZING CHART		NOTES	HIGH SEISMIC STORES CATAGORIES D, E, F			
SIZE	MAX HT	HIGH SEISM	ИС			
0.5" DIA X 22 GA.	3' - 0"	1. ENDS OF MAI	IN BEAMS AND CROSS TEES MUST BE TIED TOGETHER TO PREVENT THEIR SPREADING.			
0.75" DIA X 22 GA.	4' - 3"	2. INSTALL CLG	. GRID USING #12 GA WIRE HANGERS @ 4' MAX O.C. & 6" MAX FROM PERIMETER WALL.			
1" DIA X 20 GA.	5' - 0"	3. HEAVY DUTY	GRID SYSTEM REQUIRED.			
1.25" DIA X 20 GA.	7' - 0"	4. CEILING ARE	A > 1000 SQ FT TO HAVE HORIZONTAL RESTRAINT WIRE AND RIGID BRACING			
1.5" DIA X 20 GA.	8' - 6"	5. CEILING ARE	5. CEILING AREA > 2500 SQ FT TO HAVE SEISMIC SEPARATION JOINTS OR FULL HEIGHT PARTITION.			
2" DIA X 20 GA.	11' - 6"	6. CEILING WIH	TOUT RIGID BRACING MUST HAVE 2" OVERSIZED TRIM RINGS FOR SPRINKLERS AND OTHER			
2.5" DIA X 18 GA.	14' - 6"	FENETRATIONS	o.			
3" DIA X 18 GA.	17' - 3"	7. CHANGES IN	CEILING PLANE MUST HAVE POSITIVE BRACING.			
3.5" DIA X 18 GA.	23' - 3"	8. CABLE TRAYS	S AND ELECTRICAL CONDUITS MUST BE INDEPENDENTLY SUPPORTED AND BRACED.			



Architect:

Geoffrey B. Lim Aia, NCARB, Leed Ap

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135 W. 1ST STREET
UNIT B & C
TUSTIN, CA 92780

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ISSUED FOR CONSTRUCTION

1ssue Date: 02.26.2018

NO.	REASON	DATE

PRINCIPAL IN CHARGE:
JOSH COOL
PROJECT
MANAGER:
WILLIAM AYALA
DRAWN BY:
WILLIAM AYALA

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135 W. FIRST STREET UNIT #B&C TUSTIN,CA 92780

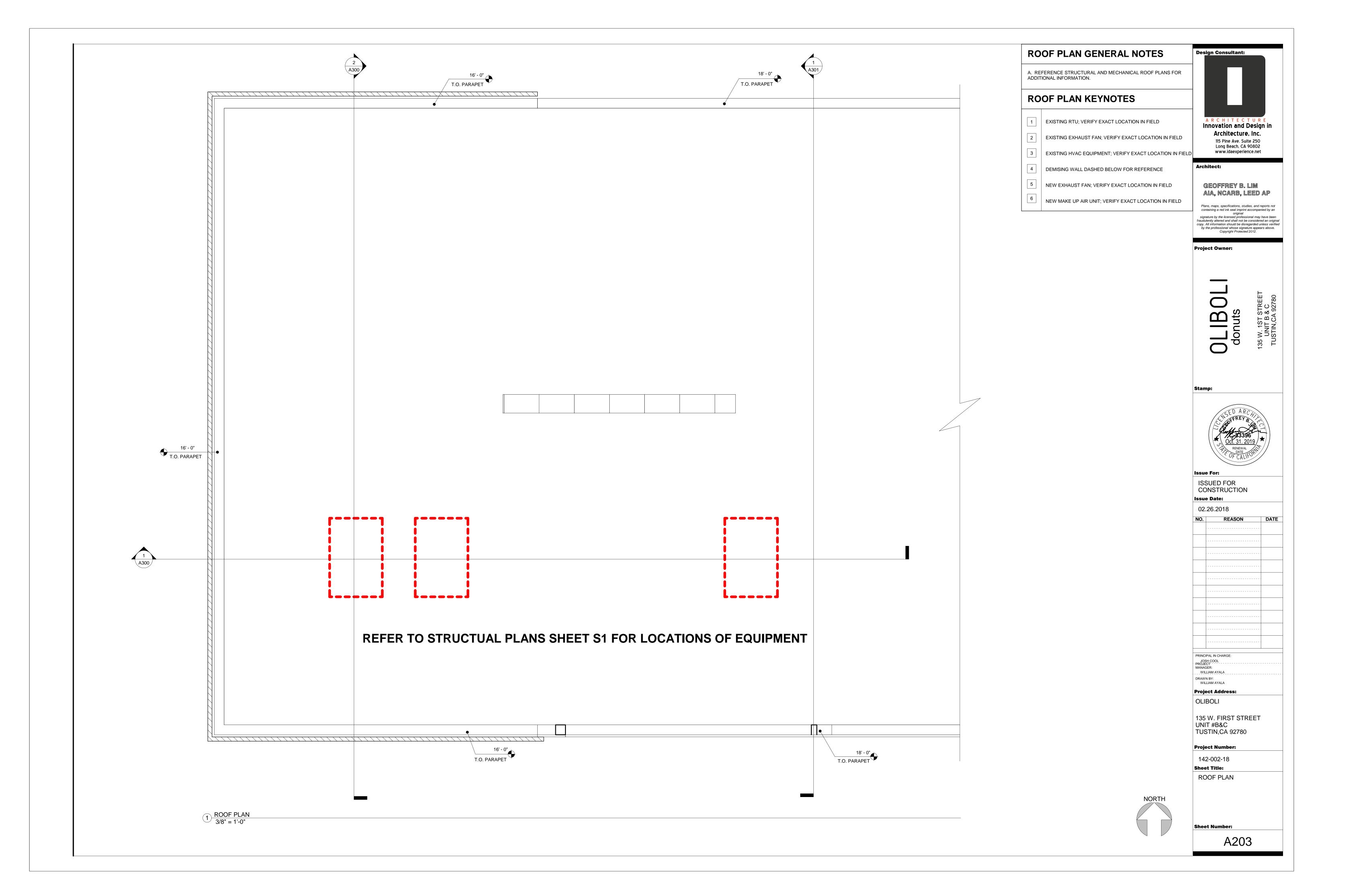
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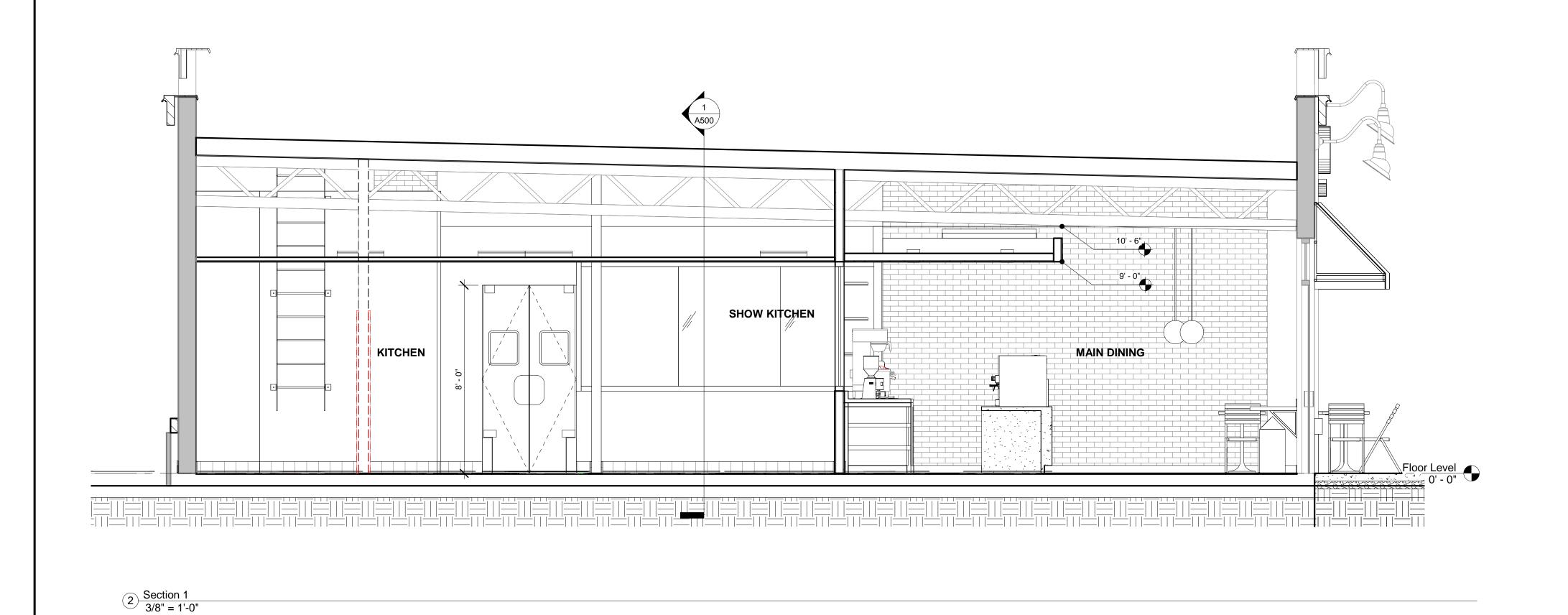
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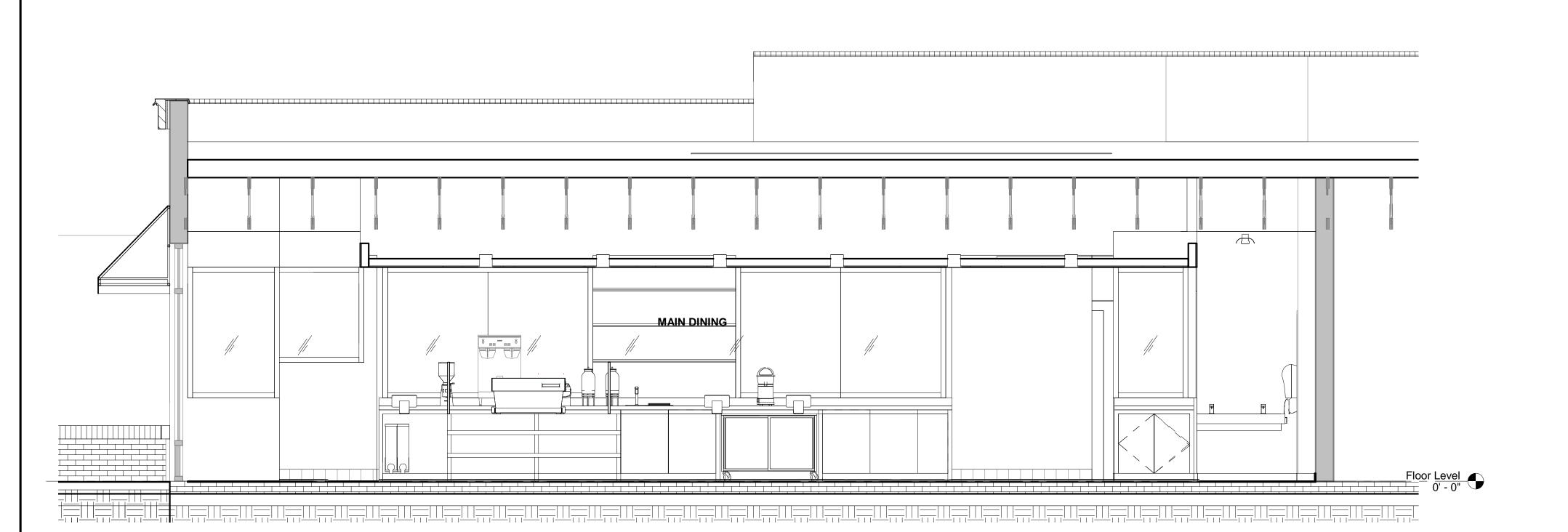
Sheet Title:

REFLECTED CEILING
PLAN - DETAILS

heet Number:







1 Detail 2 3/8" = 1'-0" ARCHITECTURE
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Architecture, Inc.

115 Pine Ave. Suite 250
Long Beach, CA 90802
www.idaexperience.net

Architect:

Geoffrey B. Lim Aia, NCARB, Leed ap

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PRINCIPAL IN CHARGE:
JOSH COOL
PROJECT
MANAGER:
WILLIAM AYALA

Project Address:

DRAWN BY: WILLIAM AYALA

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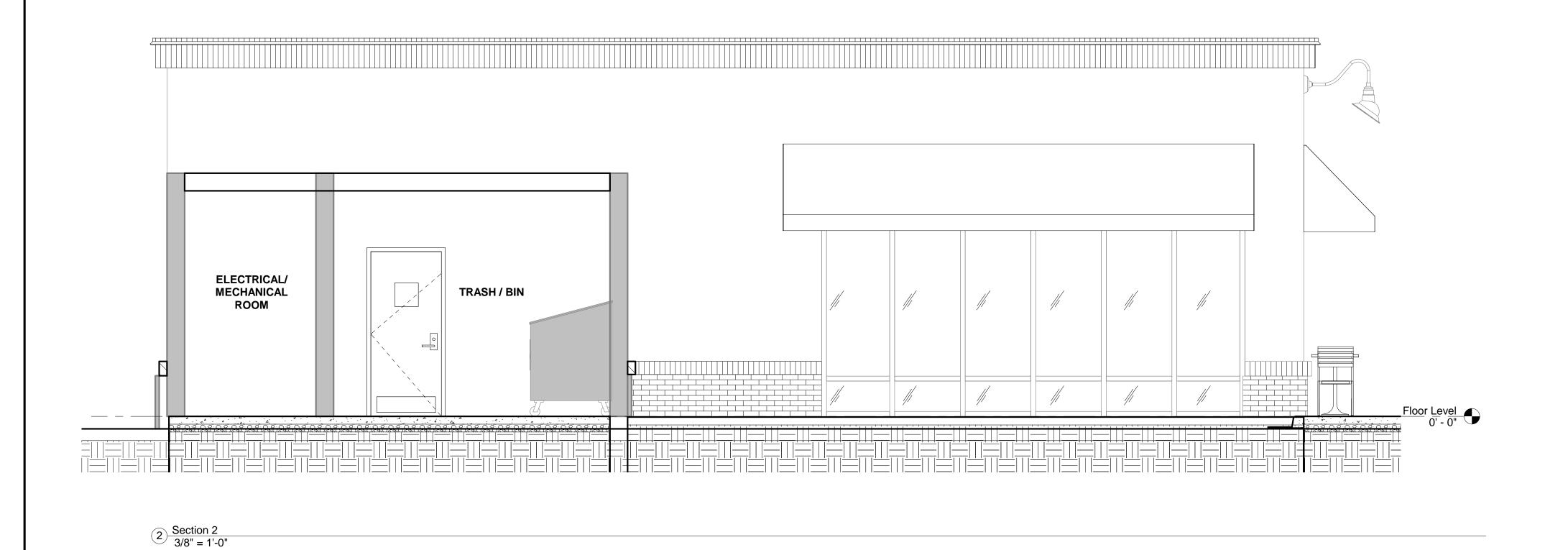
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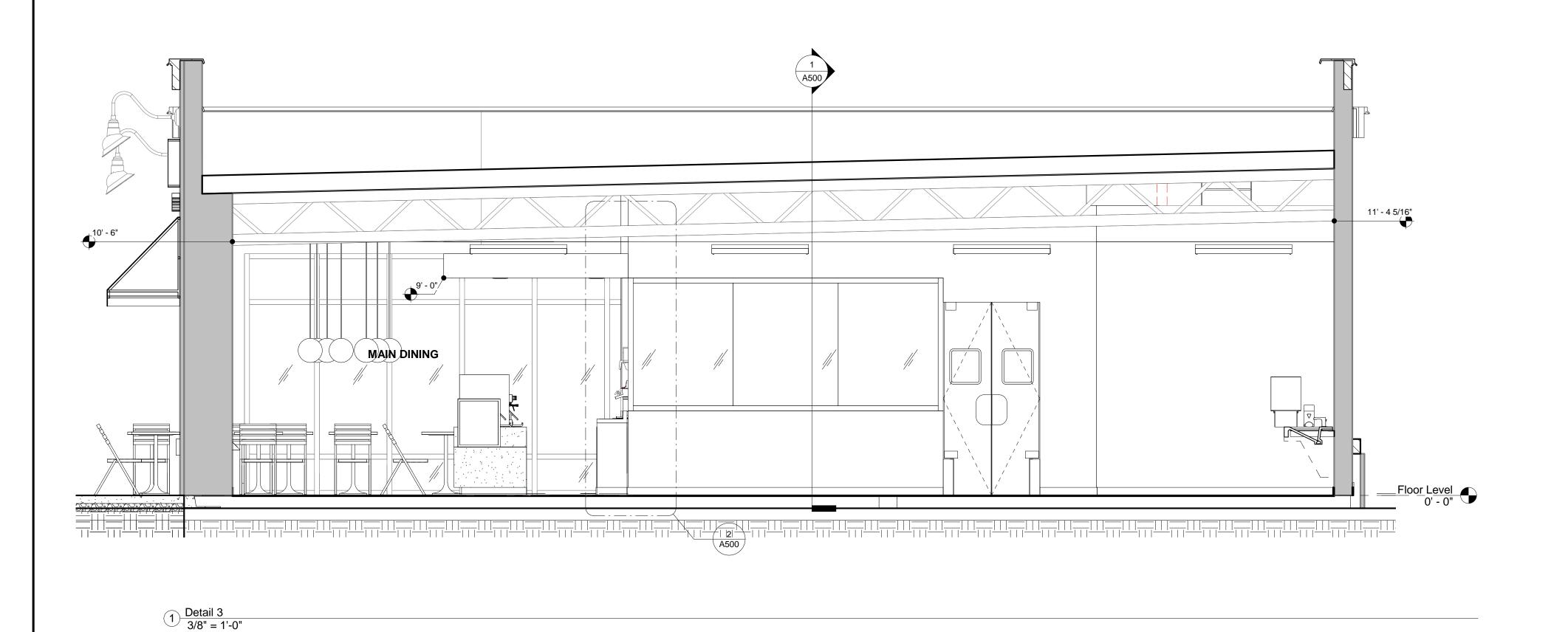
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142-002-18 **Sheet Title:**

BUILDING SECTIONS

Sheet Numb





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Issue Date:

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NO.	REASON	DA

PRINCIPAL IN CHARGE:
JOSH COOL
PROJECT
MANAGER:
WILLIAM AYALA
DRAWN BY:
WILLIAM AYALA

Project Address:
OLIBOLI

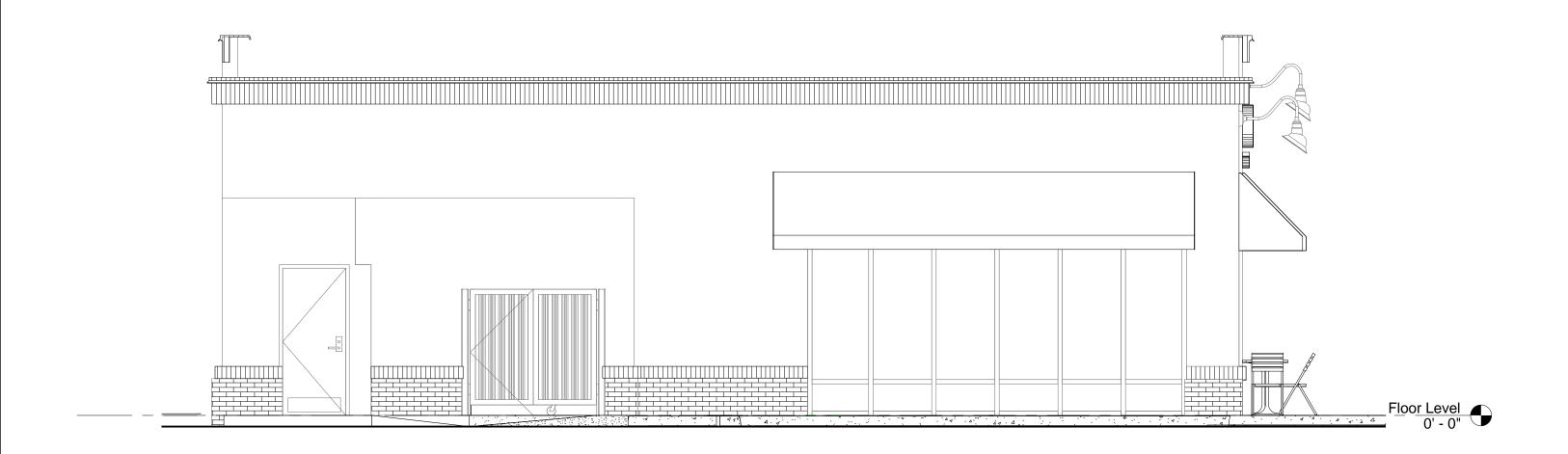
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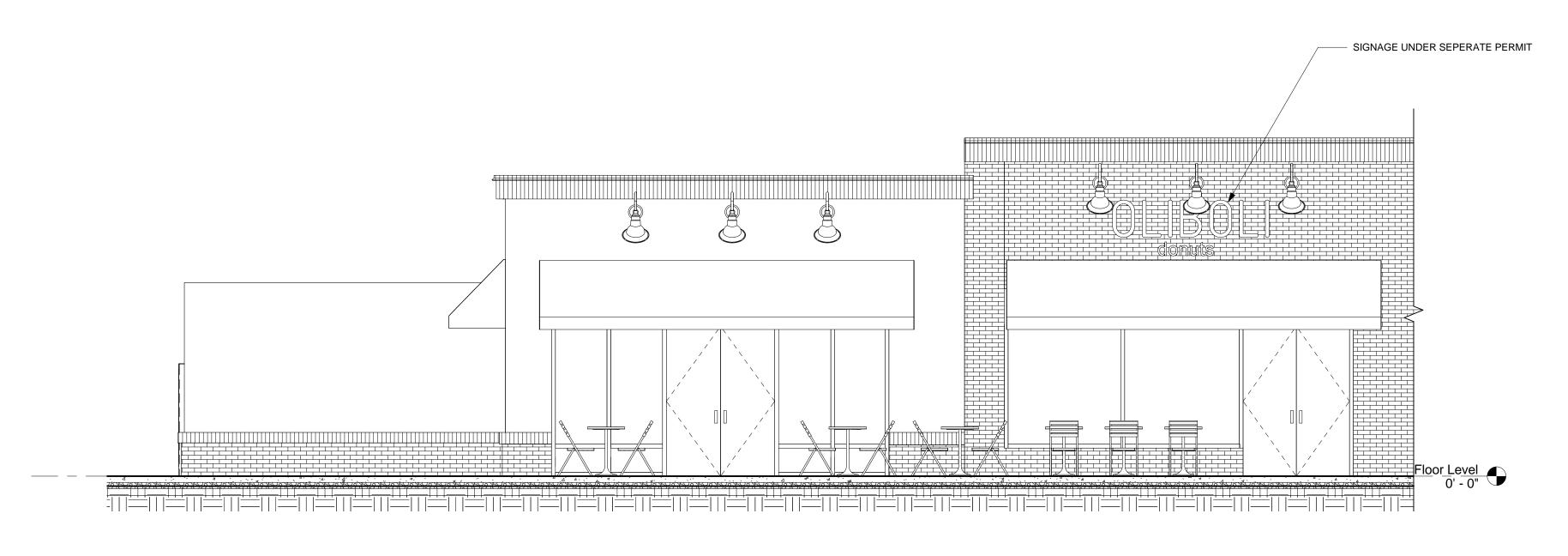
142-002-18
Sheet Title:

BUILDING SECTIONS

Sheet Numb



1) EXTERIOR ELEVATION - SOUTH 1/4" = 1'-0"



2 EXTERIOR ELEVATION - WEST 1/4" = 1'-0"



Architect:

Geoffrey B. Lim Aia, Ncarb, Leed ap

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WILLIAM AYALA

DRAWN BY:
WILLIAM AYALA
Project Address:

OLIBOLI

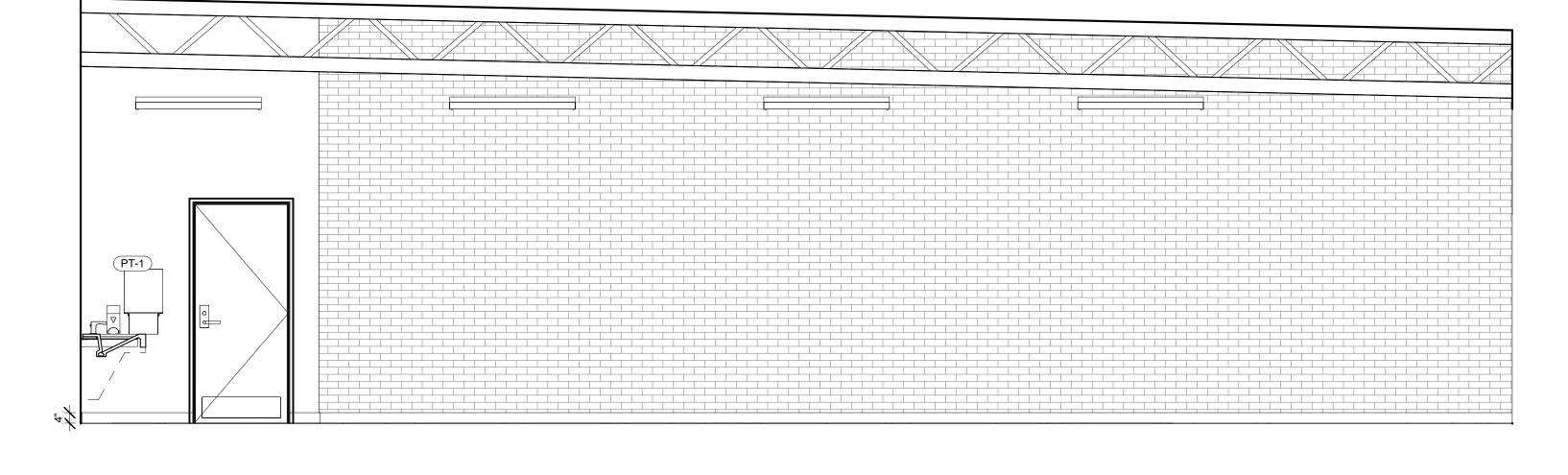
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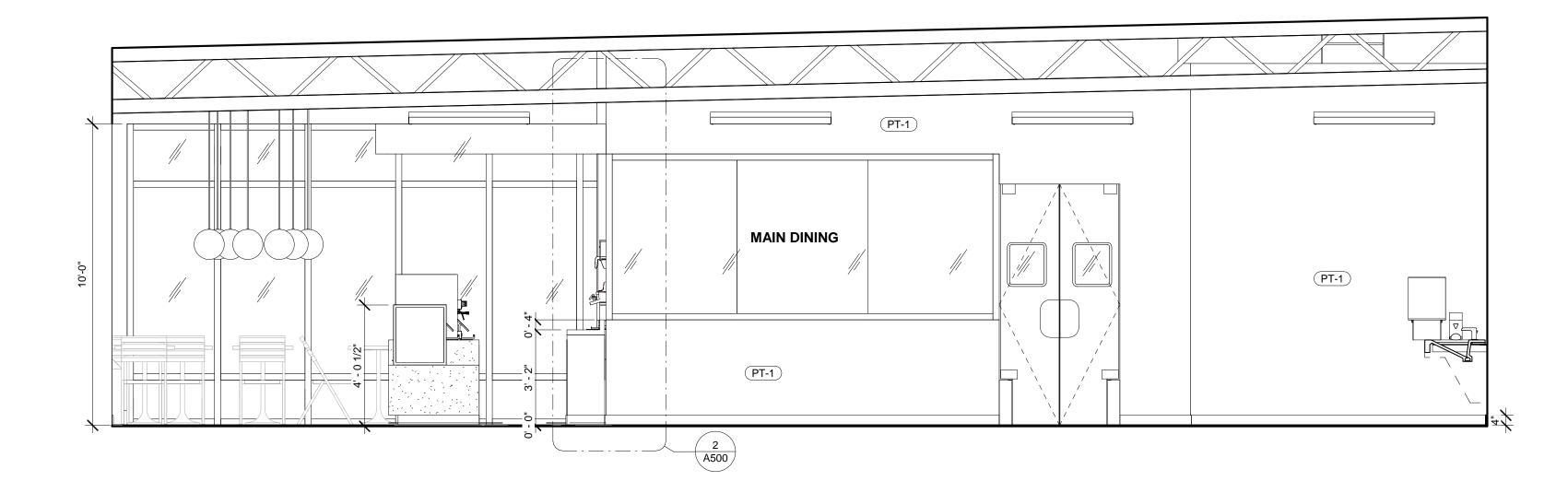
142-002-18 **Sheet Title:**

EXTERIOR ELEVATIONS

Sheet Number:



2 INTERIOR ELEVATION - 3 3/8" = 1'-0"



1 INTERIOR ELEVATION - 1 3/8" = 1'-0"



Architecti

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MANAGER:
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Project Address:

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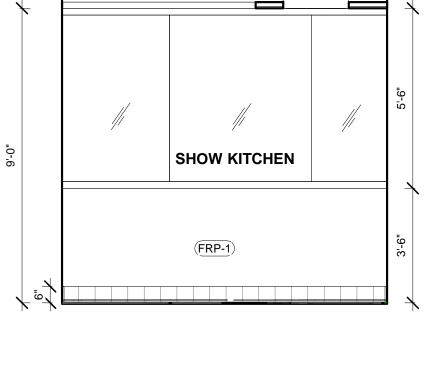
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Project Num

142-002-18 **Sheet Title:**

BUILDING SECTIONS / INTERIOR ELEVATIONS

et Number:



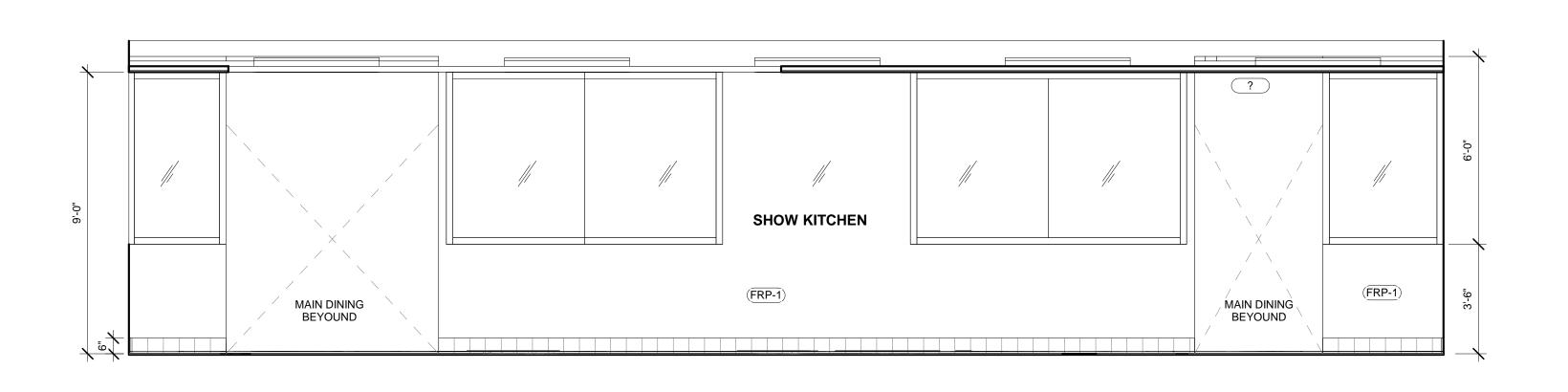
4 INTERIOR ELEVATION 4 - SHOW KITCHEN 3/8" = 1'-0"



2 INTERIOR ELEVATION 2 - SHOW KITCHEN 3/8" = 1'-0"

1 INTERIOR ELEVATION 1 - SHOW KITCHEN 3/8" = 1'-0"

3 INTERIOR ELEVATION 3 - SHOW KITCHEN 3/8" = 1'-0"



SHOW KITCHEN / \ KITCHEN KITCHEN BEYOND \ BEYOND \

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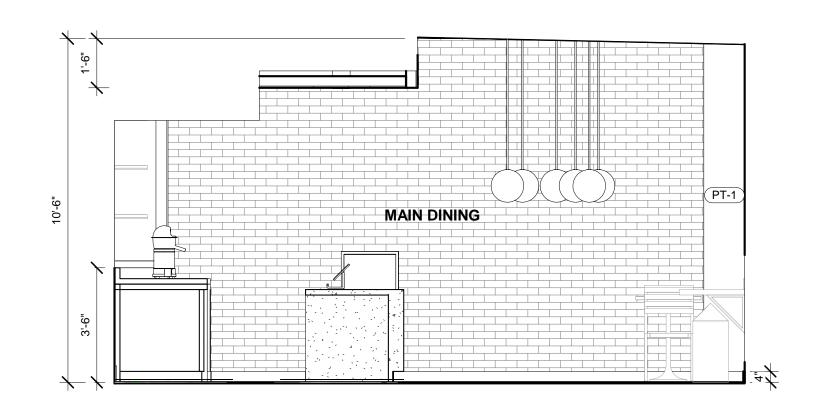
WILLIAM AYALA Project Address:

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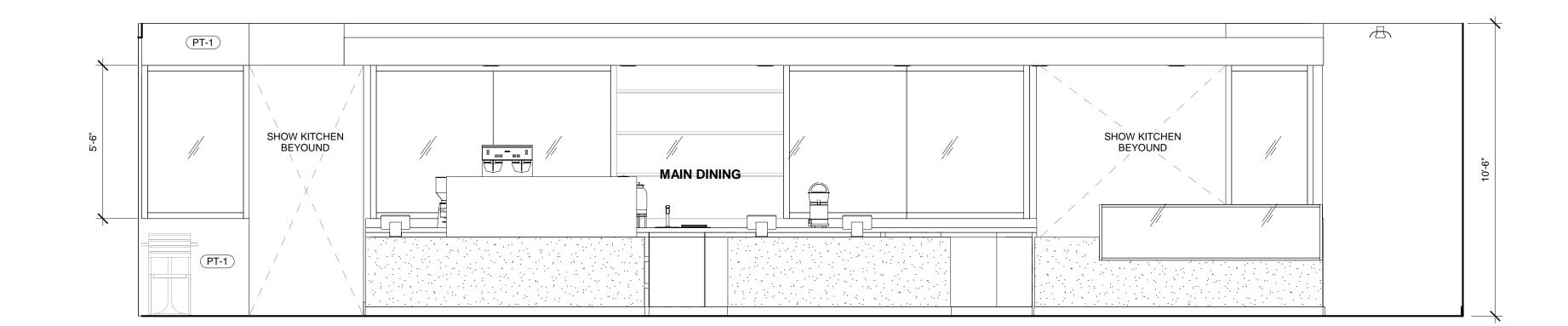
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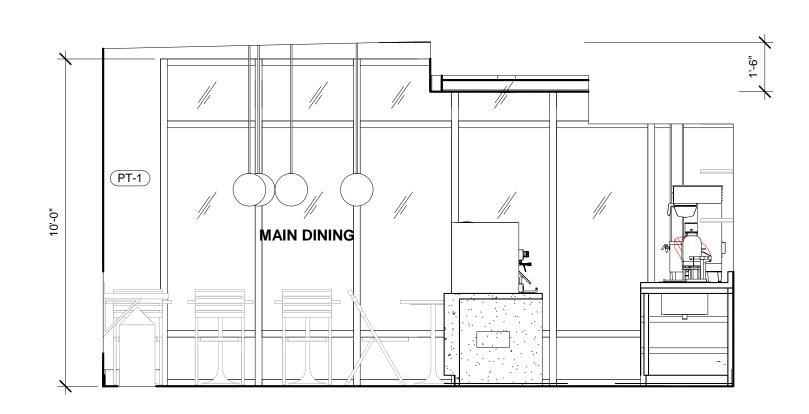
Sheet Title: BUILDING SECTIONS / INTERIOR ELEVATIONS



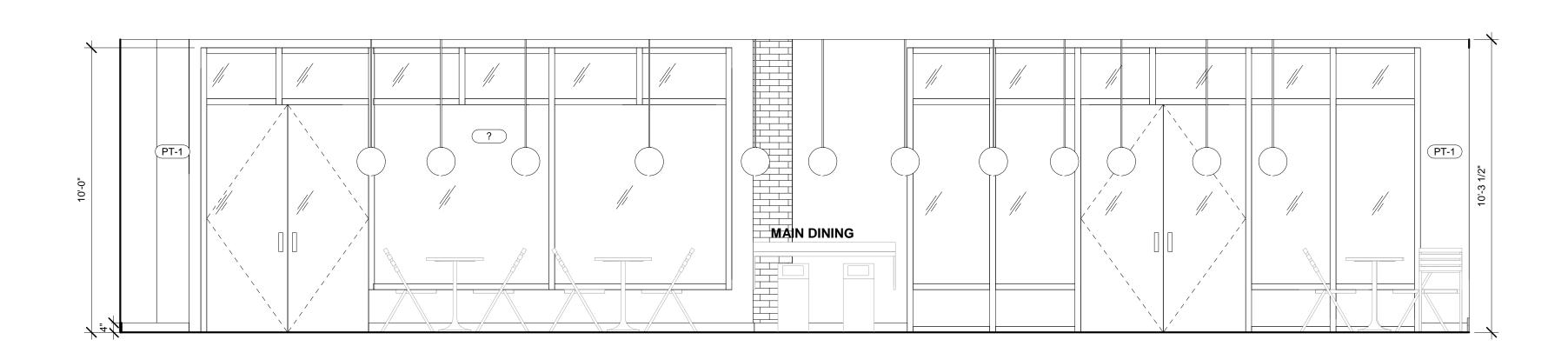
4 INTERIOR ELEVATION - MAIN DINING 4
3/8" = 1'-0"



3 INTERIOR ELEVATION - MAIN DINING 3
3/8" = 1'-0"



2 INTERIOR ELEVATION - MAIN DINING 2 3/8" = 1'-0"



1 INTERIOR ELEVATION - MAIN DINING 1
3/8" = 1'-0"



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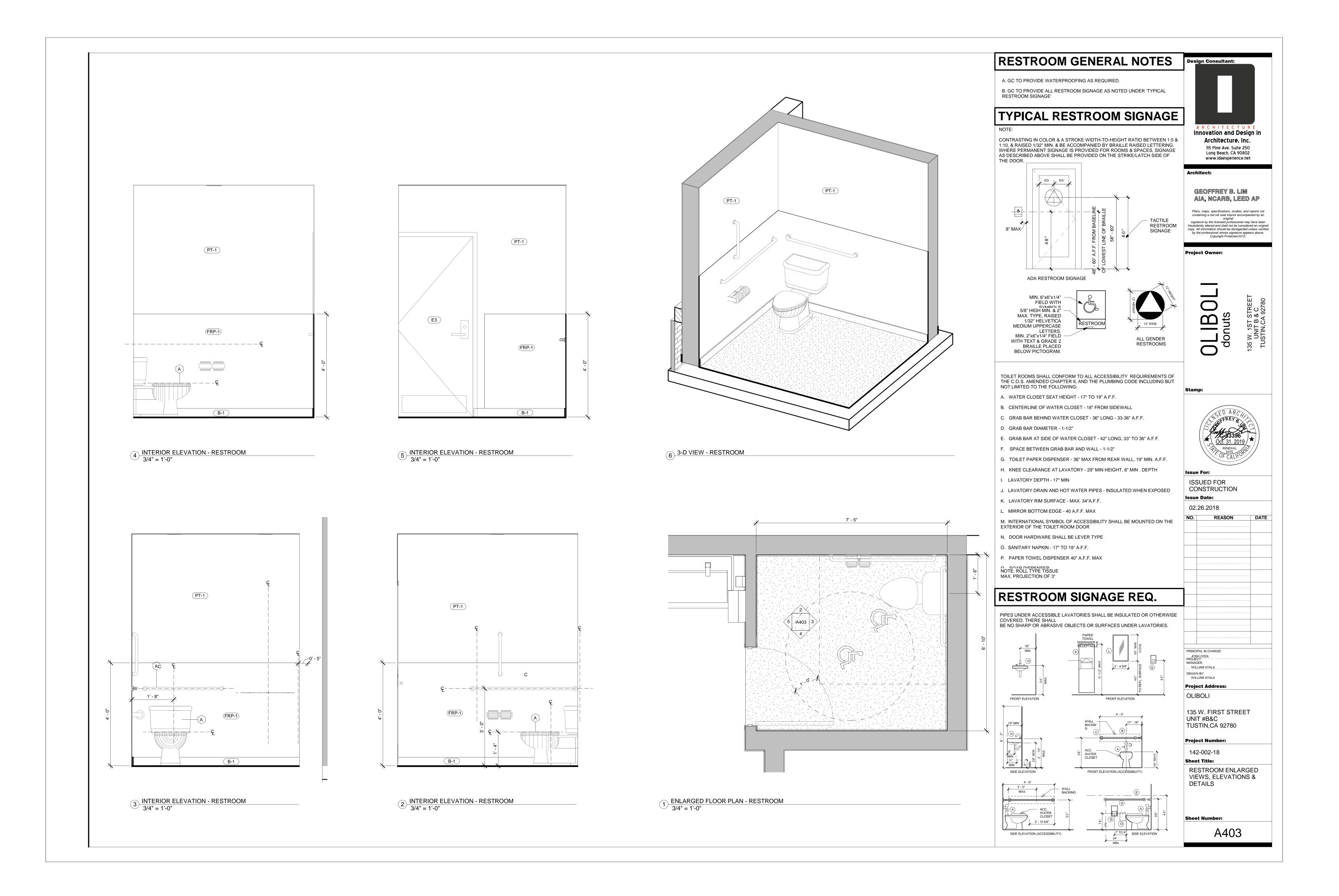
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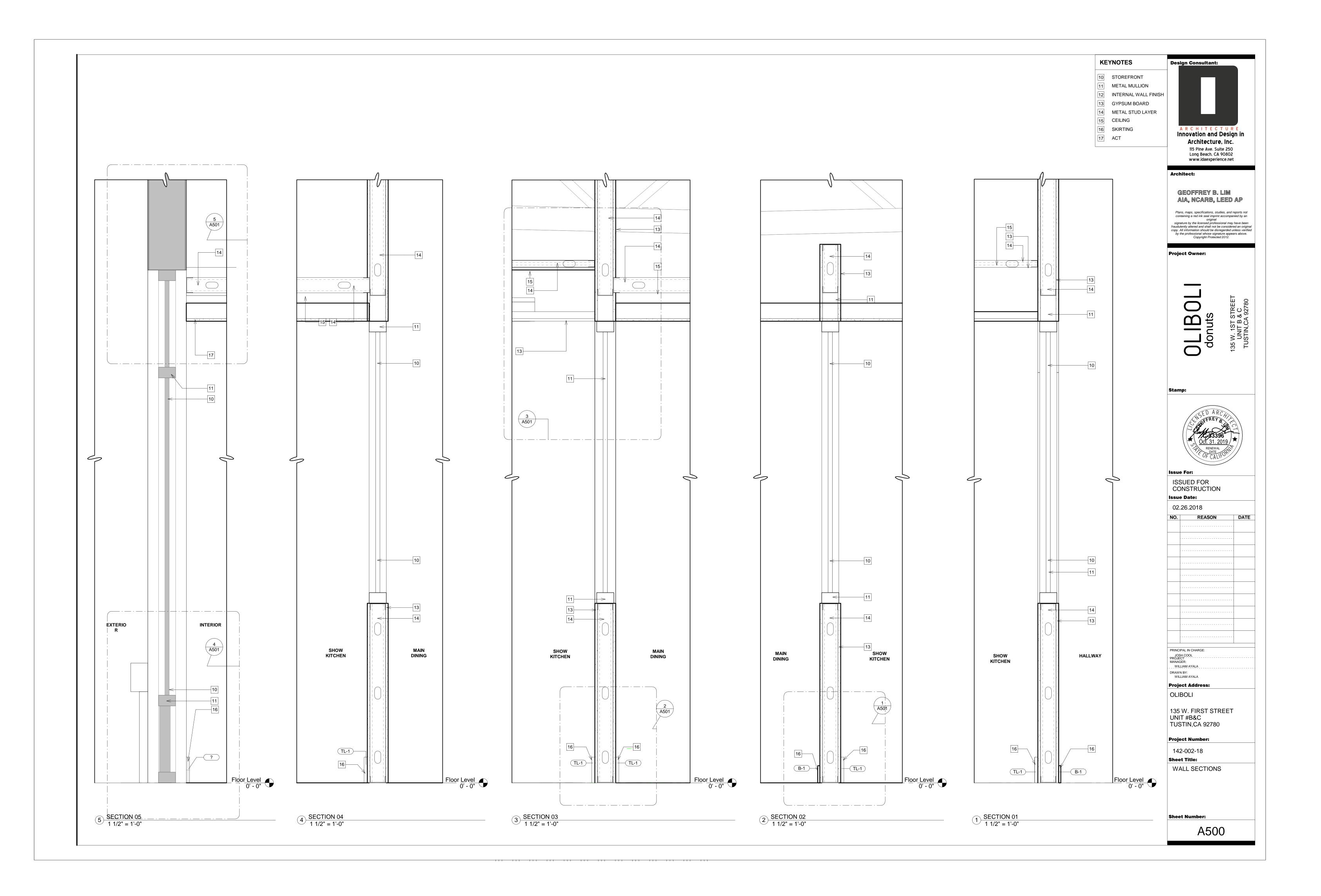
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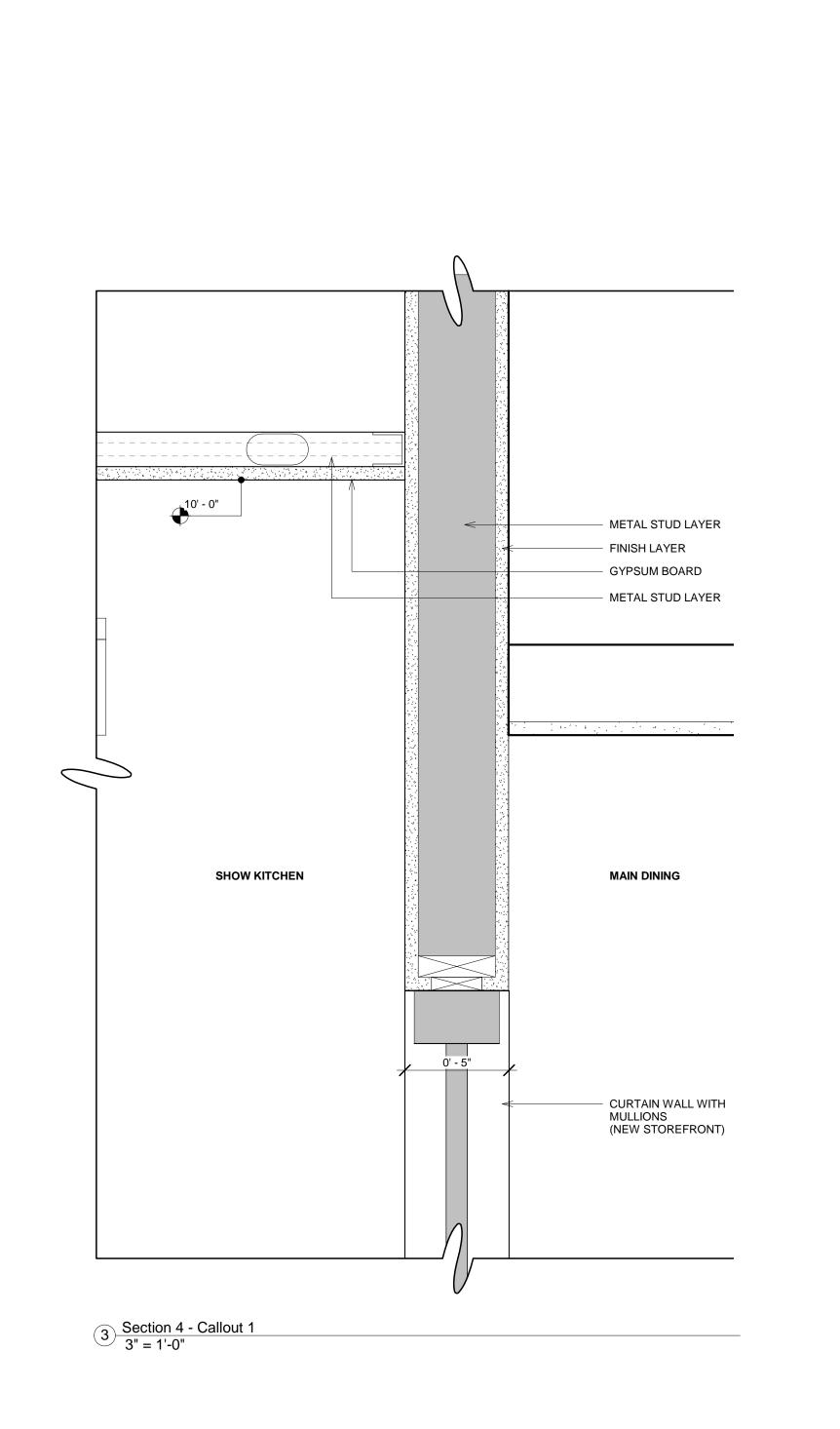
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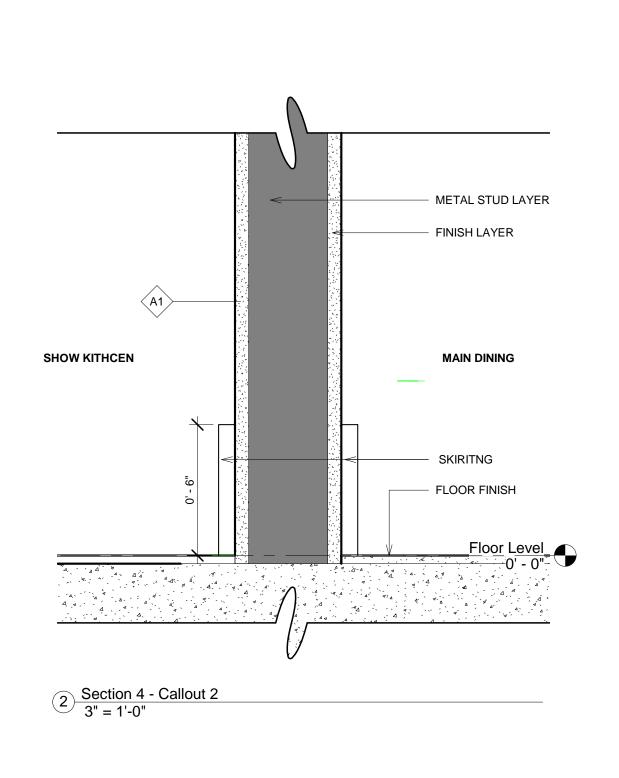
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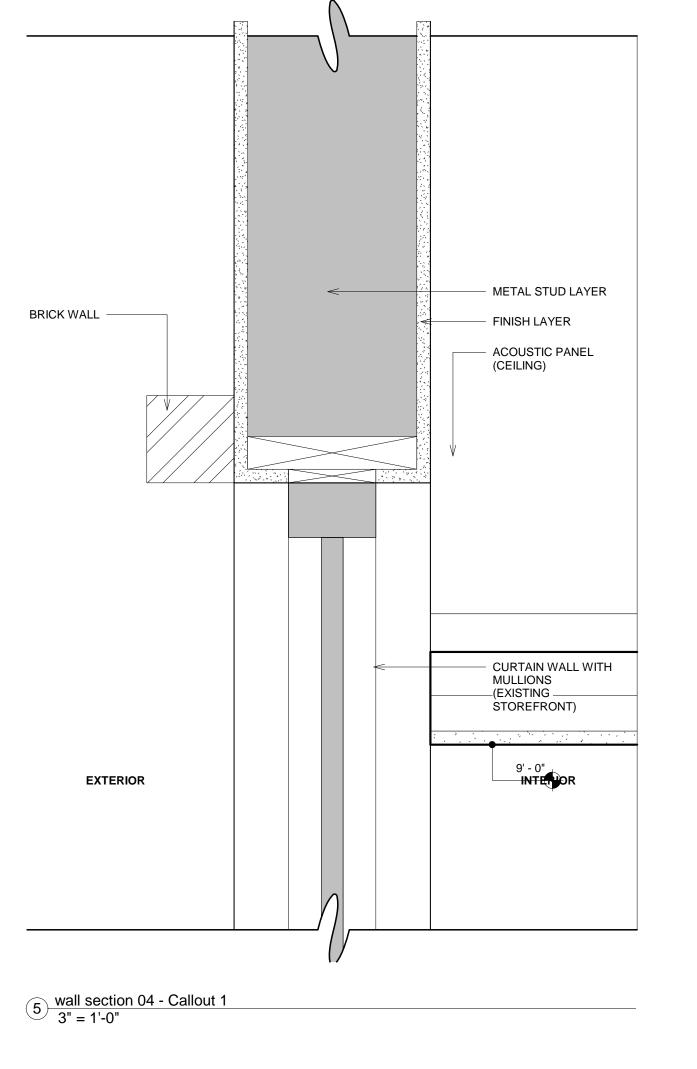
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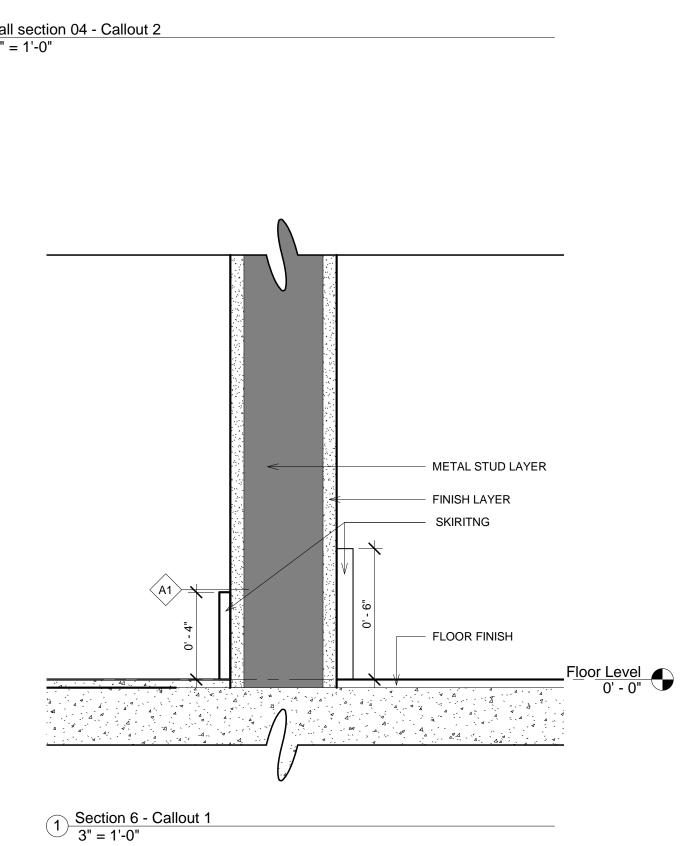


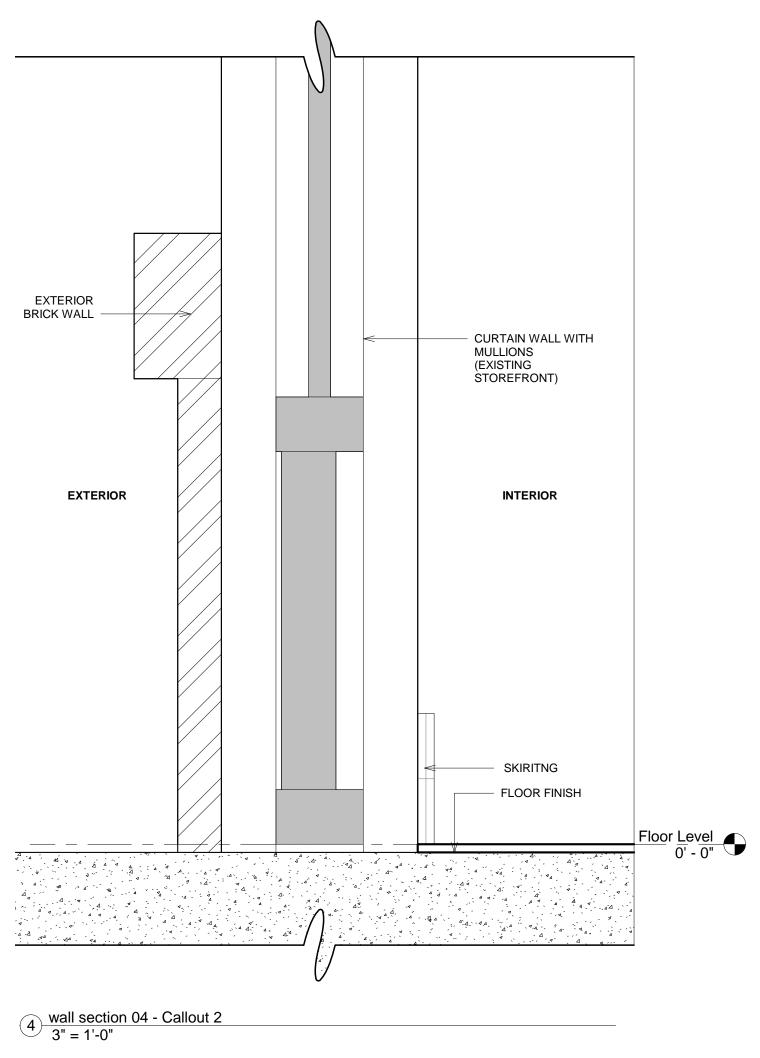


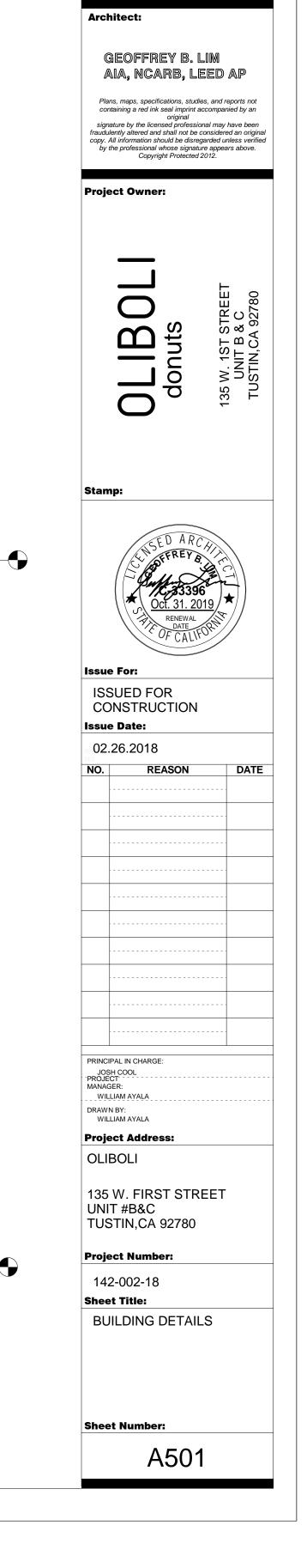






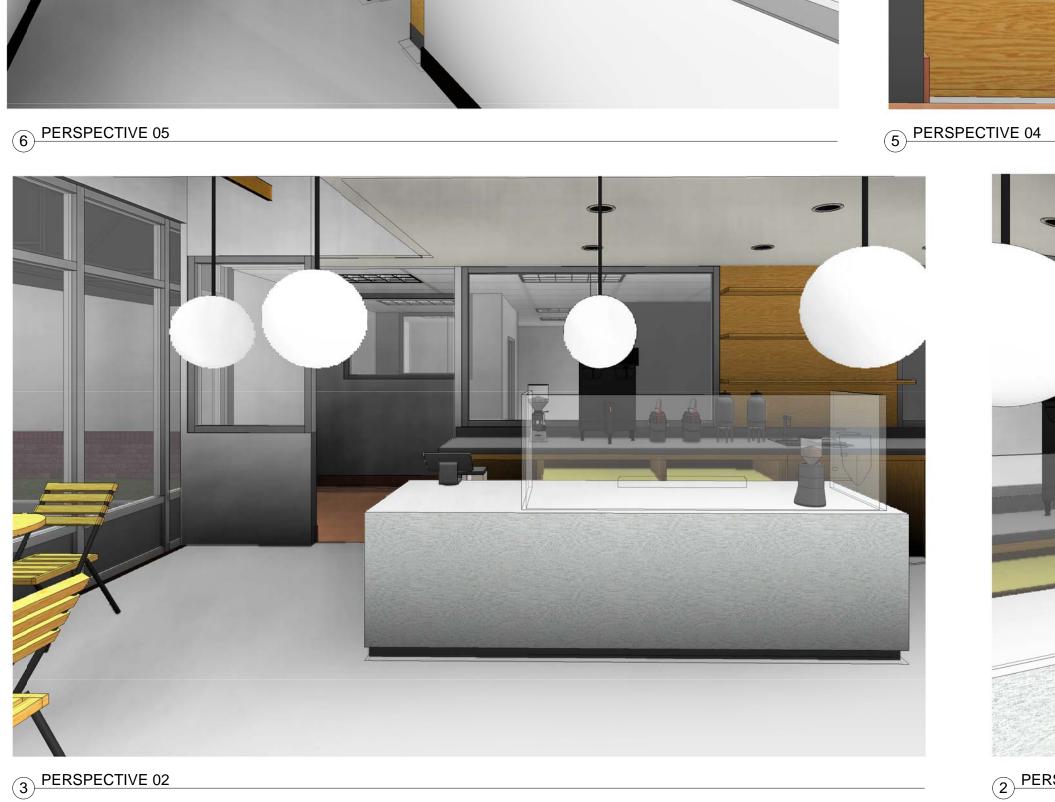




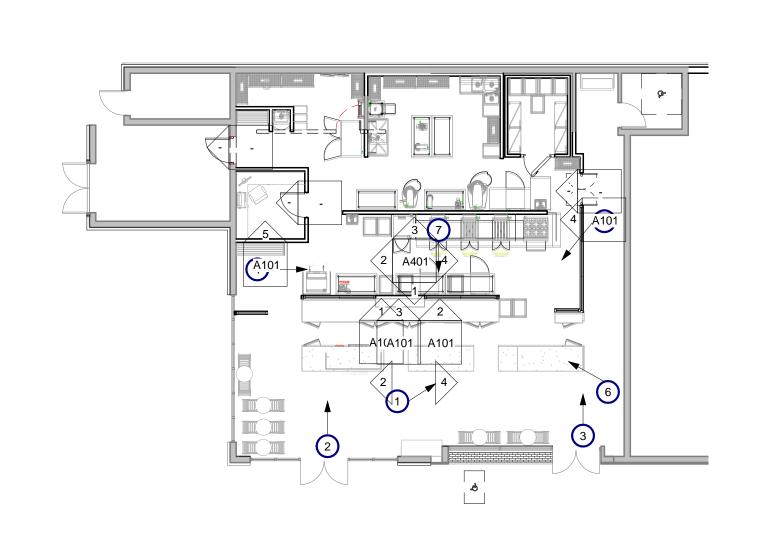


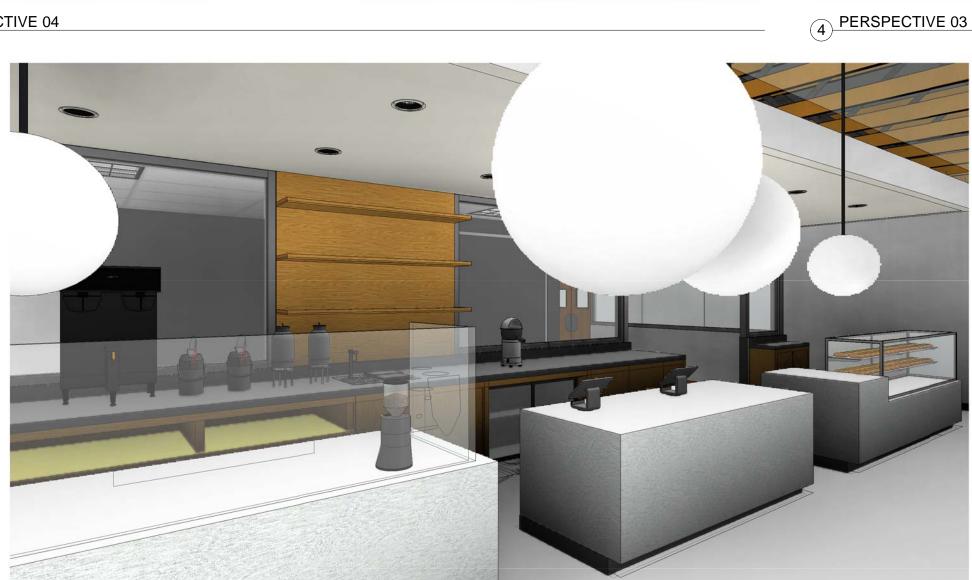
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1 KEYPLAN 3/32" = 1'-0"

8 PERSPECTIVE 07



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JOSH COOL PROJECT MANAGER: WILLIAM AYALA

DRAWN BY: WILLIAM AYALA

OLIBOLI

Project Address:

142-002-18

135 W. FIRST STREET UNIT #B&C TUSTIN,CA 92780

PROPOSED PERSPECTIVE VIEWS

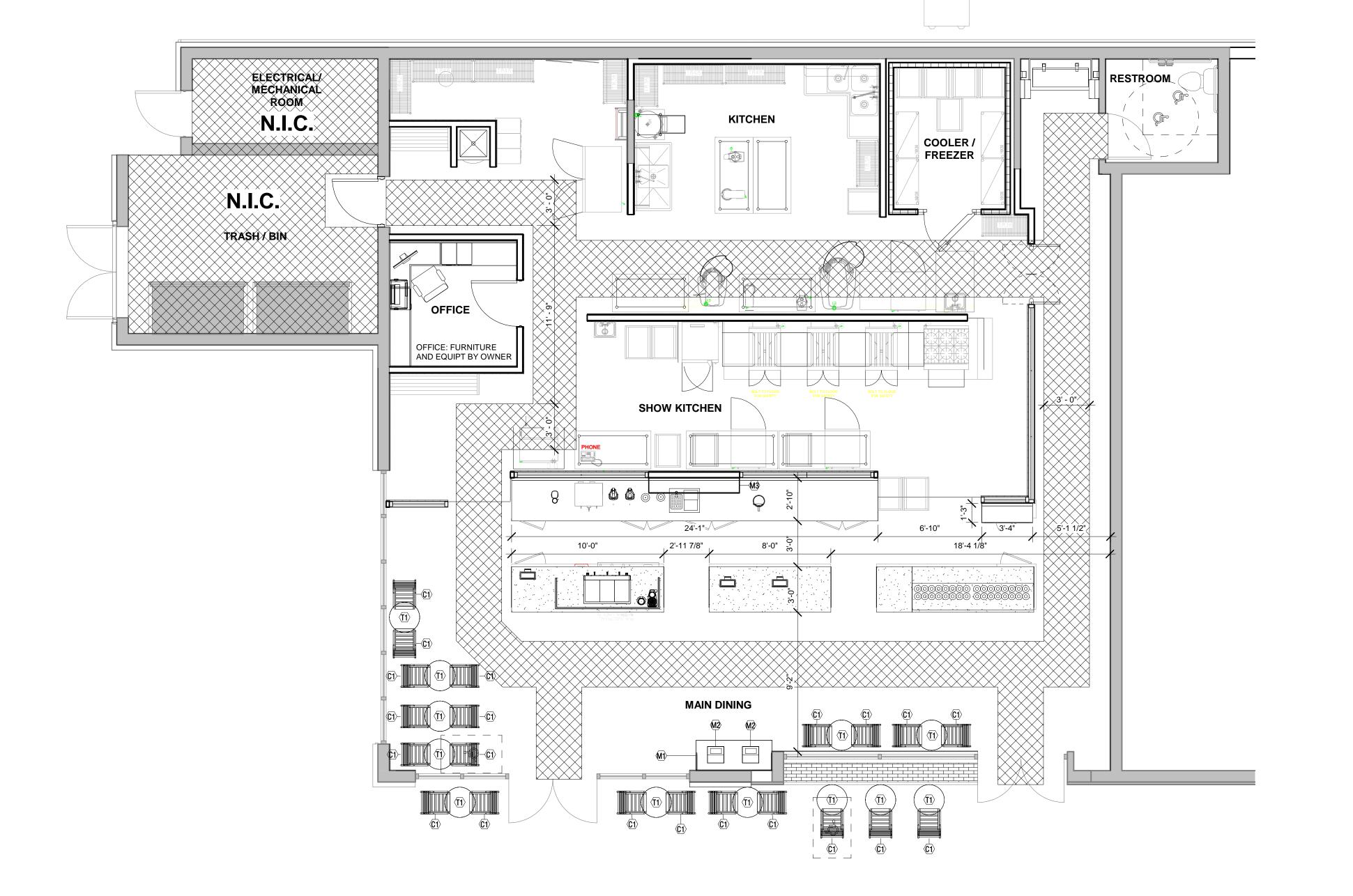
A600

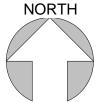
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ARCHITECTURE
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			SEATING		TABLES	
TW	DESCRIPTION	QTY. MANUFACTURER & REPRESENTATIVE CONTACT	MODEL	SEAT	TABLE TOP	TABLE BASE
C1	FOLDER CHAIRS	21 TBD	TBD	TBD		
M1	CONDIMENT SHELF	1 TBD	TBD			
M2	TRASH CANS	2 TBD	TBD			
M3	SHELVES	1 TBD	TBD			
T1	FOLDING TABLES	12 TBD	TBD		TBD	TBD

MATERIA	AL SCHEDULE - FLOOR FINISH					
MARK	DESCRIPTION	MANUFACTURER	MODEL	EST. LEAD TIME	FLAME SPREAD	COMMENTS -
FRP-1	FIBERGLASS REINFORCED PLASTIC	MARLITE	WHITE, PEBBELED		CLASS C	ВОН
PT-1	OFF WHITE PAINT	SHERWIN WILLIAMNS	WHITE DOVE OC-17			DINING AND RESTROOM
TL-1	TILE	DALTILE	RED BLAZE QUARRY TILE			ВОН
Х						
Z	Delta Chrome	Delta Faucet	Chrome			





FIXTURE PLAN GENERAL NOTES

A. ALL LOOSE & FIXED FURNITURE ARE PROVIDED BY OWNER / OWNERS VENDOR. GC TO PROVIDE RECEIVING, ASSEMBLING AND INSTALLATION OF LOOSE & FIXED FURNITURE. GC TO PROVIDE CONSTRUCTION DUMPSTER UNTIL AFTER INSTALLATION OF FURNITURE AND PROVIDE THE REMOVAL OF ALL PACKING CARBOARD AND RECYCLABLE MATERIALS ASSOCIATED WITH PACKAGING OF ALL FF&E AS NECESSARY.

B. ALL EQUIPMENT IS PROVIDED BY OWNER OR KITCHEN EQUIPMENT VENDOR. G.C. TO COORDINATE DELIVERY AND PROVIDE UTILITY CONNECTIONS.

C. REFER TO KITCHEN EQUIPMENT SHEETS & EQUIPMENT CUT SHEETS FOR ALL

FOODSERVICE EQUIPMENT LOCATIONS, IDENTITY & SCHEDULE. D. GC TO PROVIDE PRE-CLEANING OF THE ENTIRE BUILDING, PRIOR TO THE KITCHEN

EQUIPMENT & FURNITURE BEING INSTALLED.

FIXTURE PLAN LEGEND

SHALL BE 44".

E. GC TO PROVIDE "DUST FREE" CLEANING OF THE ENTIRE STORE FOLLOWING KITCHEN EQUIPMENT INSTALLATION.

F. GC TO PROVIDE FOR REMOVAL AND REPLACEMENT OF STOREFRONT AS REQUIRED FOR MOVING IN THE LARGER FOOD SERVICE EQUIPMENT.

G. GC TO COORDINATE ON ALL P.O.S. WITH OWNER AND VENDOR FOR REQUIREMENTS H. FIXTURE INSTALL TO BE UNDER SEPARATE PERMIT WHERE REQUIRED BY LOCAL

JURISDICTION. I. FIXTURE MANUFACTURER(S) TO VERIFY REQUIREMENTS AND TO PROVIDE DRAWINGS AND ENGINEERING IF REQUIRED.

J. MINIMUM AISLE WIDTH BETWEEN FIXTURES SHALL BE 36". MINIMUM EXIT AISLE WIDTH

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Project Owner:

Design Consultant:

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OLIB0L donuts

48"X48" CLEAR FLOOR SPACE FOR ADA DOOR PUSH

36" CLEAR ADA PATH OF TRAVEL

ACCESSIBLE TABLE WITH ADA LOGO

54"X60" CLEAR FLOOR SPACE FOR ADA

INDICATES LOCATION OF

30"X48" CLEAR FLOOR SPACE FOR ADA AT SEATING & RESTROOM

FIXTURES

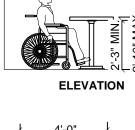
SEATING CAPACITY

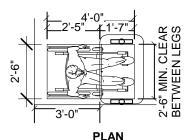
SEATING CAPACITY

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02.26.2018

ACCESSIBLE SEATING DETAIL





CAPACITY OF SEATING IN ASSEMBLY AREAS: 24 X 5% = 1.2 ACCESSIBLE SEATS REQUIRED 2 ACCESSIBLE SEATS PROVIDED

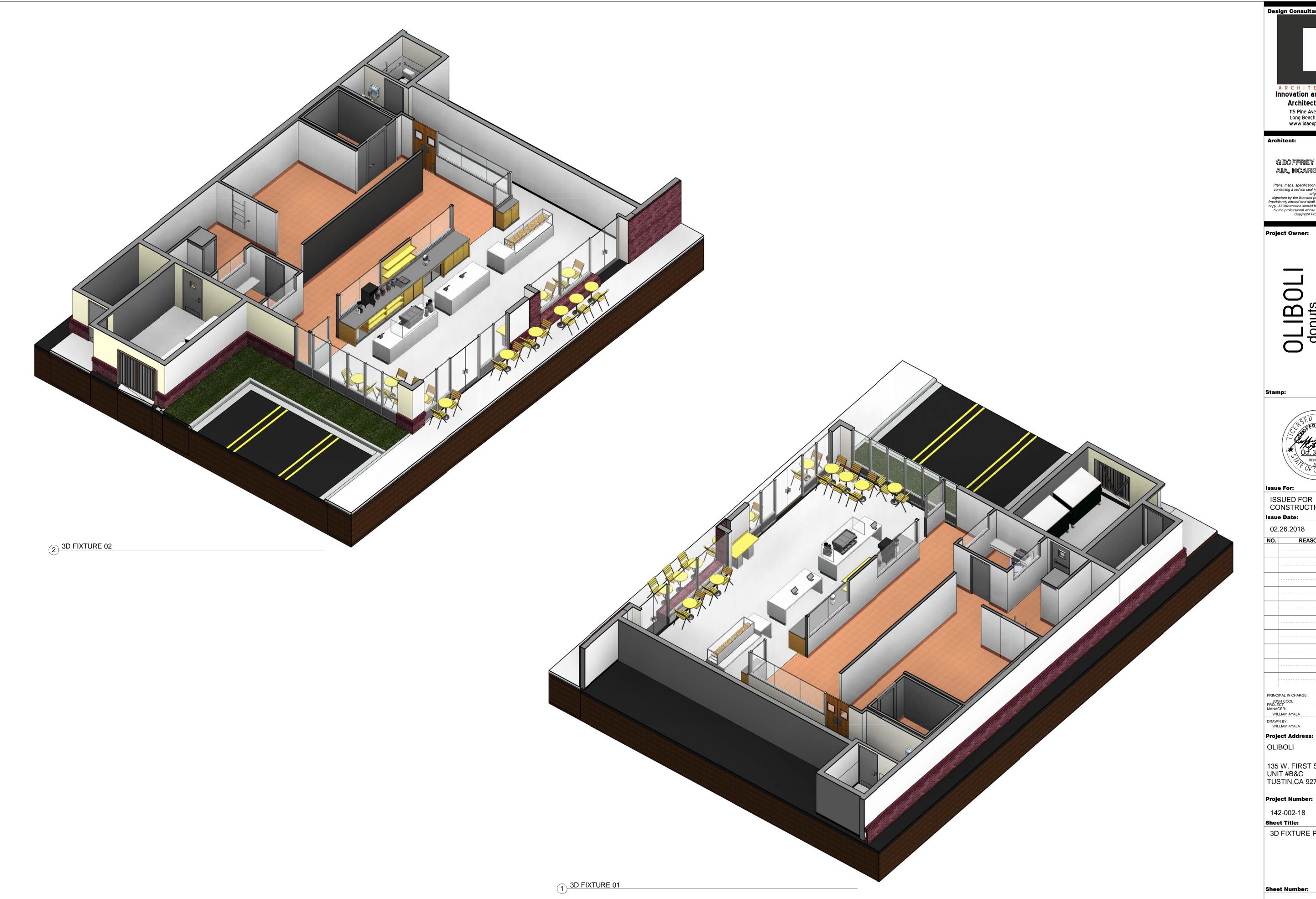
JOSH COOL PROJECT MANAGER: WILLIAM AYALA WILLIAM AYALA OLIBOLI

135 W. FIRST STREET UNIT #B&C TUSTIN,CA 92780

142-002-18 FURNITURE CASEWORK

AF100

1) FIXTURE PLAN 1/4" = 1'-0"





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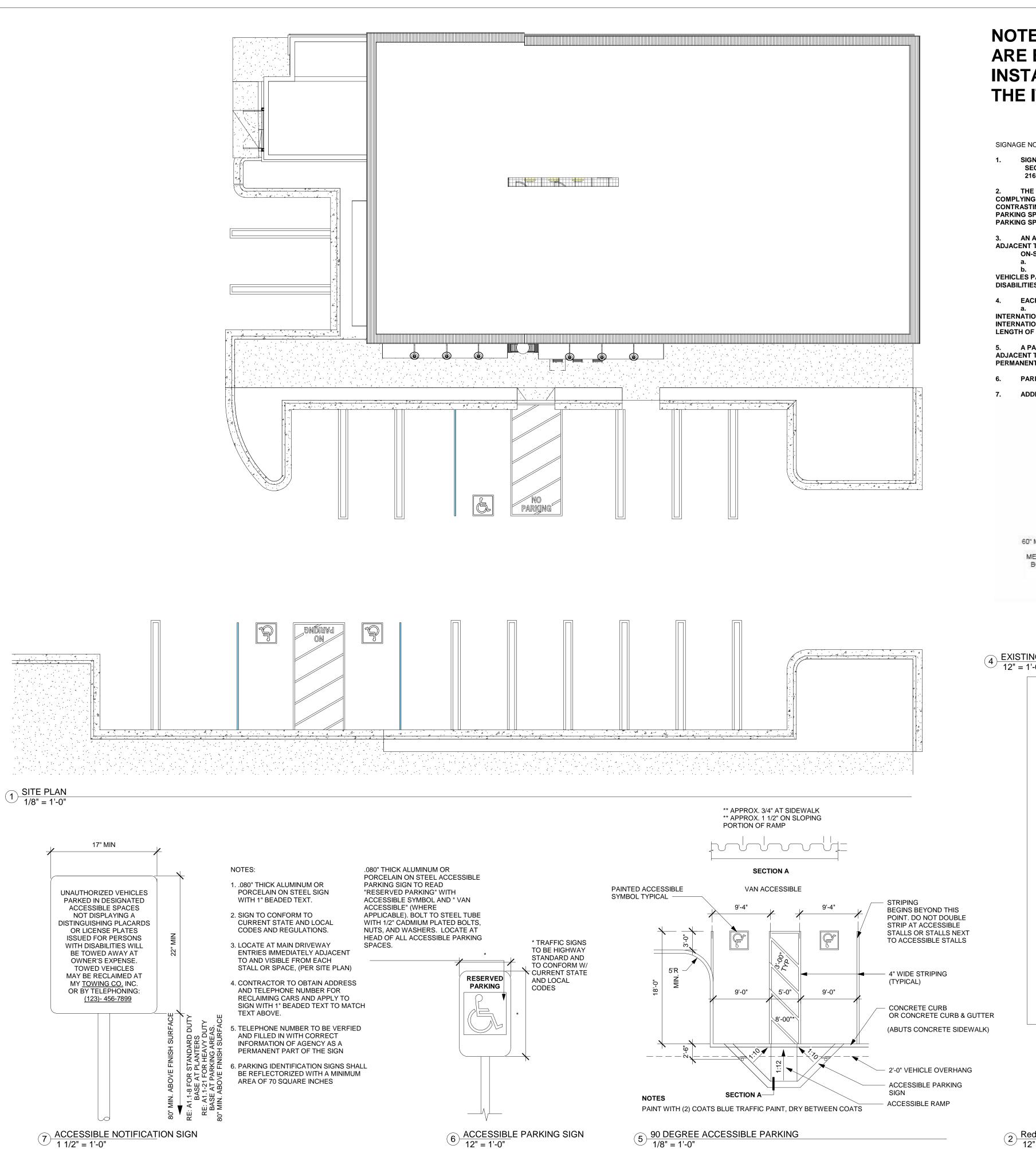
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3D FIXTURE PLAN

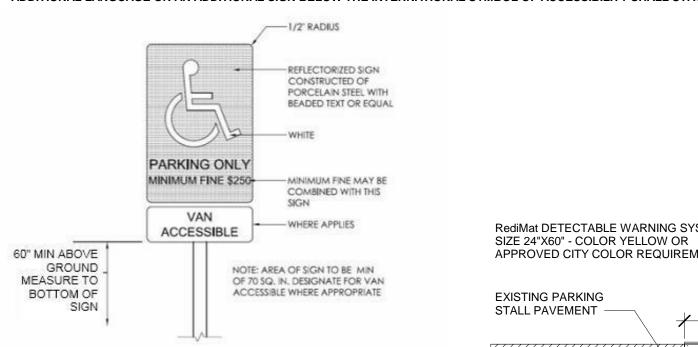
AF101

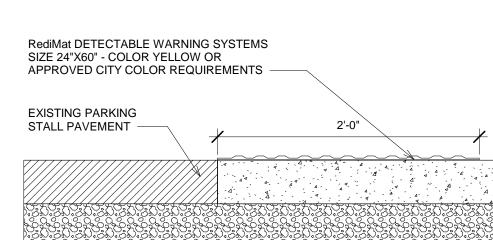


NOTE: ALL EXTERIOR ACCESSIBLE DETAILS AND CONDITIONS ARE EXISTING. GC TO VERIFY ALL CONDITIONS AND PROVIDE & INSTALL ANY REQUIRED ITEMS AS LISTED ON THESE SHEETS IN THE ITEMS NOTED BELOW

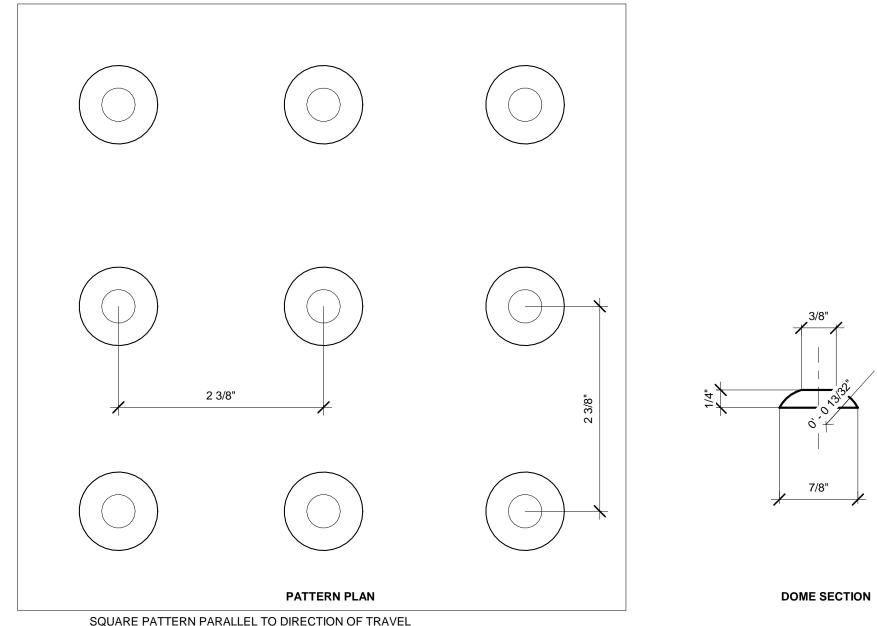
SIGNAGE NOTES:

- SIGNS INTENDED FOR USE BY PEDESTRIANS WITHIN PARKING FACILITIES, INCLUDING DIRECTIONAL OR INFORMATIONAL SIGNS INDICATING PARKING SECTIONS OR LEVELS, SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 11B-
- 2. THE PARKING SPACE SHALL BE OUTLINED IN BLUE OR PAINTED BLUE AND SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH IN WHITE OR A SUITABLE CONTRASTING COLOR. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE. §11B-502.6.4.2
- 3. AN ADDITIONAL SIGN SHALL BE POSTED EITHER; 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR 2) IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE. §11 B-502.8
- THE ADDITIONAL SIGN SHALL NOT BE LESS THAN 17 INCHES WIDE BY 22 INCHES HIGH. §11B-502.8.1 THE ADDITIONAL SIGN SHALL CLEARLY STATE IN LETTERS WITH A MINIMUM HEIGHT OF 1 INCH THE FOLLOWING: §11B-502.8.2 "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: OR BY TELEPHONING __"
- EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE SURFACE IDENTIFICATION COMPLYING WITH EITHER OF THE FOLLOWING SCHEMES:§11B-502.6.4 a. THE PARKING SPACE SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON A BLUE BACKGROUND A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE LENGTH. §11 B-502.6.4.1
- 5. A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE. §11 B-502.6.3
- PARKING IDENTIFICATION SIGNS SHALL BE REFLECTORIZED WITH A MINIMUM AREA OF 70 SQUARE INCHES. §11 B-502.6.1
- ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250." §11B-502.6.2





4 EXISTING ACCESSABLE PARKING SIGNAGE - FOR REFERENCE ONLY 1/2" = 1'-0" FLUSH MTD DETECTABLE PAVER DETAIL 1/2" = 1'-0"



SQUARE PATTERN PARALLEL TO DIRECTION OF TRAVEL

- A. MATERIAL USED SHALL BE OF VISUAL CONTRAST (LIGHT ON DARK / DARK ON LIGHT) TO THE ADJOINING SURFACE AND SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
- B. WARNING SURFACE TO BE FIRM AND SLIP RESISTANT, MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING
- SURFACES: NATURAL STONE OR STONE COMPOSITE, CERAMIC TILE, DURABLE PRECAST CONCRETE SCALES, RIGID OR FLEXIBLE COMPOSITES.
- C. FASTEN ALL SURFACE MOUNTED APPLICATIONS IN STRICT ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. D. REFER TO ADA ACCESSIBILITY GUIDELINES SECTION 4.29 FOR SPECIFICATIONS AND INSTALLATION DETAILS.
- VERTICAL TRANSITIONS DUE TO INSTALLATION TO COMPLY WITH ALL APPLICABLE ADAAG SPECIFICATIONS. E. INSTALL IN 36" PANEL DEPTHS, THIN-SET INSTALLATION. INSTALL PANEL JOINTS WITH AN ELASTOMERIC JOINT SEALANT.
- RediMat DETECTABLE WARNING SYSTEMS TRUNCATED DOMES



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PRINCIPAL IN CHARGE JOSH COOL PROJECT WILLIAM AYALA WILLIAM AYALA **Project Address:**

135 W. FIRST STREET UNIT #B&C TUSTIN,CA 92780

142-002-18 Sheet Title: SITE PLAN

NORTH

OLIBOLI

AS100