

OLIBOLI donuts

RESTAURANT TENANT IMPROVEMENT

135 W. FIRST STREET
UNIT #B&C
TUSTIN, CA 92780



Sheet Number	Sheet Name	Current Revision Date	Current Revision
COVER SHEETS			
CS000	COVER SHEET		
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CS200	ACCESSIBILITY NOTES		
CS201	ACCESSIBILITY NOTES & DETAILS		
CS202	ACCESSIBILITY NOTES & DETAILS		
CS300	GENERAL NOTES		
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CS302	GENERAL NOTES		
CS400	CALIFORNIA GREEN BUILDING STANDARDS		
CS401	CALIFORNIA GREEN BUILDING STANDARDS		
CS402	CALIFORNIA GREEN BUILDING STANDARDS		

Design Consultant:

ARCHITECTURE
Innovation and Design in
Architecture, Inc.
115 Pine Ave. Suite 250
Long Beach, CA 90802
www.idaexperience.net

Architect:

GEOFFREY B. LIM
AIA, NCARB, LEED AP

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Project Owner:

OLIBOLI donuts
135 W. 1ST STREET
UNIT B & C
TUSTIN, CA 92780

Sheet Number	Sheet Name	Current Revision Date	Current Revision
SITE			
AS100	SITE PLAN		
DEMOLITION			
DM100	DEMOLITION FLOOR PLAN		
DM200	DEMOLITION REFLECTED CEILING PLAN		
FIXTURE			
AF100	FURNITURE CASEWORK PLAN		
AF101	3D FIXTURE PLAN		
ARCHITECTURE			
A100	DOOR & HARDWARE SCHEDULE		
A101	WINDOW SCHEDULE		
A102	FLOOR PLAN - DIMENSIONED & NOTED		
A103	WALL PARTITIONS		
A104	FLOOR FINISH PLAN & TRANSITION DETAILS		
A200	REFLECTED CEILING PLAN - DIMENSIONED		
A201	REFLECTED CEILING PLAN - NOTED		
A202	REFLECTED CEILING PLAN - DETAILS		
A203	ROOF PLAN		
A300	BUILDING SECTIONS		
A301	BUILDING SECTIONS		
A302	EXTERIOR ELEVATIONS		
A400	BUILDING SECTIONS / INTERIOR ELEVATIONS		
A401	BUILDING SECTIONS / INTERIOR ELEVATIONS		
A402	BUILDING SECTIONS / INTERIOR ELEVATIONS		
A403	RESTROOM ENLARGED VIEWS, ELEVATIONS & DETAILS		
A500	WALL SECTIONS		
A501	BUILDING DETAILS		
A600	PROPOSED PERSPECTIVE VIEWS		

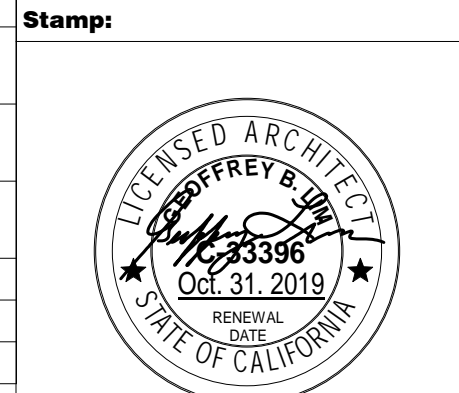
Sheet Number	Sheet Name	Current Revision Date	Current Revision
STRUCTURAL			
S-1	Structural Details		
S-2	General Structural Notes & Roof Framing Plan		

Sheet Number	Sheet Name	Current Revision Date	Current Revision
KITCHEN			
FS-1	Food Service Equipment Plan		
FS-2.1	Food Service Schedule Plan		
FS-3	Food Service Floor Sink Layout		
FS-3.1	Food Service Gas & Plumbing Plan		
FS-4	Food Service Electrical Plan		
FS-5	Food Service Wall Backing Plan		
FS-6	Food Service Details		
FS-H.1	Food Service Hood Details		
FS-H.2	Food Service Hood Details		
FS-H.3	Food Service Hood Details		
WI-1	Walk - IN Drawings		
WI-2	Walk - IN Drawings		
WI-3	Walk - IN Drawings		

Sheet Number	Sheet Name	Current Revision Date	Current Revision
PLUMBING			
P-1	Plumbing Specs, Details & Notes		
P-2	Site Plumbing Plan		
P-3	Waste & Vent Plumbing Floor Plan		
P-4	Waste & Vent Isometric Piping Plan		
P-5	Water & Gas Piping Plumbing Floor Plan		
P-6	Water & Gas Isometric Piping Plan		
MECHANICAL			
M-1	Mechanical Specs, Details & Notes		
M-2	Mechanical Plan, Details		
M-3	Mechanical Roof Plan		
M-4	Exhaust Hood Requirements		
M-5	Exhaust Hood Requirements		
M-6	Exhaust Hood Requirements		

Sheet Number	Sheet Name	Current Revision Date	Current Revision
ELECTRICAL			
E0.1	Electrical Specifications		
E0.2	Electrical Power Plan		
E0.3	Electrical Lighting Plan		
E1.1	Electrical Roof Plan		
E1.2	Electrical Note Sheet		
E1.3	Title 24 Calculations		
E2.1	Title 24 Calculations		
E2.2	Equipment List		

Grand total: 70



Issue For:
ISSUED FOR CONSTRUCTION

Issue Date:
02.26.2018

NO.	REASON	DATE

PRINCIPAL IN CHARGE: GEOFFREY B. LIM
PROJECT MANAGER: WILLIAM AYALA
DRAWN BY: WILLIAM AYALA

Project Address:
OLIBOLI
135 W. FIRST STREET
UNIT #B&C
TUSTIN, CA 92780

Project Number:
142-002-18

Sheet Title:
COVER SHEET

Sheet Number:
CS000

DESCRIPTION OF WORK	PROJECT DATA	DEFERRED SUBMITTALS
INTERIOR TENANT IMPROVEMENT BUILD OUT OF EXISTING SHELL. BUILD OUT INCLUDES FRONT KITCHEN LINE, BACK OF HOUSE KITCHEN, AND DINING ROOM. 2016 CPC section that has the exception to allow a single bathroom (#3)	SQUARE FOOTAGE INTERIOR: 2,406SF EXTERIOR (PATIO): 63 SF TOTAL: 2,469 SF BUILDING CODE DATA SEE SHEET A0.1	SEATING INTERIOR: 12 SEATS EXTERIOR (PATIO): 12 SEATS TOTAL: 24 SEATS DOCUMENTS FOR DEFERRED SUBMITTALS ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL SHALL NOT BE INSTALLED UNTIL THE DEFERRED HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTAL: 1. FIRE SUPPRESSION (SPRINKLER SYSTEM) 2. FIRE ALARM AND PA SYSTEM 3. SIGNAGE GC TO COORDINATE WITH LL FOR ALL REQUIRED VENDORS AS APPLICABLE

ABBREVIATIONS		REGULATORY AGENCIES	
A.C.T.	ACOUSTICAL CEILING TILE	PLANNING DEPARTMENT:	CITY OF TUSTIN 300 CENTENNIAL WAY TUSTIN, CA 92780 (714) 573-3140 TustinPlanning@tustinca.org
A.D.A.	AMERICANS WITH DISABILITIES ACT	FIRE DEPARTMENT:	TUSTIN FIRE DEPARTMENT Division Chief Andy Kovacs Division 4, Battalions 2 & 3 1 Fire Authority Rd. Irvine, CA 92602 AndyKovacs@ocfa.org (714) 258-7892 (714) 259-1320 Fax
ARCH	ARCHITECT(U)RAL	BUILDING DEPARTMENT:	CITY OF TUSTIN 300 CENTENNIAL WAY TUSTIN, CA 92780 (714) 573-3130 TustinBuilding@tustinca.org
BLDG	BUILDING	HEALTH DEPARTMENT:	ORANGE COUNTY PUBLIC HEALTH DEPARTMENT Environmental Health Division 1241 East Dyer Road, Suite 120 Santa Ana, CA 92705 (714)433-6000
BD	BOARD	PROJECT DIRECTORIES	
BLKG	BLOCKING	OWNER OLIBOLI DOUGHNUTS 135 W. FIRST STREET UNIT #B&C TUSTIN, CA 92780	INTERIOR LANDSCAPING OWNER'S VENDOR
CPT	CARPET	SECURITY OWNER'S VENDOR	ARCHITECT INNOVATION AND DESIGN IN ARCHITECTURE, INC Architect of Record: Geoff Lim Project Manager: Josh Cool 218 The Promenade North Long Beach, CA 90802 T. 562.206.7720 Brenda@idaexperience.com
CLR	CLEAR	POS/ DATA OWNER'S VENDOR	KITCHEN DESIGN INNOVATION AND DESIGN IN ARCHITECTURE, INC
CONC	CONCRETE	AUDIO OWNER'S VENDOR	KITCHEN EQUIPMENT BY OWNERS VENDOR
CONSTR	CONSTRUCTION	FURNITURE BY OWNER'S VENDOR	MEP ENGINEERING AND DESIGN TERRY ENGINEERING 14742 NEWPORT AVENUE, SUITE 106 TUSTIN, CA 92780 P. 714.838.1124 E. james@terryengineering.com
CONT	CONTINUOUS / CONTINUATION	SIGNAGE OWNER'S VENDOR	STRUCTURAL Arif And Assos. Irvine California P: 714-838-9898
CMU	CONCRETE MASONRY UNIT	GRAPHICS & ARTWORK OWNER'S VENDOR	STRUCUTRAL Arif And Assos. Irvine California P: 714-838-9898
DEPT	DEPARTMENT	LIGHTING DESIGN & VENDOR BY OWNER'S VENDOR	
DET	DETAIL	GC TO COORDINATE WITH LL FOR ALL REQUIRED ADDITIONAL VENDORS AS APPLICABLE	
DIA	DIAMETER	VICINITY MAP	
DIF	DIFFUSER		
DIM	DIMENSION	SYMBOLS	
DISP	DISPENSER		
DIV	DIVISION		
DN	DOWN		
DR	DOOR		
DSCON	DISCONNECT		
ELEC	ELECTRICAL		
EMBED	EMBEDDED / EMBEDMENT		
ENG	ENGINEER(ED)		
EQ.	EQUAL		
EQUIP	EQUIPMENT		
EXP JT	EXPANSION JOINT		
EXT	EXTERIOR		
FAB	FABRICATION		
FD	FLOOR DRAIN		
FE	FIRE EXTINGUISHER		
FE&C	FIRE EXTINGUISHER & CABINET		
F.F.	FINISH FACE		
FHC	FIRE HOSE CABINET		
FURN	FURNITURE		
GA	GAUGE		

RESTROOM OCCUPANCY CALCULATIONS

TOTAL RESTROOM OCCUPANT LOAD CALCULATION = 32
PLUMBING FIXTURE REQUIREMENTS:

OCCUPANCY	WATER CLOSETS		URINAL	LAVATORIE	
	MALE	FEMALE	S	MALE	FEMALE
32 OCCUPANTS	1	1	1	1	1
50% MALE / 50% FEMALE	1:1-50	1:1-50	1:1-200	1:1-150	1:1-150
16 MALE / 16 FEMALE	1	1	1	1	1
FIXTURES REQUIRED	1	1	1	1	1
FIXTURES PROVIDED	1	1	1	1	1

*PLUMBING OCCUPANCY COUNT BASED ON:

2016 CPC 422.2 (3): IN BUSINESS AND MERCANTILE OCCUPANCIES WITH A TOTAL OCCUPANT LOAD OF 50 OR LASS INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.

BUILDING CODE SUMMARY

FOR ALL COMMERCIAL PROJECTS

Name of Project: **OLIBOLI**
 Address: **135 W. 1ST STREET UNIT B & C TUSTIN, CA 92780**
 Proposed Use: **RESTAURANT**
 Owner or Authorized Agent: **OLIBOLI** Phone #: **XX XX XXX XXX**
 Owned By: City/County Private
 Code Enforcement Jurisdiction: City State County

YEAR EDITION OF CODE:

Building Code: 2016 California Building Code
 Mechanical Code: 2016 California Mechanical Code
 Electrical Code: 2016 California Electrical Code
 Plumbing Code: 2016 California Plumbing Code
 Fire Code: 2016 California Fire Code
 Accessibility Code: 2016 California Building Code (Chapter 11B)

New Construction Renovation (Existing Bldg.) Upfit Alteration Reconstruction

BUILDING DATA

Construction Type: I-A I-B II-A II-B III-A
 III-B V-A V-B V-N
 Mixed Construction: No Yes

BUILDING HEIGHT: 1 STORY EXISTING

Mezzanine: No Yes

High Rise: No Yes

Primary Occupancy: Assembly A-1 A-2 A-3 A-4 A-5

Business Education Factory - Industrial F-1 F-2
 High-Hazard H-1 H-2 H-3 H-4 H-5
 Institutional I-1 I-2 I-3 I-4
 I-3 Use Condition 1 2 3 4 5
 Mercantile Residential R-1 R-2 R-3 R-4
 Storage S-1 S-2 High-piled
 Parking Garage Open Enclosed Repair

Secondary Occupancy: N/A
 Special Occupancy: 508.2 508.3 508.4 508.5 508.6 508.7 508.8
 Mixed Occupancy: No Yes Separation: Hr. Exception:

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes
 Smoke Detection Systems: No Yes
 Panic Hardware: No Yes

STRUCTURAL DESIGN

METHOD OF COMPLIANCE:
 REFER TO STRUCTURAL DRAWINGS

ELECTRICAL SYSTEM AND EQUIPMENT

METHOD OF COMPLIANCE:
 REFER TO ELECTRICAL DRAWINGS

MECHANICAL SYSTEMS, SERVICE SYSTEMS, AND EQUIPMENT

METHOD OF COMPLIANCE:
 REFER TO ELECTRICAL DRAWINGS

ACCESSIBLE PARKING - EXISTING

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE
	D	D	REGULAR WITH 5' ACCESS AISLE	VAN SPACES W/ 8' ACCESS AISLE	
Business	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
TOTAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING

NO CHANGE TO EXISTING BUILDING SYSTEMS

FIRE RESISTANCE RATINGS

CONSTRUCTION TYPE V-B	REQUIRED RESISTANCE RATING
PRIMARY STRUCTURAL FRAME:	0 HOURS
BEARING WALLS - EXTERIOR:	0 HOURS
BEARING WALLS - INTERIOR:	0 HOURS
NON-BEARING WALLS & PARTITIONS / EXTERIOR:	0 HOURS
NON-BEARING WALLS & PARTITIONS / INTERIOR:	0 HOURS
FLOOR CONSTRUCTION:	0 HOURS
ROOF CONSTRUCTION:	

EGRESS OCCUPANCY CALCULATIONS

EGRESS OCCUPANCY LOAD

AREA NAME	AREA	LOAD FACTOR	OCCUPANT LOAD	SEATING OCCUPANTS PER SF
ASSEMBLY AREA	113 SF	15 SF	7.564403	8
ASSEMBLY AREA	105 SF	15 SF	7.012861	8
ASSEMBLY AREA	96 SF	15 SF	6.413056	7
BUSINESS AREA	47 SF	100 SF	0.46903	1
BUSINESS AREA	51 SF	100 SF	0.512196	1
EGRESS	344 SF	0 SF		0
KITCHEN AREA	1113 SF	200 SF	5.566563	6
STORAGE AREA	69 SF	300 SF	0.230266	1

TOTAL EGRESS LOAD CALCULATION = 32

EXIT REQUIREMENTS:

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM # OF EXITS		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS	
	REQUIRED	PROVIDED	ALLOWABLE TRAVEL DISTANCE	DEAD END LIMIT	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE BETWEEN EXIT DOORS
OCCUPIED SPACE	2	3	200'	20'	68'-6" / 3 > or = 22' - 10"	30'-11"

G.C. TO PROVIDE VISIBLE SIGN STATING THE FOLLOWING:
 SIGN TO BE A MINIMUM SIZE OF 8 1/2" x 11"

MAXIMUM OCCUPANTS

32

**135 W. 1ST STREET
 UNIT B & C
 TUSTIN, CA 92780**

OCCUPANCY SIGNAGE MUST COMPLY WITH CBC 1004.3 "Every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space. Posted signs shall be of an approved legible permanent design and shall be maintained by the owner or authorized agent."

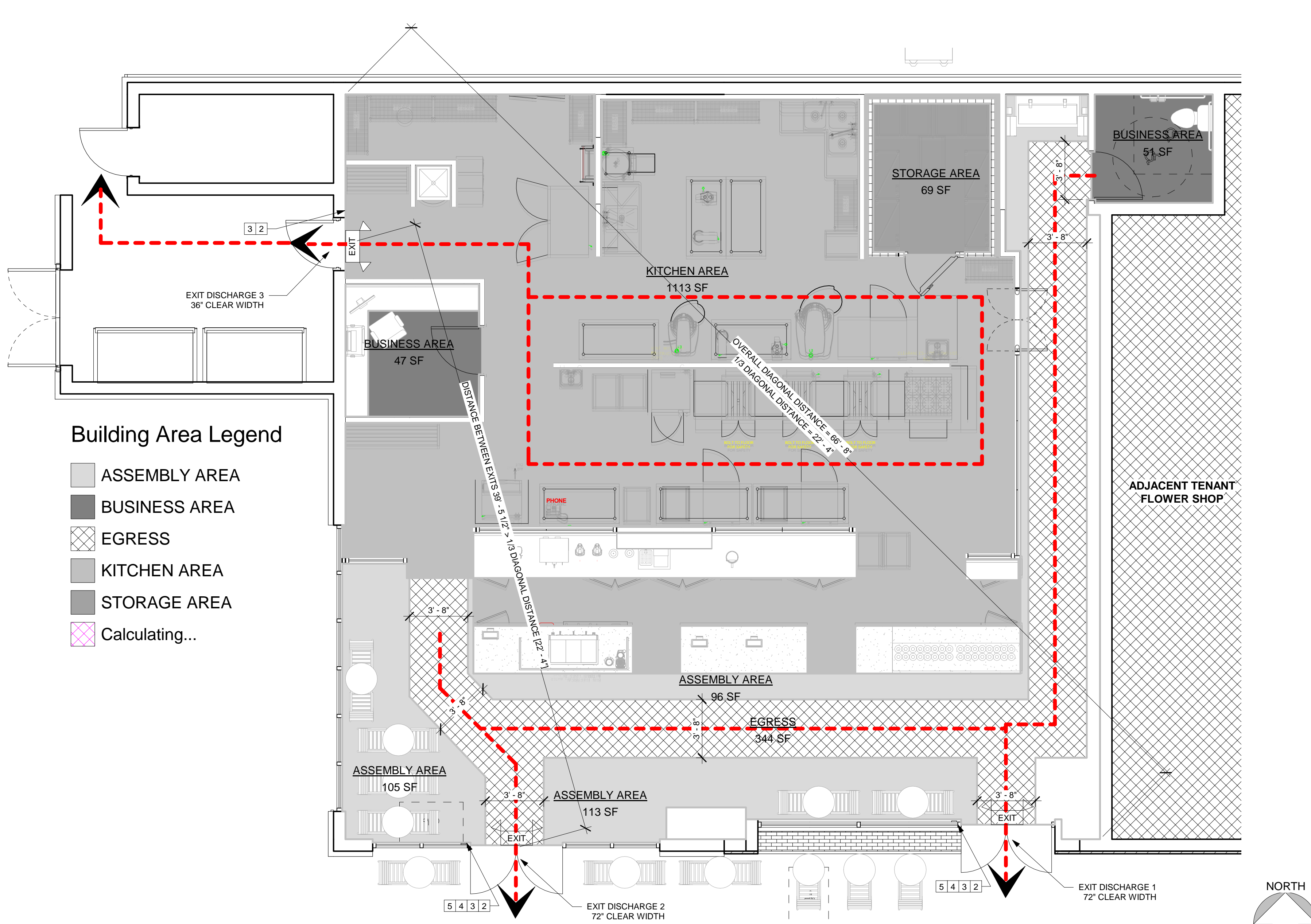
EGRESS PLAN KEY NOTES

- FIRE EXTINGUISHER TYPE 2A:10BC BY G.C. COORDINATE FINAL LOCATION WITH FIRE MARSHAL. LOCATED WITHIN 30 FT OF COOKING AREAS.
- EMERGENCY EXIT SIGNAGE WITH MINIMUM OF 5-FOOT CANDLES ON ILLUMINATED SURFACE. MOUNTED AT 6" ABOVE DOOR FRAME.
- EMERGENCY EXIT LIGHTS: THE EMERGENCY LIGHTING SYSTEM MUST PROVIDE CONTINUOUS ILLUMINATION FOR A MINIMUM OF 90 MINUTES AND COMPLY WITH 2012 NATIONAL ELECTRICAL CODE, EMERGENCY SYSTEM, NFPA 1-1, AND LIFE SAFETY CODE.
- TACTILE EGRESS SIGNAGE TO BE INSTALLED ALONG THE EGRESS ROUTES. SEE DETAILS AND NOTES FOR TACTILE SIGN REQUIREMENTS (HEIGHT AND DETAILS) ON SHEET 3/A0.1
- EVERY ROOM OR SPACE THAT IS AN ASSEMBLY REQUIRES OCCUPANT LOAD SIGN PER CBC 1004.3. SEE 2/A.01 FOR DETAILS.

EGRESS PLAN LEGEND

	CLEAR FLOOR SPACE - EGRESS PATH		EMERGENCY EXIT SIGN
	CLEAR FLOOR SPACE - DOOR OPERATION		EMERGENCY EXIT LIGHT
	EGRESS CLEAR PATH OF TRAVEL CLEARANCES TO BE MAINTAINED AT FIXTURE PLACEMENT		TACTILE EGRESS SIGNAGE

NOTE: DIMENSIONS SHOWN ARE FROM FACE OF FINISH OR EDGES OF OBSTRUCTIONS



Building Area Legend

- ASSEMBLY AREA
- BUSINESS AREA
- EGRESS
- KITCHEN AREA
- STORAGE AREA
- Calculating...

6 Floor Level
 1/4" = 1'-0"

Design Consultant:

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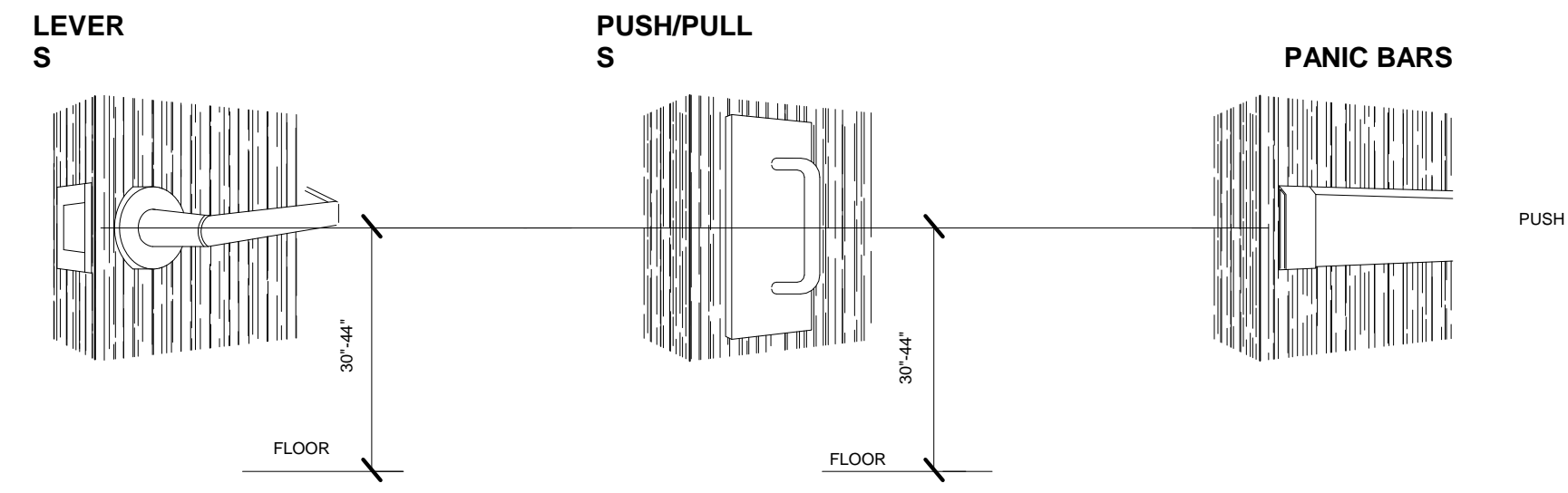
PRINCIPAL IN CHARGE: GEOFFREY B. LIM
 PROJECT MANAGER: WILLIAM AYALA
 DRAWN BY: WILLIAM AYALA

Project Address:
 OLIBOLI
 135 W. FIRST STREET
 UNIT #B&C
 TUSTIN, CA 92780

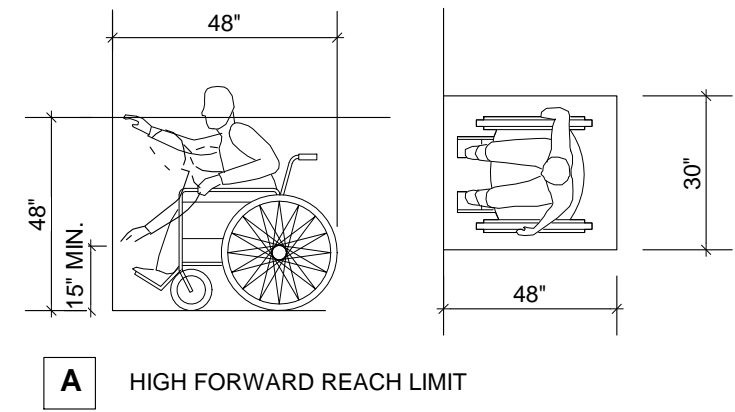
Project Number:
 142-002-18

Sheet Title:
 OCCUPANCY & EGRESS PLAN / CODE SUMMARY

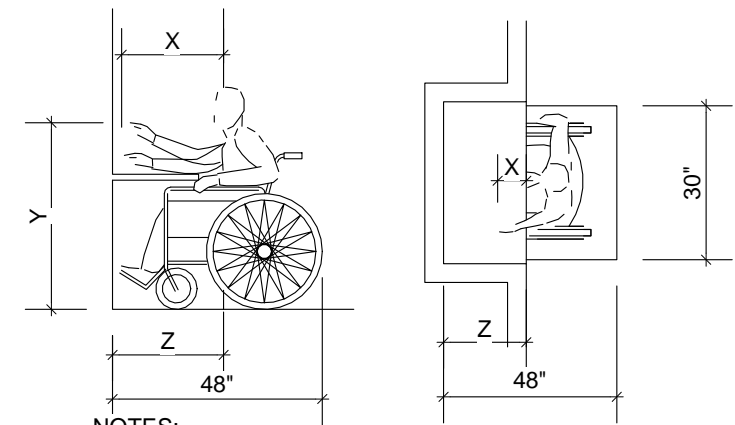
Sheet Number:
CS100



6 DOOR HANDLE
12" = 1'-0"

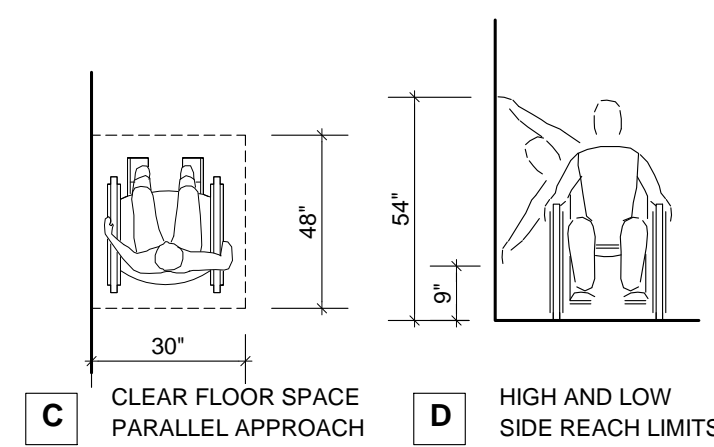


A HIGH FORWARD REACH LIMIT



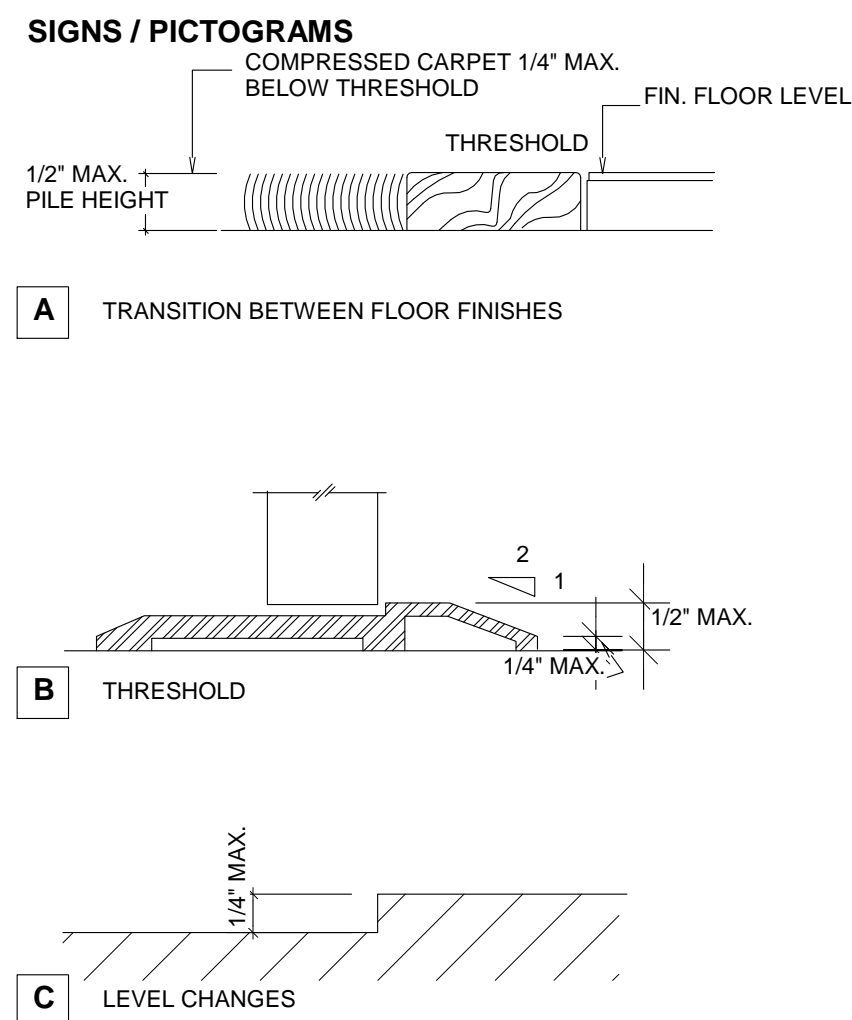
- NOTES:
1. X SHALL BE < 25 INCHES; Z SHALL BE > X.
 2. WHEN X < 20 INCHES, THEN Y SHALL BE 48 INCHES MAXIMUM.
 3. WHEN X IS 20 TO 25 INCHES, THEN Y SHALL BE 44 INCHES MAXIMUM.

B MAXIMUM FORWARD REACH OVER AN OBSTRUCTION



REACH REQUIREMENTS

3 REACH LIMIT
12" = 1'-0"

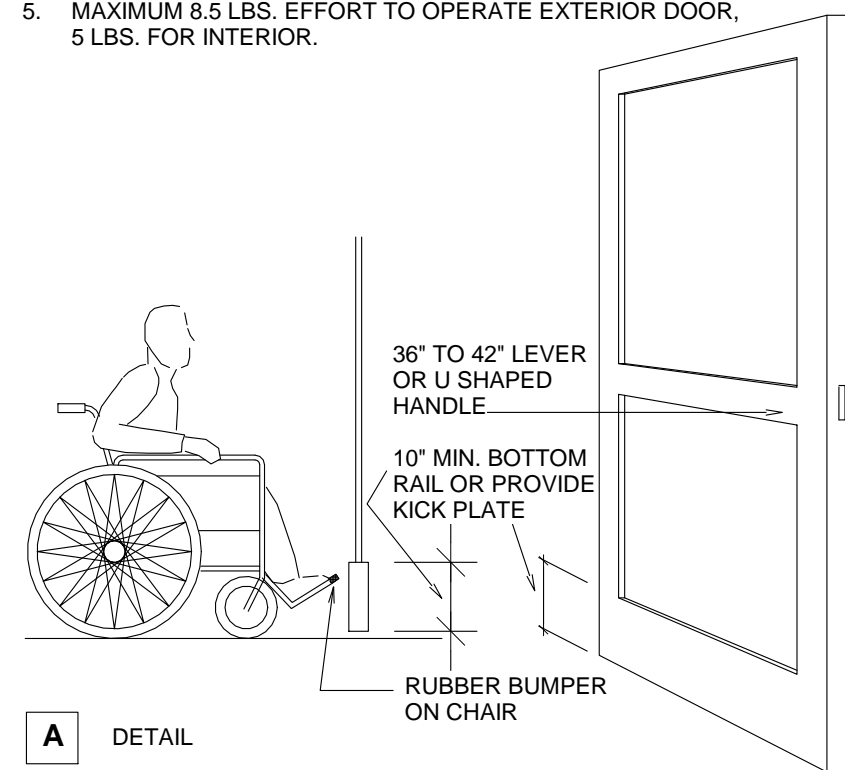


- NOTES:
1. 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE.
 2. 1:2 SLOPED BEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERTICAL LEVEL CHANGE.
 3. 1/4" MAXIMUM VERTICAL LEVEL CHANGE.

THRESHOLDS / LEVEL CHANGES

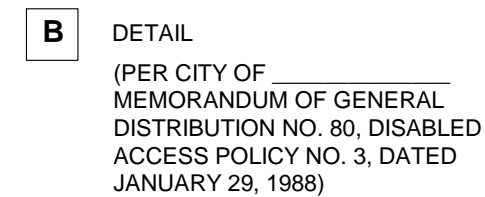
5 THRESHOLD
12" = 1'-0"

- DOOR TYPE:
1. MINIMUM 10" HIGH SMOOTH SURFACE AT DOOR BOTTOM, EITHER ATTACHED PANEL OR BOTTOM RAIL.
- HARDWARE:
2. OPENABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.
 3. OPENABLE BY SINGLE EFFORT LEVER-TYPE DEVICE (NOT REQUIRING GRASPING).
 4. MOUNTED 36" TO 42".
 5. MAXIMUM 8.5 LBS. EFFORT TO OPERATE EXTERIOR DOOR, 5 LBS. FOR INTERIOR.



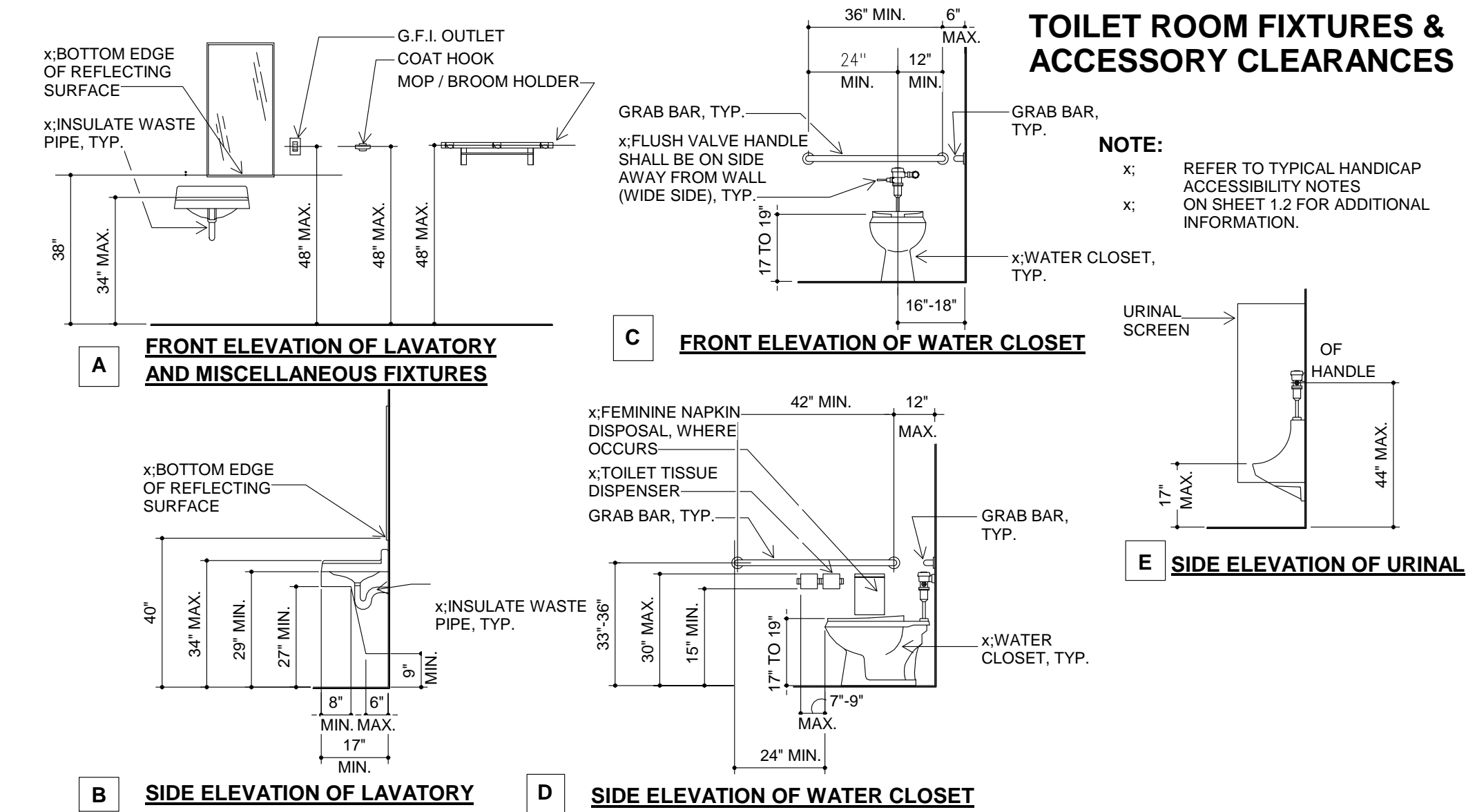
A DETAIL

A NARROW FRAME WITH A BEVELED TOP EDGE (30 DEGREE MAXIMUM BEVEL TO VERTICAL PLANE) INSTALLED AT THE BOTTOM OF A GLASS DOOR (WITH NO SIDE FRAMES) MAY BE USED IN LIEU OF PROVIDING THE REQUIRED 10-INCH UNINTERRUPTED SURFACE AT THE BOTTOM OF THE DOOR.

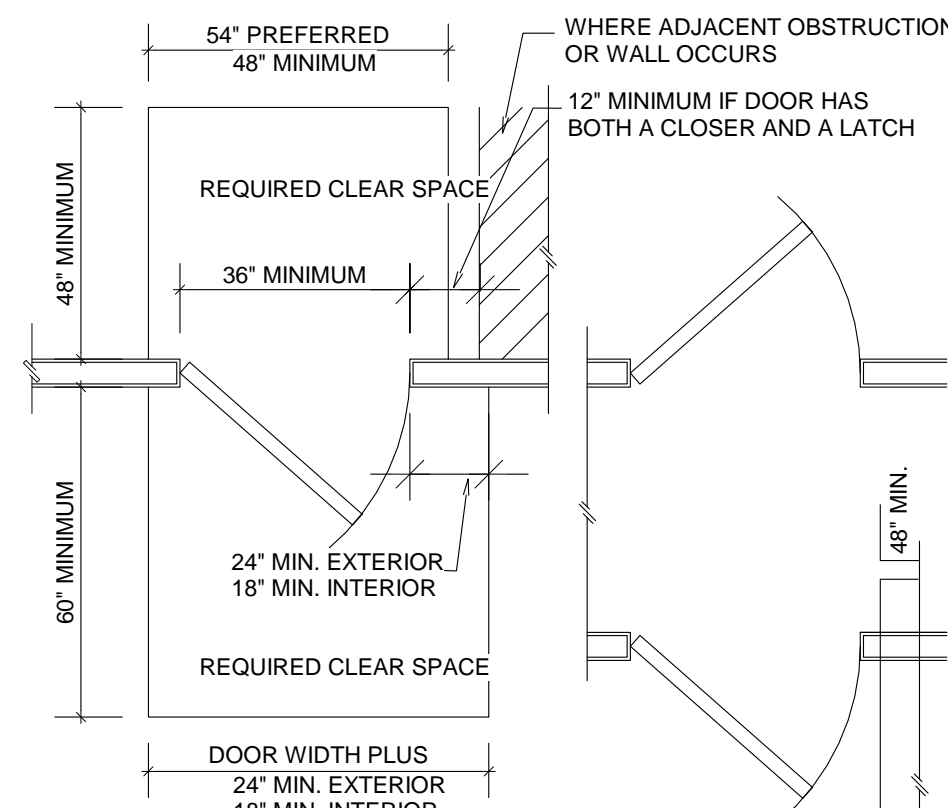


DOORS

2 DOOR DETAIL
12" = 1'-0"



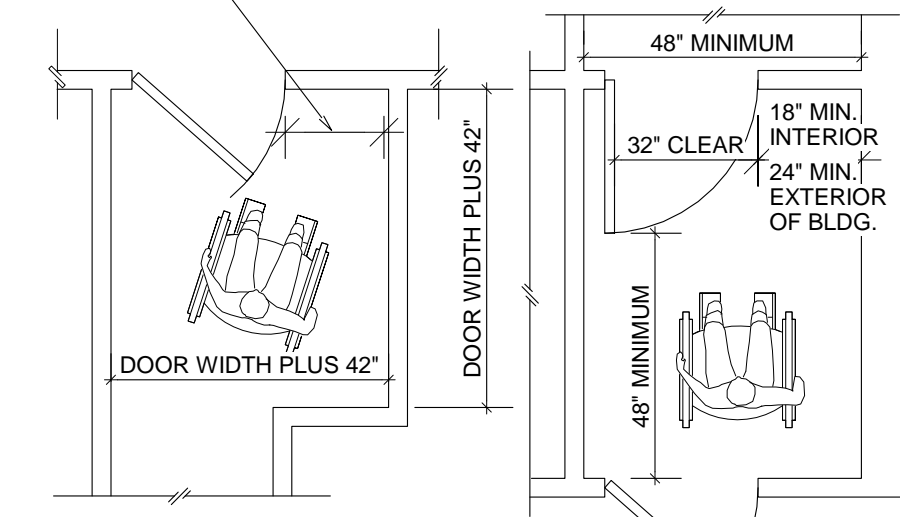
4 TOILET ACCESSORY CLEARANCES
38" = 1'-0"



A PLAN

24" MIN. EXTERIOR & 18" MINIMUM INTERIOR BEYOND STRIKE EDGE OF A GATE OR DOOR ON THE SIDE TOWARD WHICH IT SWINGS.

B CORRIDOR PLAN




C RAMP LANDING AT DOORWAY PLAN

- NOTES:
1. CLEAR SPACES MUST BE LEVEL TO PREVENT WHEELCHAIRS FROM ROLLING WHEN THE OCCUPANT RELEASES THE WHEEL GRIPS TO REACH FOR THE DOOR. 1/4" PER FOOT IS ALLOWED FOR DRAINAGE.
 2. WHERE DOORS OPEN ONTO, BUT NOT INTO A CORRIDOR, THE REQUIRED LEVEL AREA BEYOND THE DOORS MAY BE A MINIMUM OF 48" FOR ADDITIONAL INFORMATION, SEE APPLICABLE NOTES ON TYPICAL ACCESSIBILITY NOTES SHEET.


DOOR CLEAR SPACE

1 DOOR CLEARANCE
12" = 1'-0"

Design Consultant:

ARCHITECTURE
 Innovation and Design Inc.
 115 Pine Ave. Suite 250
 Long Beach, CA 90802
 www.idaxexperience.net

Architect:
GEOFFREY B. LIM
 AIA, NCARB, LEED AP
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Project Owner:
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 135 W. 1ST STREET
 UNIT B & C
 TUSTIN, CA 92780

Stamp:


Issue For:
 ISSUED FOR CONSTRUCTION

Issue Date:
 02.26.2018

NO.	REASON	DATE

Principal in Charge:
 Approved: _____
 PROJECT MANAGER: _____
 Checker: _____
 DRAWN BY: _____
 Author

Project Address:
 OLIBOLI
 135 W. FIRST STREET
 UNIT #B&C
 TUSTIN, CA 92780

Project Number:
 142-002-18

Sheet Title:
 ACCESSIBILITY NOTES & DETAILS

Sheet Number:
 CS202



**CALIFORNIA GREEN BUILDING STANDARDS
(CALGREEN)
COMMERCIAL CHECKLIST
CHAPTER 5**

Project Address: _____ Date: _____

ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
PLANNING AND DESIGN				
1	5.106.1	Storm water pollution prevention plan		
2	5.106.4.1	Short-term bicycle parking		
3	5.106.4.2	Long-term bicycle parking		
4	5.106.5.2	Designated parking		
6	5.106.8	Light pollution reduction		
7	5.106.10	Grading and Paving		
ENERGY EFFICIENCY				
8	5.210.1	Comply with CEC		
WATER EFFICIENCY & CONSERVATION				
11	5.303.1.1	Buildings in excess of 50,000 square feet/submeter		
12	5.303.1.2	Excess consumption		
13	5.303.2	20 Percent Savings		
14	5.303.2.1	Multiple showerheads serving one shower		
15	5.303.4	Wastewater reduction		
17	5.304.1	Water budget		
18	5.304.2	Outdoor potable water use		
19	5.304.3	Irrigation design		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY				
20	5.407.1	Weather protection		
21	5.407.2.1	Sprinklers		
22	5.407.2.2	Roof overhangs and recesses entries		
23	5.407.2.2	Nonabsorbent interior finishes		
25	5.408.1	Excavated soil and land clearing debris		
26	5.410.1	Recycling by occupants		
27	5.410.2.1	Commissioning (> 10,000 sq ft.)		
28	5.410.2.2	- Owner's Project Requirements (OPR)		
29	5.410.2.3	- Basis of Design (BOD)		
30	5.410.2.4	- Commissioning plan		
31	5.410.2.5.1	- Functional performance testing		
32	5.410.2.5.2	- Systems manual		
33	5.410.2.6	- Commissioning training		
33	5.410.2.6	- Commissioning report		

Page 1 of 2

ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
34	5.410.4	Testing, adjusting and balancing (< 10,000 sq ft)		
35	5.410.4.2	- Systems		
36	5.410.4.3	- Procedures		
37	5.410.4.3.1	- HVAC balancing		
38	5.410.4.4	- Reporting		
39	5.410.4.5	- Operation and maintenance manual		
40	5.410.4.5.1	- Inspections and reports		
ENVIRONMENTAL QUALITY				
41	5.503.1	Fireplace		
42	5.503.1.1	Woodstoves		
43	5.504.3	Covering of duct openings and protection of mechanical equipment during construction		
44	5.504.4	- Finish material pollutant control		
45	5.504.4.1	- Adhesives, sealants, and caulks		
46	5.504.4.3	- Paints and coatings		
47	5.504.4.3.1	- Aerosol Paints and Coatings		
48	5.504.4.3.2	- Verification		
49	5.504.4.4	Carpet systems		
50	5.504.4.4.1	Carpet cushion		
51	5.504.4.5	Composite wood products		
52	5.504.4.6	Resilient flooring systems		
53	5.504.5.3	Filters		
54	5.504.7	Environmental tobacco smoke (ETS) control		
55	5.505.1	Indoor moisture control		
56	5.506.1	Outside air delivery		
57	5.506.2	Carbon dioxide (CO ₂) monitoring		
58	5.507.4	Acoustical control		
59	5.507.4.1	Exterior noise transmission for roof		
60	5.507.4.1	Exterior noise transmission for walls		
61	5.507.4.2	Exterior noise transmission for windows		
62	5.507.4.2	Interior sound		
63	5.508.1	Ozone depletion and global warming reductions		
64	5.508.1.1	CFCs		
65	5.508.1.2	Halons		

Page 2 of 2

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CONSTRUCTION

Issue Date:

02.26.2018

NO.	REASON	DATE

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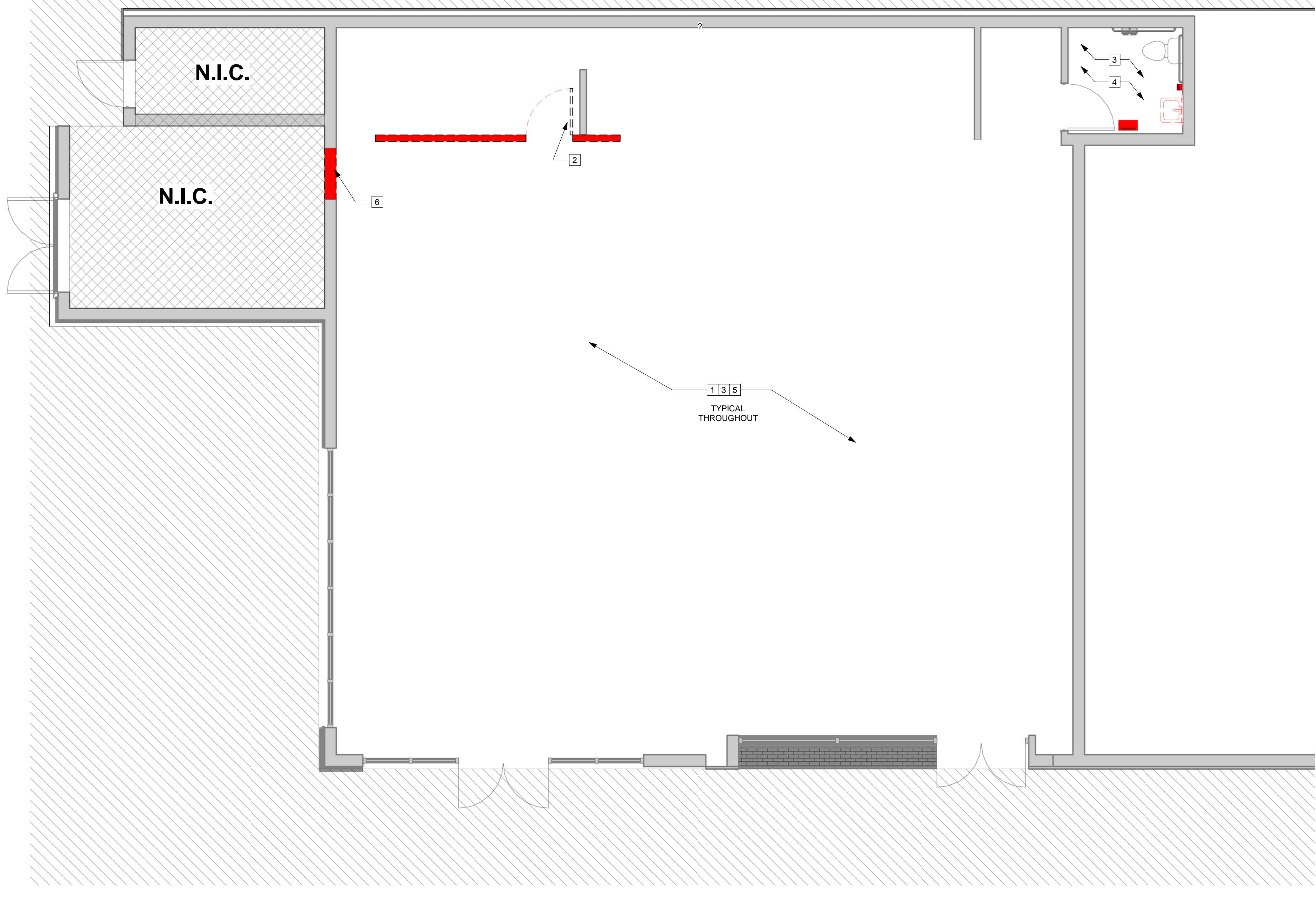
142-002-18

Sheet Title:

CALIFORNIA GREEN
BUILDING STANDARDS

Sheet Number:

CS402



DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF. HE SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH THE PLANS IN RELATION TO THE EXISTING FIELD CONDITIONS OR ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS. GC TO BRING SALES AREA TO A "SHELL" CONDITION IN ORDER TO ACCEPT NEW FIXTURE LAYOUT AS PER NEW FIXTURE PLAN.
2. SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION AND NOTIFY ARCHITECT BEFORE PROCEEDING. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM DEMOLITION ACTIVITIES.
3. CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING TO HAVE ACCEPTED SUCH CONDITIONS AND TO HAVE MADE ALLOWANCES THEREFORE IN PREPARING HIS BID.
4. PLANS SHOW GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE REMAINING CONTRACT DOCUMENTS, INCLUDING THE PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS. WORK INCLUDES REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISHED PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED IN ORDER TO FACILITATE THE FINISHED PROJECT.
5. FIELD VERIFY ALL DIMENSIONS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT. DO NOT SCALE DRAWINGS. ALL DIMENSIONS LOCATING WALLS ARE TAKEN FROM OUTSIDE FACE OF EXISTING PARTITIONS OR SURFACE OF MASONRY UNLESS OTHERWISE INDICATED.
6. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY.
7. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, OR DETERMINED BY OWNER TO REMAIN THE OWNER'S PROPERTY, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. REMOVE & TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
8. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED.
9. EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER. COORDINATE ALL WORK WITH THE LANDLORD/PROPERTY MANAGER TO VERIFY USE OF THE STORAGE ROOM, POWER, TEMPORARY STORAGE, SITE ACCESS, HOURS OF WORK ETC..
10. SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERING ELEMENTS WHICH AFFECT:
 - a. STRUCTURAL INTEGRITY OF ELEMENT
 - b. INTEGRITY OF WEATHER EXPOSED OR MOISTURE RESISTANT ELEMENTS.
11. PROVIDE TEMPORARY BRACING AND SHORING WITH CONNECTIONS OF SUFFICIENT STRENGTH TO BEAR IMPOSED LOADS, AND TO PROTECT ALL PERSONS AND PROPERTY, AND TO ENSURE PROPER ALIGNMENT. COMPLY WITH ALL STATE, O.S.H.A. AND LOCAL CODES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROVIDING ADEQUATE BRACING OF WALLS DURING DEMOLITION AND ERECTION TO PREVENT DAMAGE DUE TO HIGH WINDS OR OTHER LATERAL LOADS AND CONSTRUCTION IMPACTS. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR DAMAGE DUE TO HIS FAILURE TO TAKE SUCH PRECAUTIONS.
12. SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.
13. REMOVE & REINSTALL ITEMS INDICATED. CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE. STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.
14. THE CONTRACTOR SHALL PROTECT ALL UNALTERED PORTIONS OF THE EXISTING CONDITIONS, AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING WORK AND WORK BY OTHERS.
15. MAINTAIN EXISTING UTILITIES WHERE APPLICABLE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. VERIFY THAT SERVICE IS NOT DISCONNECTED IN OTHER TENANT SPACES DURING DEMOLITION.
16. PROVIDE TEMPORARY WEATHER PROTECTION, DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION, ON EXTERIOR SURFACES AND NEW CONSTRUCTION TO ENSURE THAT NO WATER DAMAGE OCCURS TO STRUCTURE, EXTERIOR, OR INTERIOR AREAS. G.C. TO PLACE WALK-OFF MATS AT EXITS TO CONTROL THE TRACKING OF DUST, DIRT AND DEBRIS INTO LANDLORD'S COMMON AREAS.
17. PROTECT WALLS, ROOF, SIDEWALKS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS.
18. GENERAL CONTRACTOR TO REVIEW CONDITION OF CONCRETE SLABS (INTERIOR & EXTERIOR) TO BE RE-USED WITH OWNER'S CONSTRUCTION MANAGER AFTER DEMOLITION OF EXISTING WALLS, FLOORS, & CEILINGS IS COMPLETE. GENERAL CONTRACTOR TO REVIEW PATCH LOCATIONS & COLOR FOR TRENCHING LOCATIONS FOR NEW PLUMBING. NON-COMPLIANT CODE CONDITIONS; AND SIGNIFICANT COSMETIC DEFECTS WITH OWNER'S CONSTRUCTION MANAGER.
19. ANY EXISTING FINISHED SURFACES TO REMAIN THAT ARE AFFECTED BY SELECTIVE DEMOLITION SHALL BE PATCHED TO MATCH EXISTING ADJACENT SURFACES UNLESS CONCEALED BY NEW CONSTRUCTION
20. WHERE NEW WORK ADJOINS EXISTING WORK, THE CONTRACTOR SHALL DO ALL NECESSARY CUTTING, PATCHING AND FITTING. JUNCTURES OF NEW AND EXISTING OR OTHER WORK SHALL BE REPAIRED AND PATCHED TO MATCH ADJACENT EXISTING SURFACES. EXISTING WALLS REQUIRING MODIFICATION OF ANY KIND SHALL BE REFINISHED TO THE NEAREST OUTSIDE OR INSIDE CORNER.
21. DISCONNECT AND REMOVE AND/OR CAP ALL EXISTING UTILITIES (ELECTRIC, GAS, WATER, SANITARY & STORM) WHERE SCHEDULED NOT TO BE REUSED, IN ACCORDANCE WITH CITY AND GOVERNING CODE AND UTILITY COMPANY REQUIREMENTS.
22. PROVIDE TEMPORARY LIGHTING/POWER AS REQUIRED, DURING AND AFTER DEMOLITION FOR ALL AREAS WITHIN LIMITS OF THIS CONTRACT. SUCH SERVICE SHALL BE TAKEN FROM EXISTING PANEL BOARDS, AND EXISTING EQUIPMENT MAY BE UTILIZED WHERE FEASIBLE.
23. ALL EXISTING CONDUIT AND WIRE INTERFERING WITH THE NEW WORK SHALL BE REROUTED CONCEALED IN THE NEW CONSTRUCTION, UNLESS NOTED OTHERWISE.
24. ALL UNUSED CONDUIT AND WIRE REMOVED SHALL BE REMOVED COMPLETELY BACK TO SOURCE, AND BRANCH OVER-CURRENT PROTECTIVE DEVICES PROPERLY LABELED "SPARE".
25. UPON COMPLETION OF THE NEW INSTALLATION WORK, DISCONNECT, REMOVE, AND PROPERLY DISPOSE OF ALL TEMPORARY LIGHTING, POWER, AND WIRING.
26. PROVIDE PHOTOGRAPHS OR VIDEOTAPE, SUFFICIENTLY DETAILED, OF EXISTING CONDITIONS OF ADJOINING CONSTRUCTION AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION OPERATIONS.

27. CLEAN ALL HORIZONTAL SURFACES OF ACCUMULATED DUST AND DEBRIS. SWEEP THE BUILDING BROOM CLEAN ON COMPLETION OF DEMOLITION OPERATION.
28. SHOULD THE CONTRACTOR ENCOUNTER SUSPICIOUS MATERIAL OR BECOME AWARE OF THE PRESENCE OF ASBESTOS CONTAINING MATERIALS, THEN THE CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER OF SUCH CONDITIONS. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN THESE AREAS UNTIL OWNER HAS RETAINED A QUALIFIED SPECIALIST CONTRACTOR TO VALIDATE, ABATE, ENCAPSULATE OR OTHERWISE ADDRESS THE ASBESTOS-CONTAINING MATERIALS AND WARRANT TO THE CONTRACTOR THAT THE WORK CAN PROCEED IN FULL COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS.
29. MODIFY EXISTING FIRE SPRINKLER AS REQUIRED BY NEW CONSTRUCTION AND DESIGN BY TENANT G.C. SPRINKLER DESIGN TO BE DESIGN BUILD UNDER SEPARATE PERMIT. SPRINKLER CONTRACTOR TO PROVIDE DRAWINGS TO LOCAL JURISDICTION AS REQUIRED FOR SPRINKLER PERMIT. G.C. TO COORDINATE WITH LANDLORD APPROVED SPRINKLER CONTRACTOR IN REGARDS TO DESIGN, PERMITTING AND INSTALLATION. ALL SPRINKLER MODIFICATION/INSTALL WORK WILL BE UNDER A SEPARATE PERMIT SUBMITTAL.
30. G.C. TO COORDINATE FIRE ALARM SYSTEM MODIFICATION WITH LANDLORD PREFERRED FIRE ALARM CONTRACTOR PER NEW FLOOR PLAN. ALL FIRE ALARM MODIFICATION/INSTALL WORK TO BE UNDER SEPARATE PERMIT.
31. G.C. SHALL COORDINATE WORK WITH MALL MANAGER TO INSURE MINIMAL DISRUPTION TO MALL OPERATIONS AND ADJACENT TENANTS.
32. G.C. TO REUSE ANY EXISTING IMPROVEMENTS, EQUIPMENT AND UTILITY SYSTEMS, PROVIDED THEY ACKNOWLEDGE RESPONSIBILITY FOR THE REPAIR, REPLACEMENT OR UPGRADE OF SUCH IF DETERMINED TO BE NON COMPLIANT WITH LATEST CODE, NOT DESIGNED OR APPLICABLE FOR PROPOSED APPLICATION, DAMAGED OR NON OPERATIONAL.

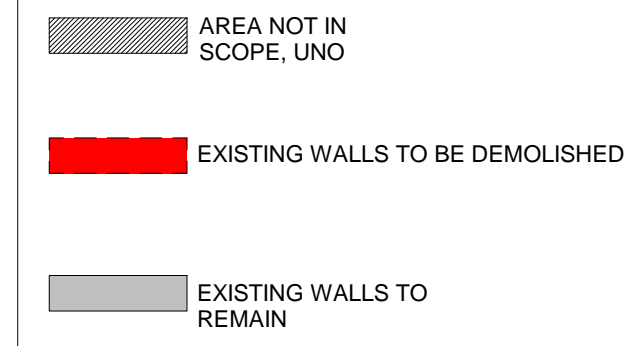
DEMOLITION KEY NOTES

1. REMOVE ALL EXISTING EQUIPMENT, HOODS, FURNITURE, TABLES, CHAIRS & BOOTHS. COORDINATE W/ OWNER FOR STORAGE / DISPOSAL.
2. REMOVE EXISTING DOOR & FRAME. COORDINATE W/ NEW DOOR LOCATION AND INFILL WALL TO EXTENTS OF NEW DESIGN W MATCHING MATERIALS
3. REMOVE ALL EXISTING FLOORING MATERIALS BACK DOWN TO SLAB, PROVIDE SLAB LEVELING MATERIAL AS NEEDED TO CREATE SOLID FLUSH SURFACE TO ACCEPT NEW FLOOR FINISHES.
4. REMOVE EXISTING FRP AND REPLACE WITH NEW FRP IN THE RESTROOMS. ALL RESTROOM FIXTURE ARE EXISTING TO REMAIN UNLESS NOTIFIED BY OWNER.
5. EXISTING STRUCTURAL FRAMING TO REMAIN AND REPAIRED TO ACCOMMODATE NEW CEILING AND FINISHES. GC TO PROTECT DURING CONSTRUCTION REPAIR AS NEEDED.
6. REMOVE PARTITION WALL TO EXTENDED SHOWN.

KEYNOTES - DEMO FLOOR PLAN

- GENERAL NOTES**
1. ALL DIMENSIONS SHOWN ARE FOR VERIFICATION PURPOSES TO ESTABLISH EXISTING CONDITIONS AND LOCATIONS OF DEMOLISHED ELEMENTS. GC IS RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS AND COORDINATE WITH NEW DESIGN PRIOR TO COMMENCING DEMOLITION WORK
 2. ALL EXISTING DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF EXTERIOR SHEATHING OR INTERIOR FACE OF WOOD STUD UNLESS OTHERWISE INDICATED. ALL EXISTING CONDITIONS ARE TO BE PROVIDED BY THE LANDLORD & VERIFIED BY G.C. COORDINATE W/ EQUIPMENT, PLUMBING & ELECTRICAL PLANS FOR UNDERGROUND UTILITY REQUIREMENTS INCLUDING BUT NOT LIMITED TO TRENCH DRAINS, FLOOR DRAINS, FLOOR SINKS, HUB DRAINS & ELECTRICAL CONDUIT.

LEGEND - DEMO FLOOR PLAN



1 DEMOLITION FLOOR PLAN
1/4" = 1'-0"

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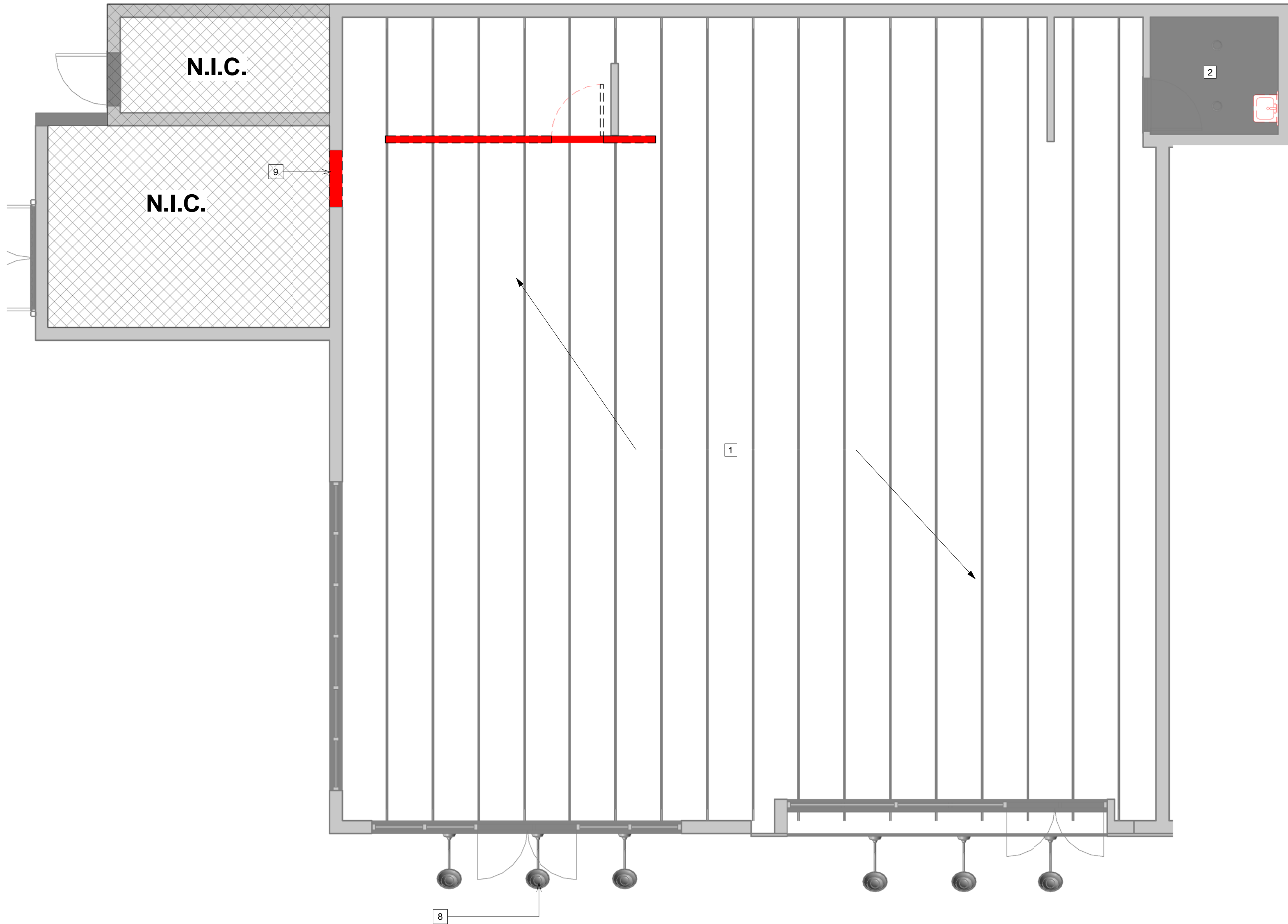
Principal in Charge:
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Project Manager:
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 DRAWN BY:
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Project Number:
 142-002-18

Sheet Title:
 DEMOLITION FLOOR PLAN

Sheet Number:
DM100



1 DEMOLITION CEILING PLAN
1/4" = 1'-0"

GENERAL NOTES - DEMO RCP

1. THE ARCHITECTURAL DRAWINGS SHOULD BE USED WITH AND IN CONJUNCTION WITH THE CIVIL, STRUCTURAL, MEP, FIRE PROTECTION DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN THE DRAWINGS. DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF GOOD FULTON & FARRELL.
2. THE GENERAL CONTRACTOR IS ADVISED THAT THE AVAILABLE SPACE FOR ROUTING ALL ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND COMMUNICATIONS PIPING CONDUIT, TRAYS AND DUCTWORK MAY BE MINIMAL IN MANY LOCATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE ALL OF THE TRADES WORK.
3. G.C. TO VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, DUCTS, STRUCTURAL ELEMENTS, ETC. AND ARRANGE & MODIFY NON-VISIBLE ITEMS TO ENSURE ADEQUATE CLEARANCES FOR CEILING LAYOUT SHOWN.
4. ALL PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL BE FIRE BLOCKED AND SEALED PER UL APPROVED METHODS.
5. THE GENERAL CONTRACTOR IS TO ENSURE THE CONTINUITY OF NEW OR EXISTING FIRE-RATED CONSTRUCTION.
6. ALL MANUFACTURER'S NAME, TRADEMARK, LOGOS, ETC SHALL NOT BE VISIBLE TO THE PUBLIC, UNLESS REQUIRED BY THE BUILDING CODE.
7. ALL CEILING MOUNTED ITEMS SHALL BE REINFORCED WITH BRACING, BLOCKING, AND/OR STRUCTURE AS REQUIRED. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE SUPPORT REQUIRED TO MAINTAIN THE INTEGRITY OF THE CEILING AND THE SECURITY OF THE ITEM MOUNTED. THE GENERAL CONTRACTOR SHALL COORDINATE THE PLACEMENT OF ALL BLOCKING PRIOR TO CLOSING OF CEILING. ALL BLOCKING SHALL BE FIRE RETARDANT TREATED. USE OF COMBUSTIBLE MATERIALS ABOVE THE CEILING IS NOT PERMITTED.
8. PROVIDE FRAMING ABOVE CEILING WHERE WALLS DO NOT GO TO DECK FOR SUPPORT OF SUSPENDED ACOUSTICAL CEILING SYSTEM.
9. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, NOTIFY GOOD FULTON & FARRELL FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING.
10. DIMENSIONS SHOWN AS "V.I.F." SHALL BE VERIFIED IN THE FIELD. THE GENERAL CONTRACTOR SHALL NOTIFY GOOD, FULTON & FARRELL OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH WORK IN THAT AREA.
11. DIMENSIONS MARKED "HOLD" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES. THE GENERAL CONTRACTOR SHALL NOT ADJUST DIMENSION WITHOUT WRITTEN INSTRUCTIONS FROM GOOD FULTON & FARRELL.
12. THE LOCATIONS OF MECHANICAL, ELECTRICAL, AND FIRE PROTECTION ITEMS (I.E. CEILING MOUNTED DEVICES, SUCH AS STROBES, SPEAKERS, LIGHT FIXTURES, SPRINKLER HEADS, RETURN AND SUPPLY AIR GRILLES, SECURITY DEVICES, ETC.) ARE SHOWN FOR REFERENCE ONLY AND SHALL BE CONFIRMED WITH GOOD FULTON & FARRELL IN THE FIELD PRIOR TO INSTALLATION. REFER TO MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS & SPECIFICATIONS FOR DESIGN OF THESE SYSTEMS. NOTIFY GOOD FULTON & FARRELL OF ANY CONFLICTS PRIOR TO INSTALLATION.
13. SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED WITH A SINGLE COVER PLATE. REFER TO ELECTRICAL DRAWINGS FOR SWITCH COVER PLATE SPECIFICATION. NOTIFY GOOD FULTON & FARRELL OF ANY CONFLICTS PRIOR TO INSTALLATION.
14. COLOR OF ESCUTCHEON COVERS IN CEILINGS WILL BE SELECTED BY GOOD, FULTON & FARRELL.
15. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AT ALL CONCEALED MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS WHICH REQUIRE SERVICE OR ACCESS. ACCESS PANELS IN RATED CEILINGS SHALL HAVE THE SAME RATING AS THE ASSEMBLY THEY ARE IN.
16. ALL CEILING MOUNTED DEVICES, SUCH AS LIGHT FIXTURES, FIRE ALARM STROBES OCCUPANCY SENSORS, SPEAKERS, RETURN AND SUPPLY AIR GRILLES, SECURITY DEVICES, ETC. TO BE CENTERED IN TILE, UNO.
17. ALL CEILING HEIGHTS TO BE 11'-0" AFF. UNO.
18. ALL FIRE PROTECTION ITEMS (SPRINKLER HEADS) TO BE CENTERED IN THE CEILING TILE (BOTH WAYS), UNO.
19. THE LIGHTING LAYOUT AND TYPES SHALL MEET ALL ENERGY CODE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
20. PROVIDE SHOP DRAWINGS AND PRODUCT SUBMITTALS FOR ALL LIGHT FIXTURES, FIRE ALARM STROBES, FIRE/LIFE/SAFETY DEVICES, SECURITY DEVICES, SPEAKERS, ETC. PRIOR TO ORDERING, FABRICATION, AND INSTALLATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SUBMITTALS IN A TIMELY MANNER TO ALLOW FOR CORRECTIONS OR REJECTIONS WITHOUT CAUSING DELAY TO THE PROJECT SCHEDULE.
21. PROVIDE EMERGENCY LIGHTING AS REQUIRED PER MEP.
22. REF STRUCTURAL DETAIL 05/S201 FOR ABOVE CEILING SUPPORT OF FIXTURE C1, C2, & C3.

KEY NOTES - DEMO RCP PLAN

1. PERFORM ALL EXISTING CEILING, MECHANICAL DUCTS, & AND DECORATIVE MATERIALS & HANGING & OTHER DECORATIVE MATERIALS SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA (EXISTING CEILING AND LIGHTS TO REMAIN; PREP FOR NEW FINISH).
2. SUSPENDED CEILING SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ASTM C635, ASTM C636, AND COMPLY WITH 2010 CBC 2506.2.1 / ASCE 7-05, SECTION 13.5.6. REF. SHEET A502 FOR DETAILS.
3. ALL EXISTING LIGHTS AT THE DINING TO BE REMOVED

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Architect:


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Drawn By: WILLIAM AYALA

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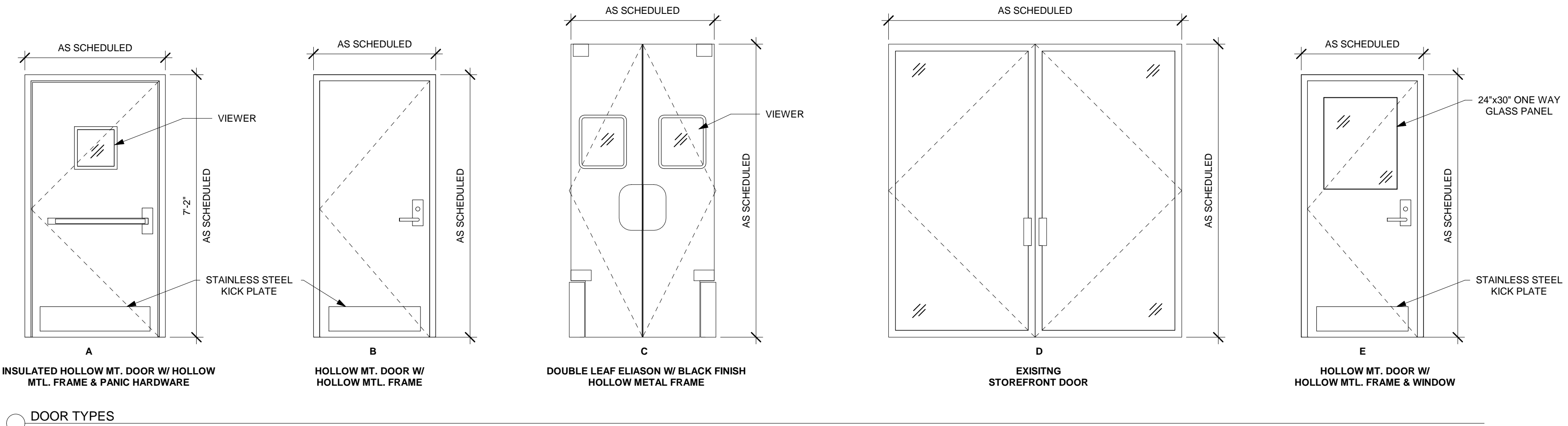
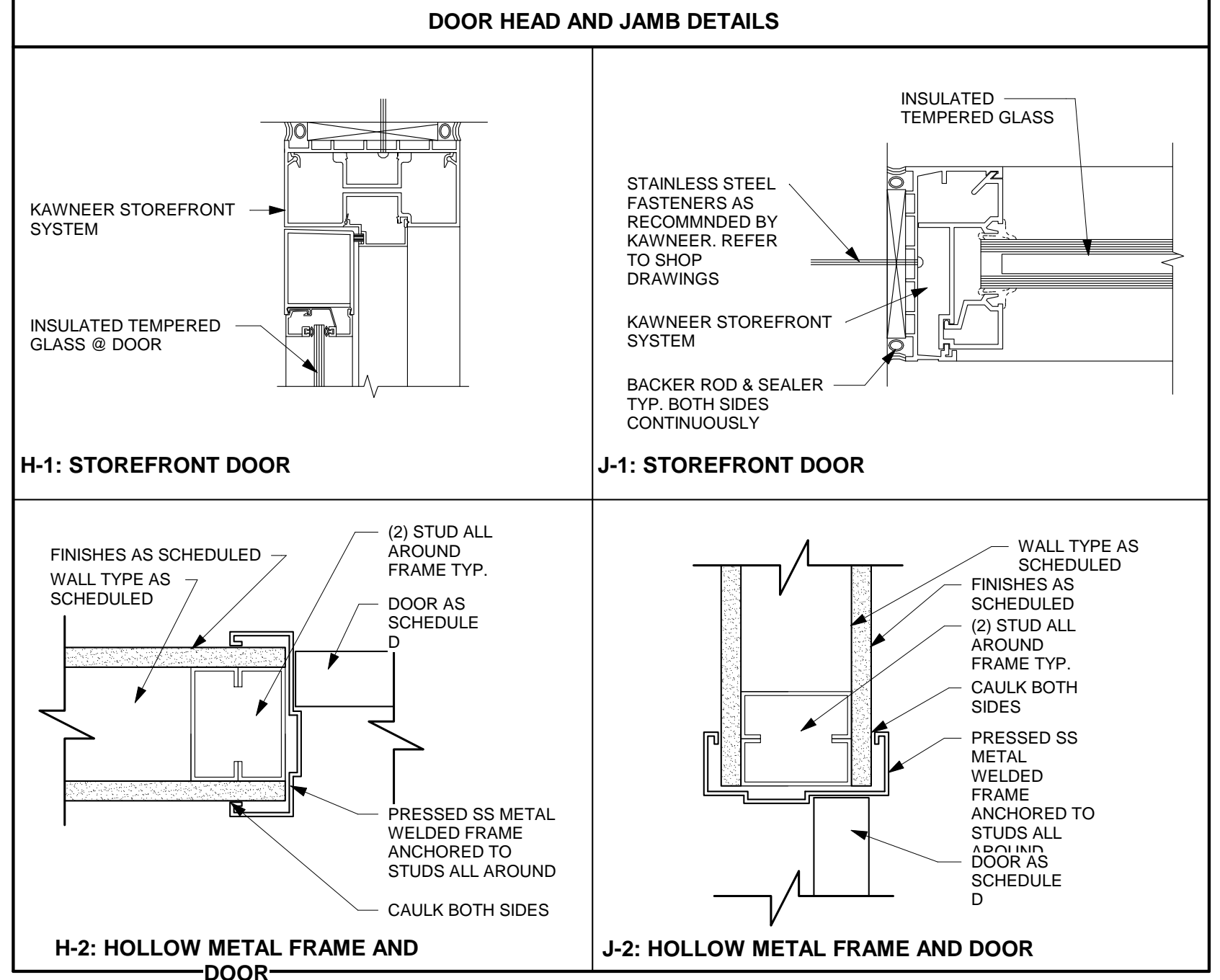
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DEMOLITION REFLECTED CEILING PLAN

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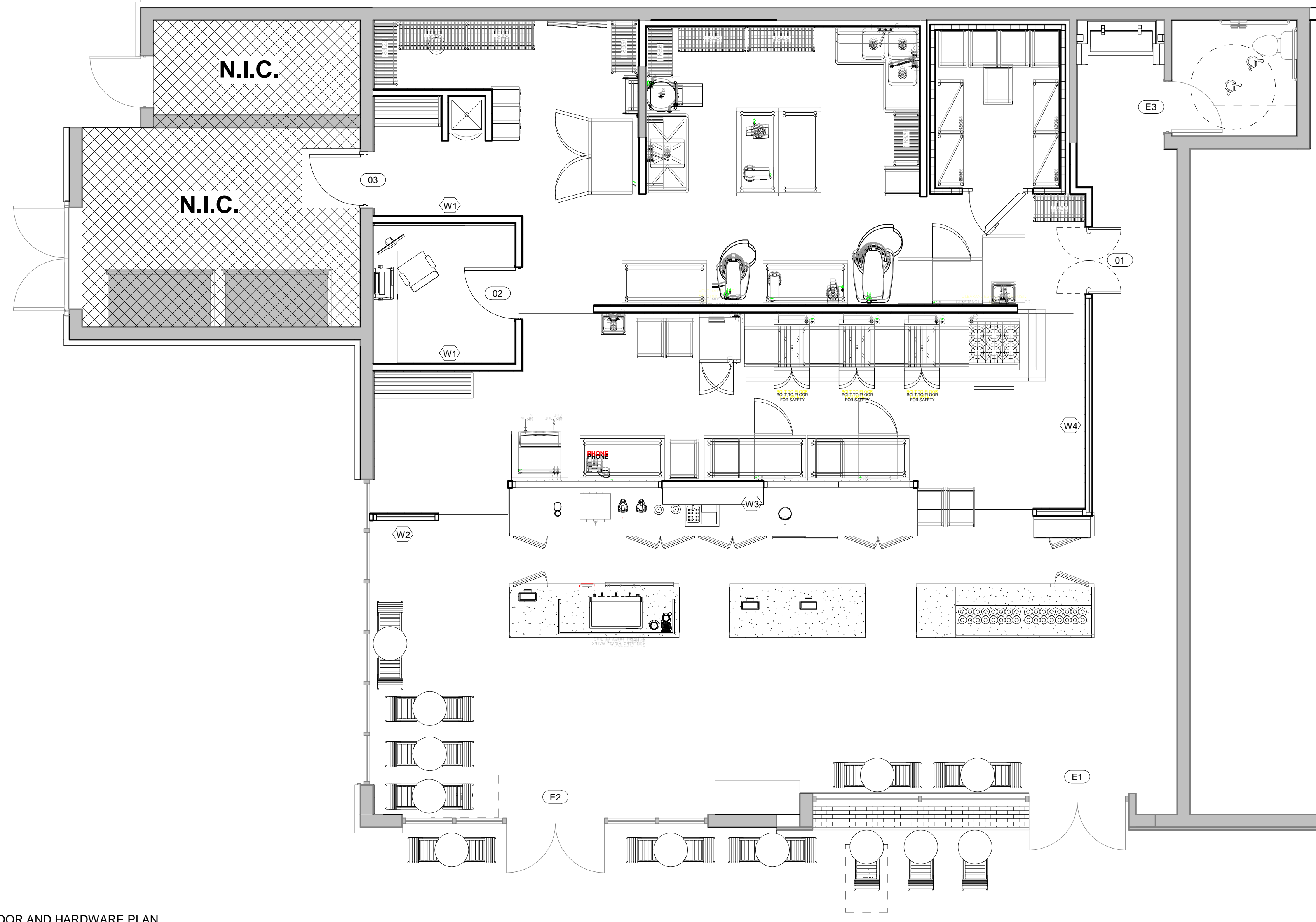
DOOR SCHEDULE													
Mark	ROOM NAME	TYPE	WIDTH NOMINAL	HEIGHT NOMINAL	THICK	PANEL MATERIAL	FRAME MATERIAL	PANEL FINISH	FRAME FINISH	JAMB DETAIL	HEAD DETAIL	Hardware Set	REMARKS
01	KITCHEN	A	4'-0"	8'-0"	0'-1 1/2"	WOOD	ALUMINUM	-	-	H-2	J-2	MANUF.	
02	OFFICE	E	3'-0"	7'-0"	0'-1 3/4"	ALUMINUM	ALUMINUM	-	-	H-2	J-2	HWS-3	HOLLOW MT DOOR WITH HOLLOW MTL. FRAME
03	SERVICE	C	3'-0"	7'-0"	0'-2"	ALUMINUM	ALUMINUM	-	-	H-2	J-2	HWS-4	
E1	ENTRY	D	5'-8 1/4"	8'-0"		GLASS	ALUMINUM	-	-	EXISTING	EXISTING	EXISTING	G.C. TO REPLACE HARDWARE SETS ON OWNER'S REQUEST
E2	ENTRY	D	5'-9 1/2"	8'-0"		GLASS	ALUMINUM	-	-	EXISTING	EXISTING	EXISTING	G.C. TO REPLACE HARDWARE SETS ON OWNER'S REQUEST
E3	RESTROOM	B	3'-0"	7'-0"	0'-1 3/4"	EXISTING	EXISTING	-	-	EXISTING	EXISTING	EXISTING	HOLLOW MT DOOR WITH HOLLOW MTL. FRAME G.C. TO REPLACE HARDWARE SETS ON OWNER'S REQUEST
E4			3'-0"	6'-8"	0'-2"								

HARDWARE SETS						
HWS - 1	PAIR EXTERIOR STOREFRONT ENTRY DOORS					
	HARDWARE TYPE	MODEL #	FINISH	MFR.		
	SET: 1.0					
	1 CONTINUOUS HINGE	MCK-FM300	US32D	MK		
	2 DOOR PULL	RM7900-36 MTG-TYPE 12HDU	S32D	RO		
	1 THUMBTURN	356xA620x2160x1765.563	US26D	YA		
HWS - 2	TOILET SWING DOOR					
	HARDWARE TYPE	MODEL #	FINISH	MFR.		
	SET: 10.0					
	3 HINGE	4881 4 1/2" x 4 1/2"	652 PBB	ST		
	1 DOOR PULL	8106 X 70C 4" x 16"	630 ROC	TC		
	1 PUSH PLATE	870C 4" x 16"	630 ROC	TC		
HWS - 3	OFFICE / STORAGE					
	HARDWARE TYPE	MODEL #	FINISH	MFR.		
	SET: 8.0					
	3 HINGE	MPB79 4-1/2" X 4-1/2"	US26D	MK		
	1 OFFICE LOCK	AU 4705LN A600-7	626	YA		
	1 WALL STOP	409	US32D	RO		
HWS - 4	EXTERIOR EGRESS DOOR					
	HARDWARE TYPE	MODEL #	FINISH	MFR.		
	SET: 2.0					
	3 HINGE	MPB99 X NRP 4-1/2" X 4-1/2"	US32D	MK		
	1 ALARM EXIT DEVICE	7150 A EO A620	630	YA		
	1 SURFACE CLOSER	3521	689	YA		

- A. MANUFACTURER'S ABBREVIATIONS:
- | | | |
|--------------------|------------------|--------------------|
| 1. MK - MCKINNEY | 2. RF - RIXSON | 9. ST - STANLEY |
| 3. YA - YALE | 4. RO - ROCKWOOD | 10. TC - TRIMCO |
| 5. PE - PEMKO | 6. HE - HES | 11. SC - SCHLAGE |
| 7. SE - SECURITRON | 8. TR - TRINE | 12. AR - 48 ARGENT |



DOOR TYPES
1/2" = 1'-0"



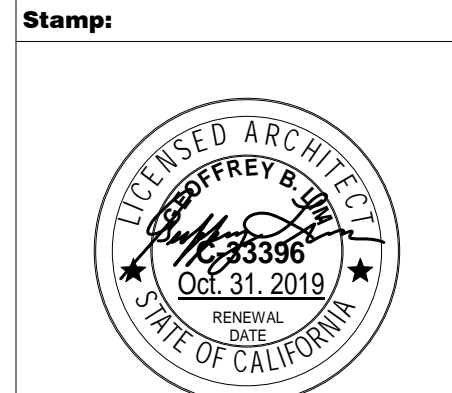
1 DOOR AND HARDWARE PLAN
1/4" = 1'-0"

Design Consultant:
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ARCHITECTURE
Innovation and Design in
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115 Pine Ave. Suite 250
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www.oliboli.com

Architect:
GEOFFREY B. LIM
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TUSTIN, CA 92780



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02.26.2018

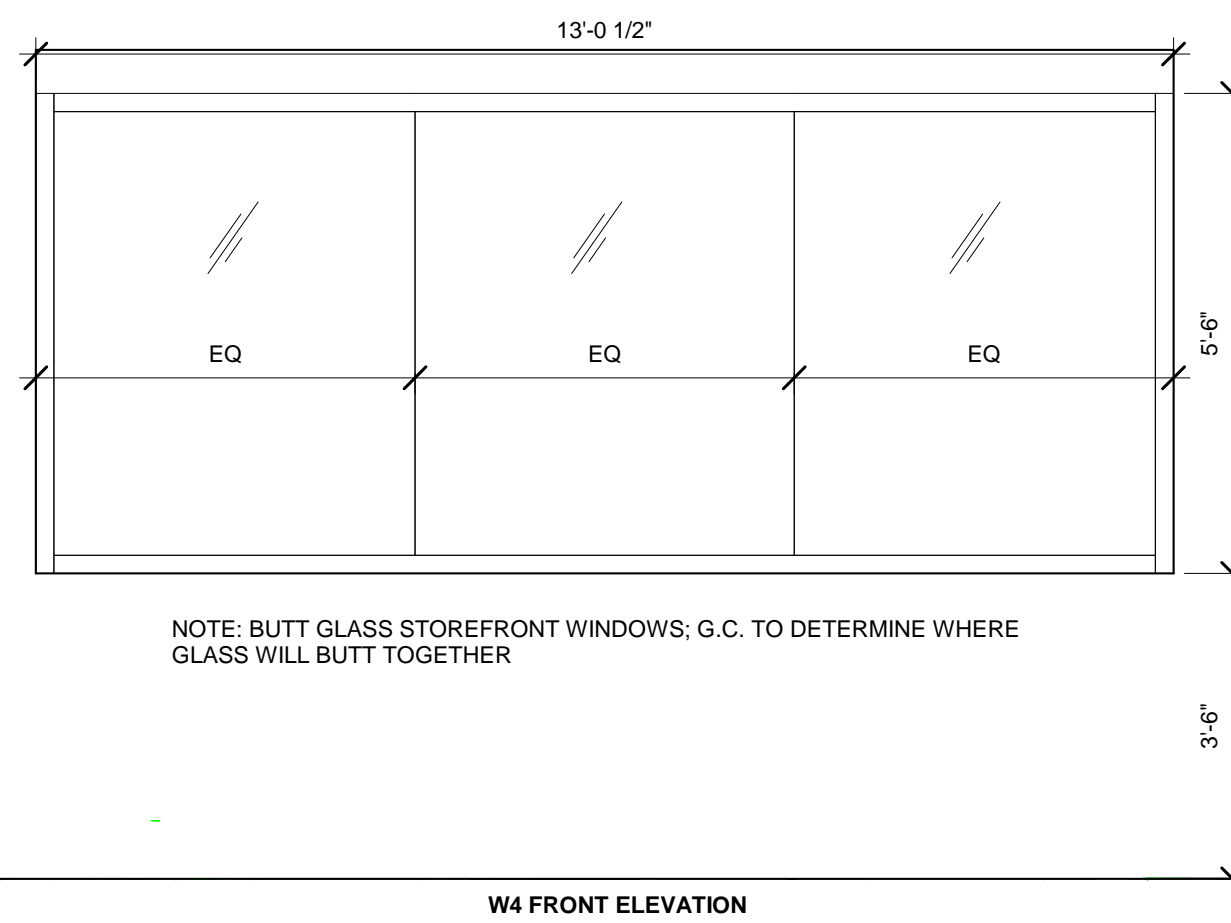
NO.	REASON	DATE

PRINCIPAL IN CHARGE:
JOHN COOL
PROJECT MANAGER:
WILLIAM AYALA
DRAWN BY:
WILLIAM AYALA

Project Address:
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135 W. FIRST STREET
UNIT #B&C
TUSTIN, CA 92780

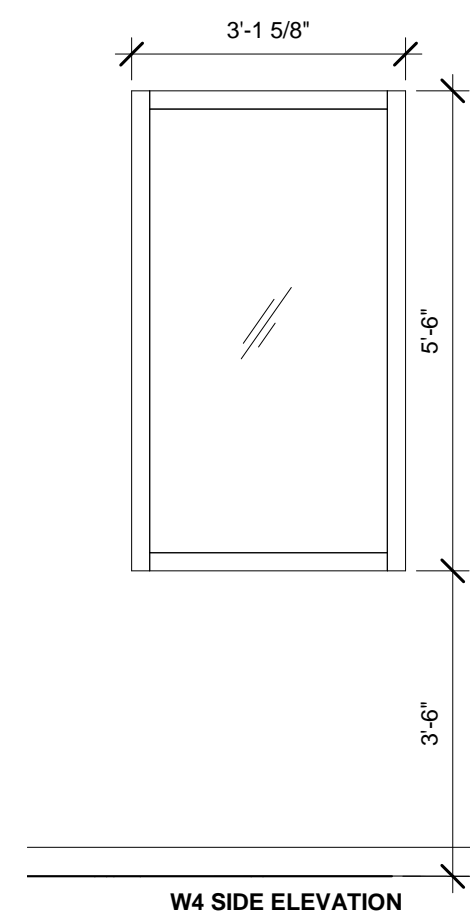
Project Number:
142-002-18
Sheet Title:
DOOR & HARDWARE SCHEDULE

Sheet Number:
A100

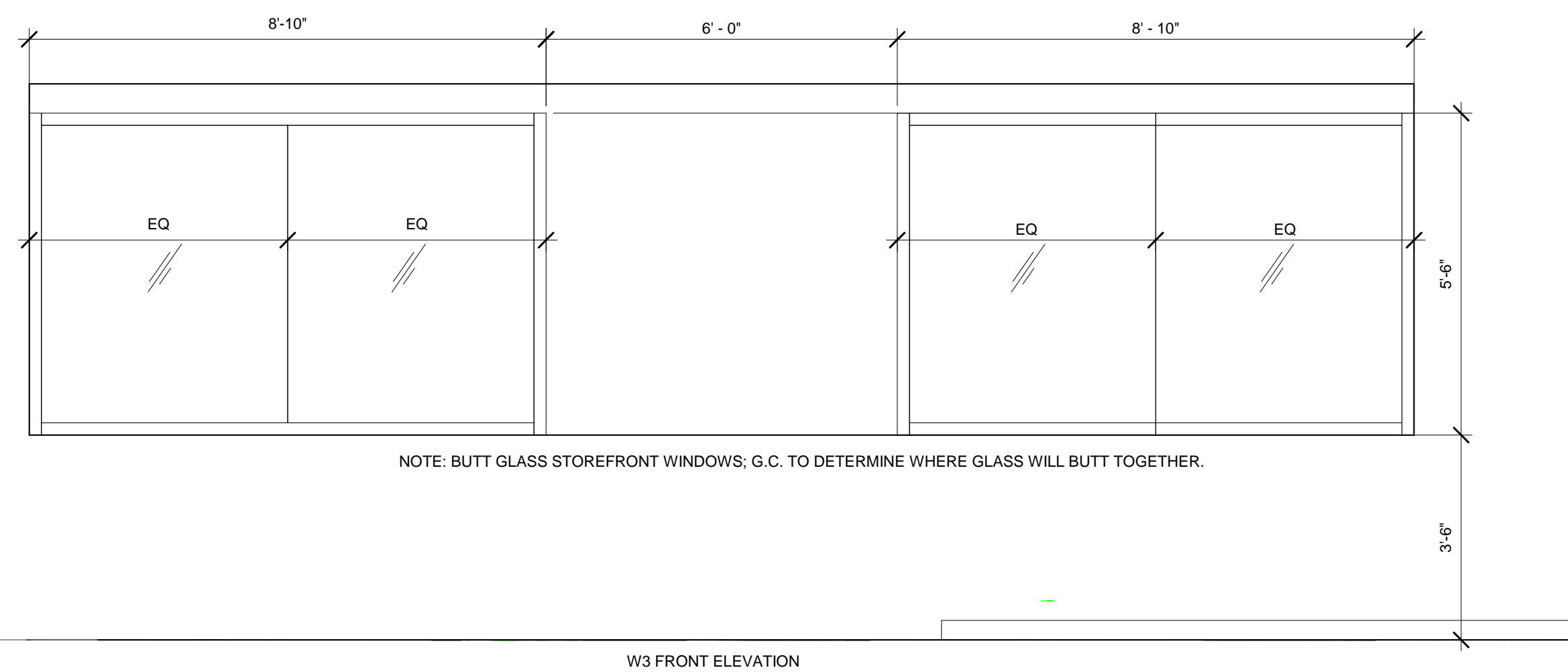


NOTE: BUTT GLASS STOREFRONT WINDOWS; G.C. TO DETERMINE WHERE GLASS WILL BUTT TOGETHER

W4 FRONT ELEVATION

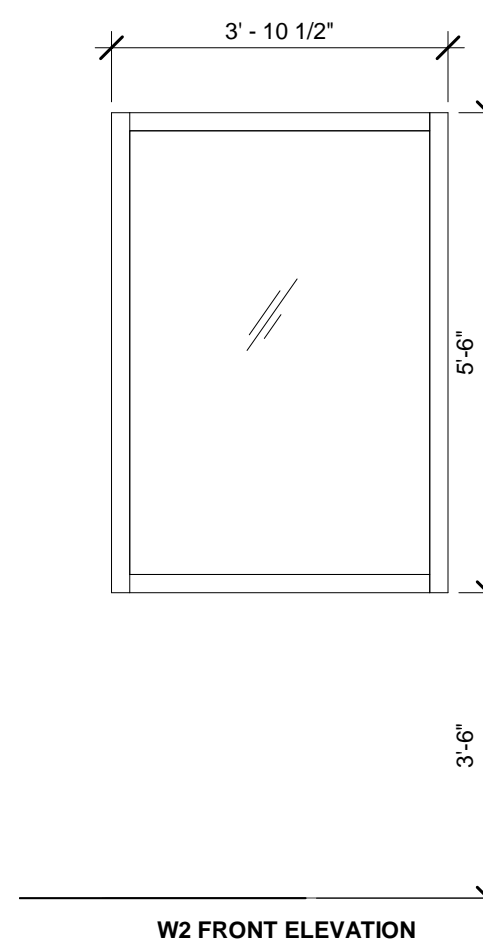


W4 SIDE ELEVATION

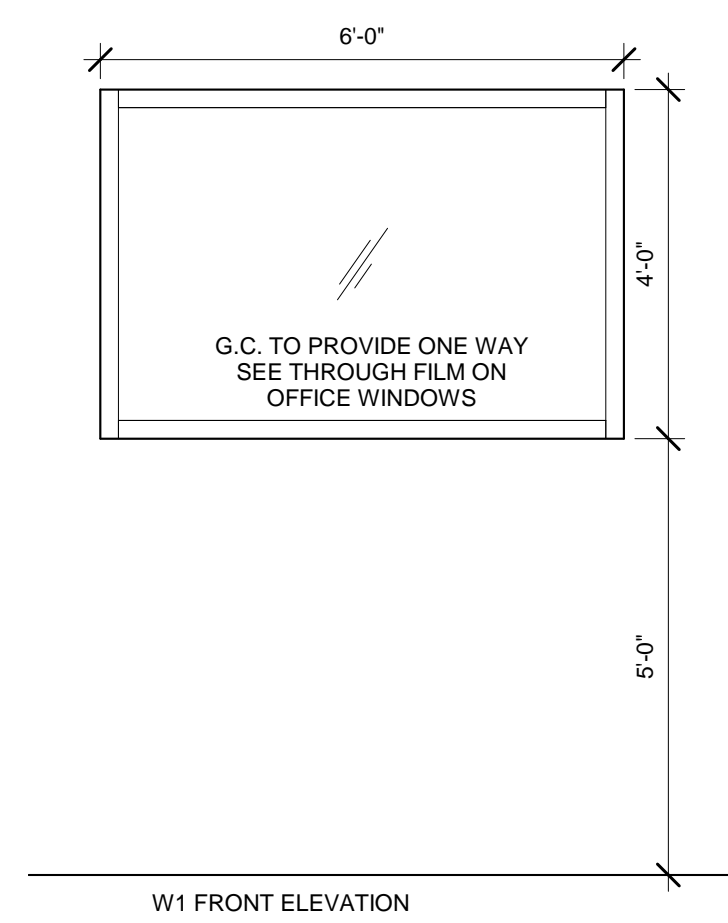


NOTE: BUTT GLASS STOREFRONT WINDOWS; G.C. TO DETERMINE WHERE GLASS WILL BUTT TOGETHER.

W3 FRONT ELEVATION



W2 FRONT ELEVATION



W1 FRONT ELEVATION

○ WINDOW TYPES
1/2" = 1'-0"

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Stamp:



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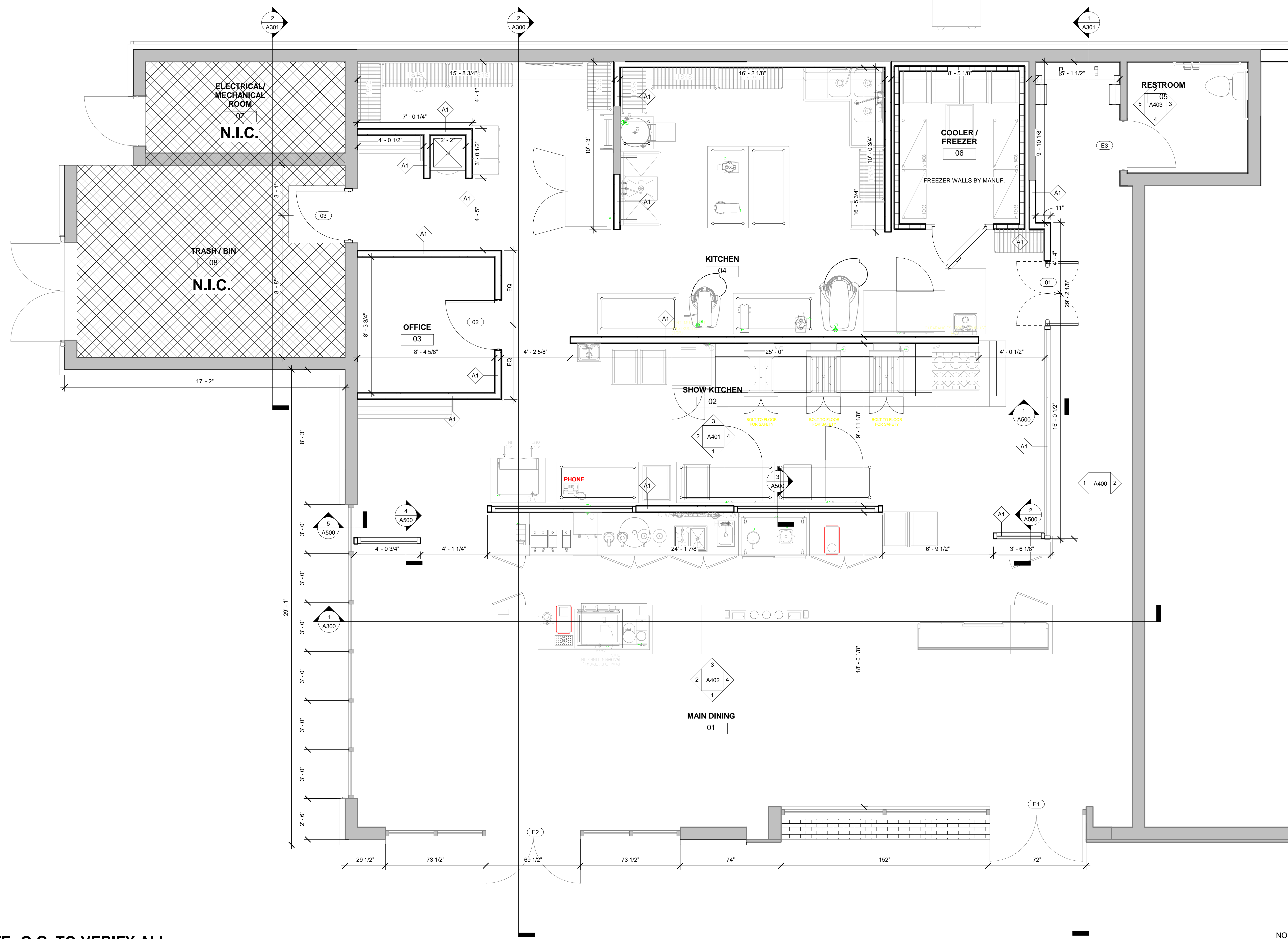
NO.	REASON	DATE

PRINCIPAL IN CHARGE:
 GEORGE COOL
PROJECT MANAGER:
 WILLIAM AYALA
DRAWN BY:
 WILLIAM AYALA

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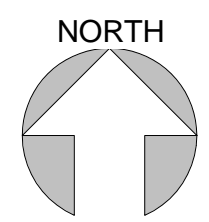
Project Number:
 142-002-18
Sheet Title:
 WINDOW SCHEDULE

Sheet Number:
A101



NOTE: G.C. TO VERIFY ALL EXTERIOR WALLS & DOOR LOCATIONS

1 FLOOR PLAN
3/8" = 1'-0"

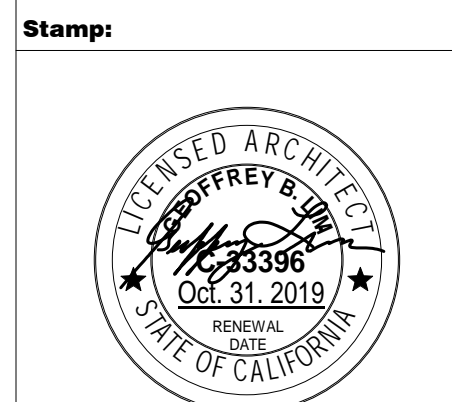


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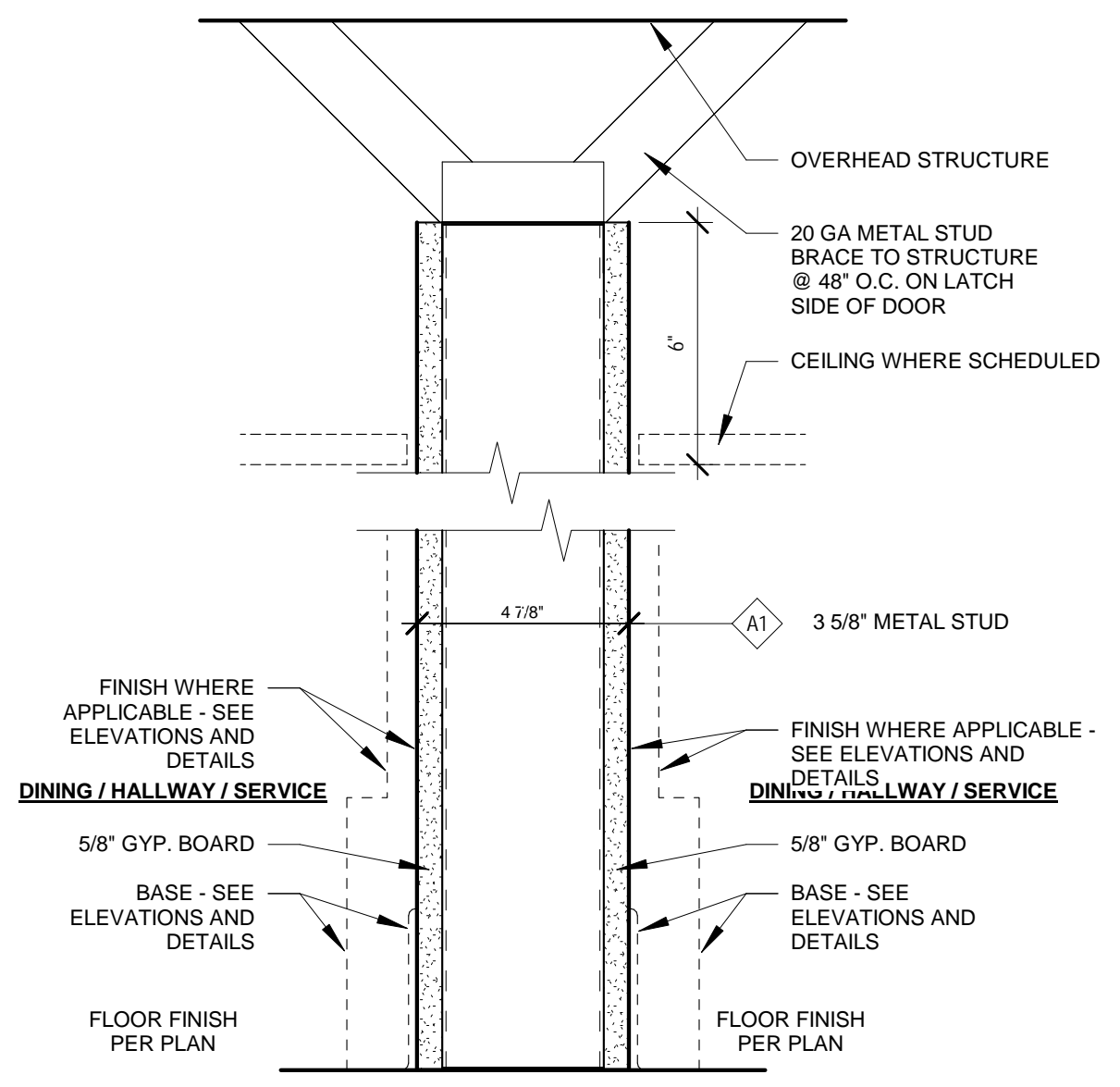
PRINCIPAL IN CHARGE:
GEOFFREY B. LIM
PROJECT MANAGER:
WILLIAM AYALA
DRAWN BY:
WILLIAM AYALA

Project Address:
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UNIT #B&C
TUSTIN, CA 92780

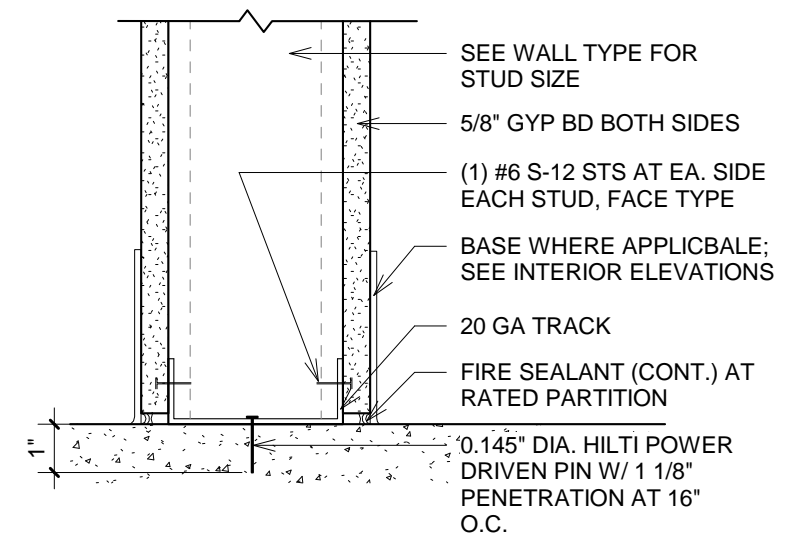
Project Number:
142-002-18

Sheet Title:
FLOOR PLAN - DIMENSIONED & NOTED

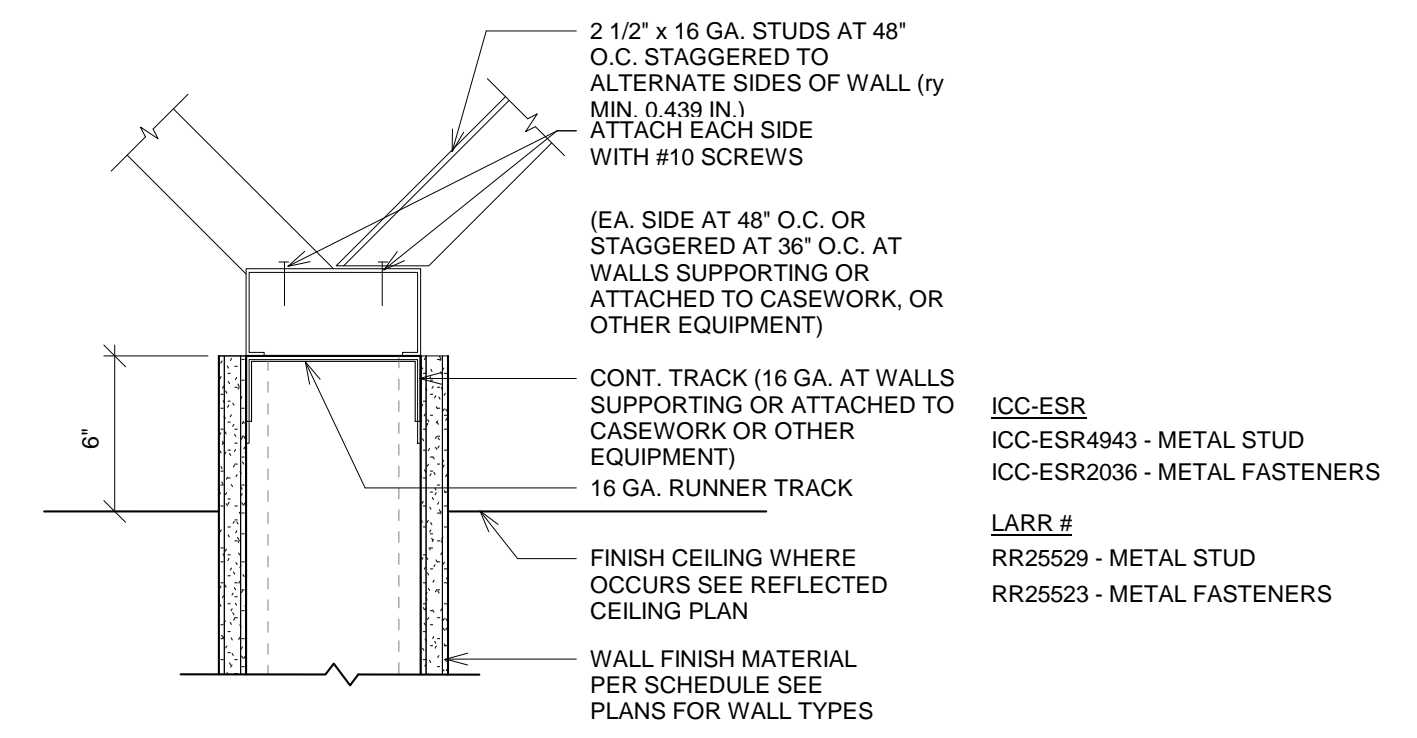
Sheet Number:
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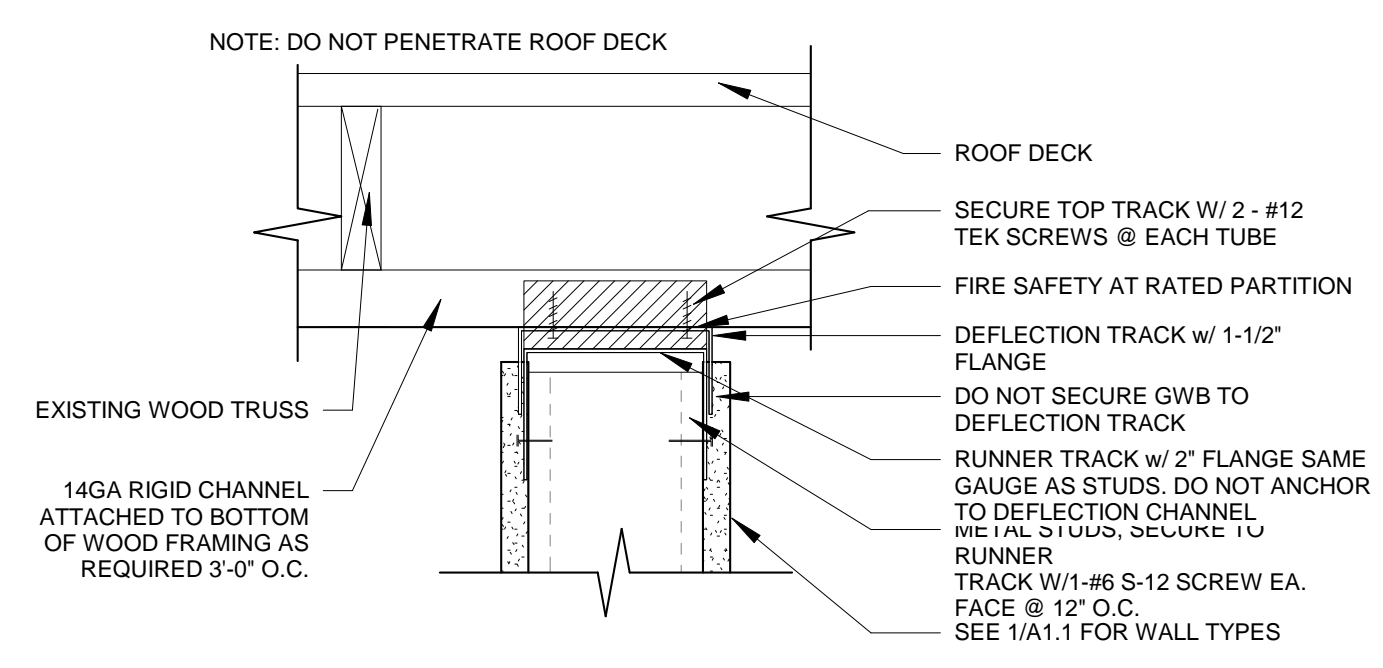
6 WALL PARTITION DETAIL
3" = 1'-0"



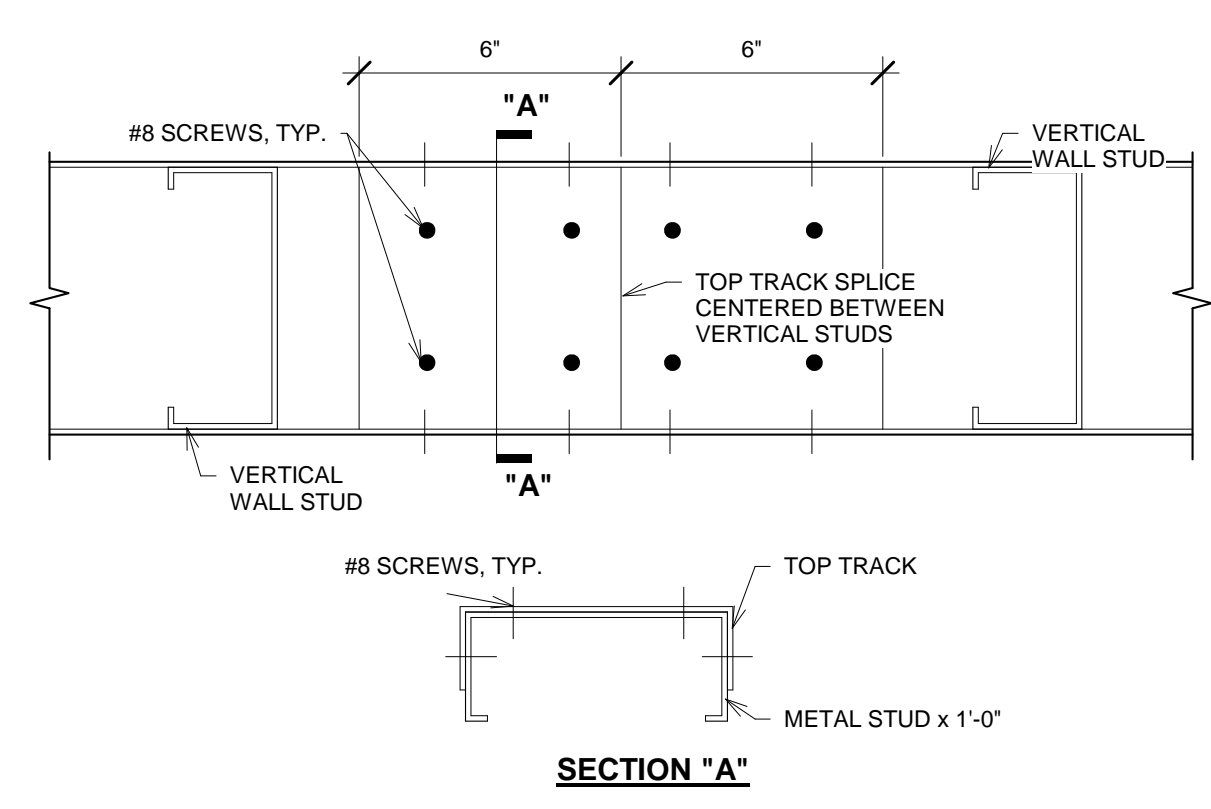
5 WALL PARTITION DETAIL
3" = 1'-0"



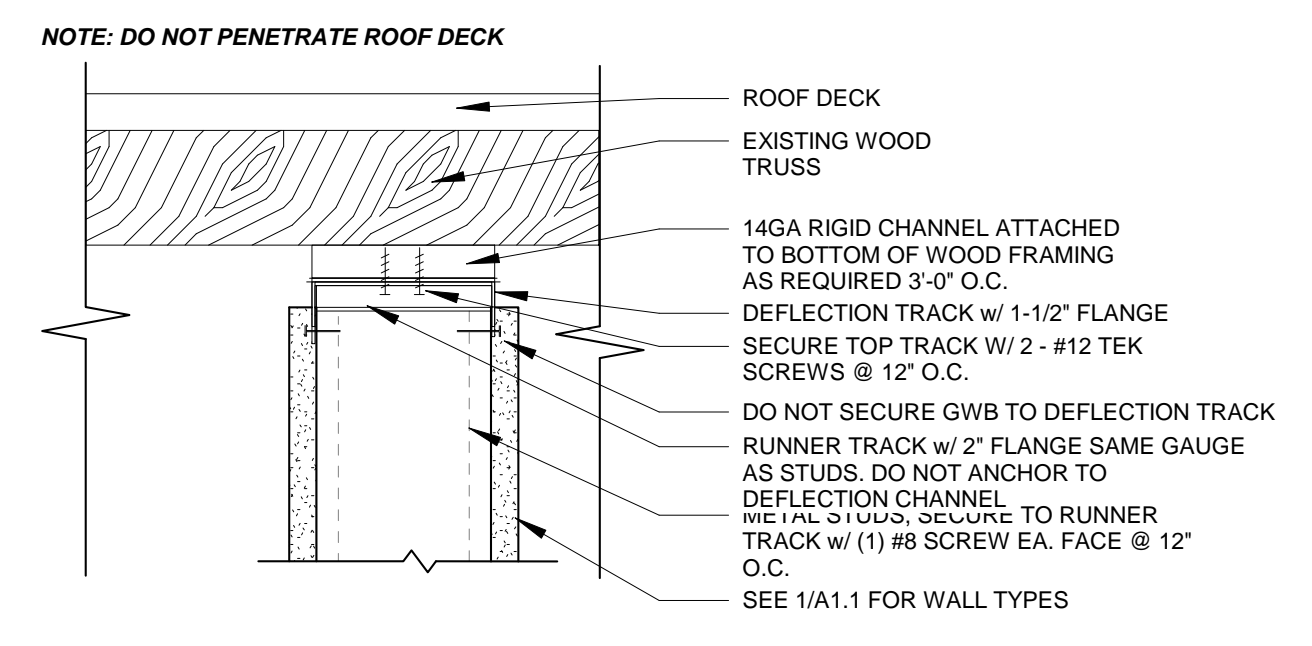
4 WALL PARTITION DETAIL
3" = 1'-0"



3 WALL PARTITION DETAIL
3" = 1'-0"



2 WALL PARTITION DETAIL
3" = 1'-0"



1 WALL PARTITION DETAIL
3" = 1'-0"

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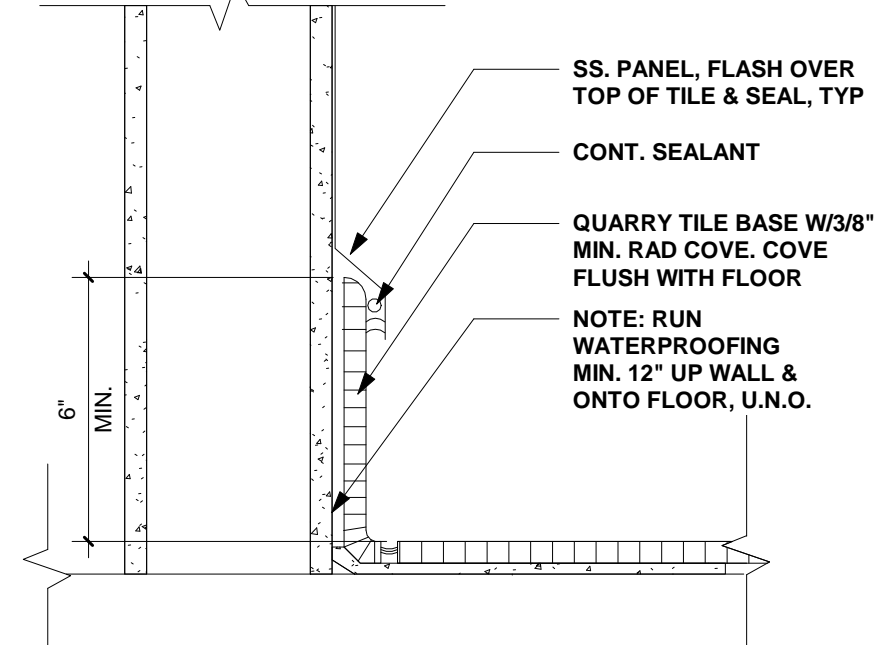
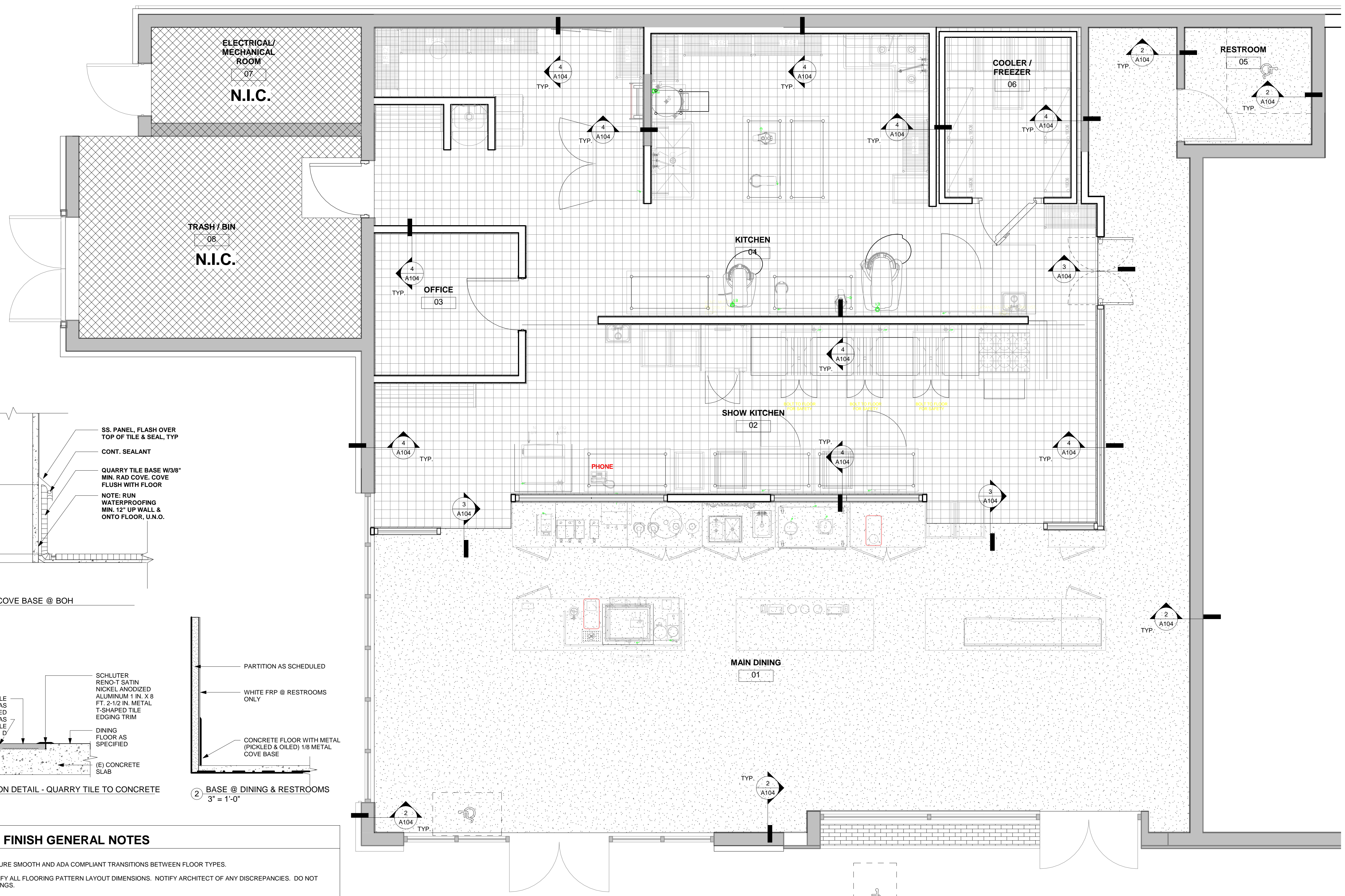
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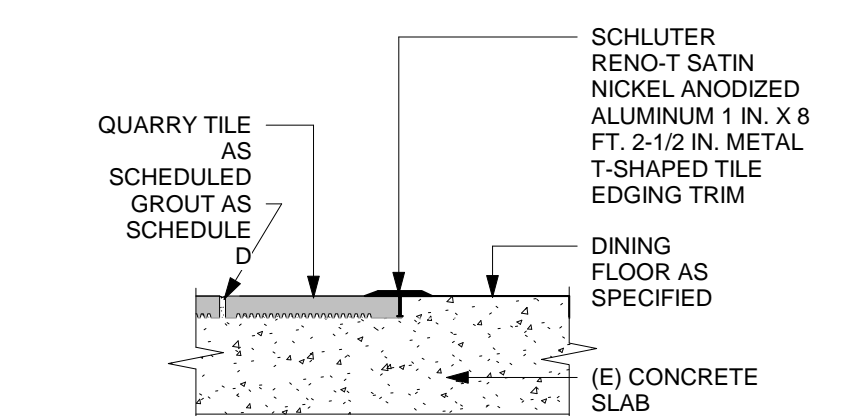
Principal in Charge:
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Project Manager:
 WILLIAM AYALA
Drawn By:
 WILLIAM AYALA
Project Address:
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Project Number:
 142-002-18
Sheet Title:
 WALL PARTITIONS

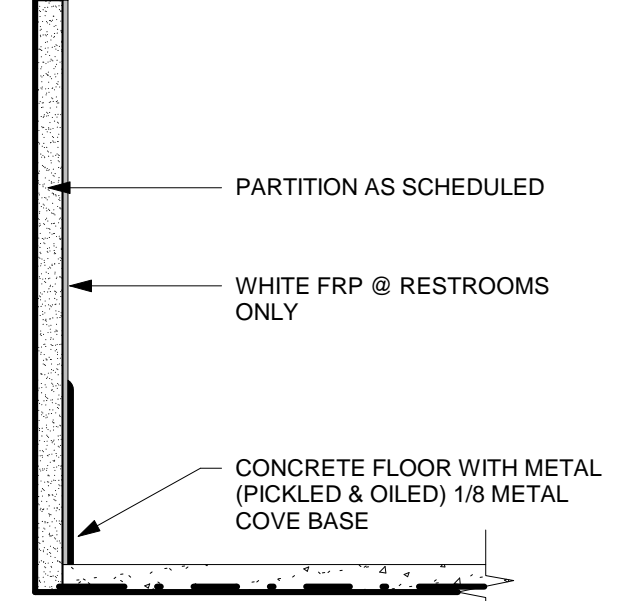
Sheet Number:
 A103



4 QUARRY COVE BASE @ BOH
3" = 1'-0"



3 TRANSITION DETAIL - QUARRY TILE TO CONCRETE
3" = 1'-0"



2 BASE @ DINING & RESTROOMS
3" = 1'-0"

FLOOR FINISH GENERAL NOTES

- A. GC TO ENSURE SMOOTH AND ADA COMPLIANT TRANSITIONS BETWEEN FLOOR TYPES.
- B. GC TO VERIFY ALL FLOORING PATTERN LAYOUT DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
- C. GC TO MAINTAIN COVER/PROTECTION OF FLOORING THROUGH OWNER TRAINING & REMOVE ONLY AT OWNER REQUEST.
- D. G.C. TO USE SELF LEVELING CONCRETE FOR INFILL OF INTERIOR CONCRETE SLAB. G.C. TO CREATE SMOOTH FINISH TO ACCEPT FINISH FLOORING AS SCHEDULED SO THAT TOP OF FINISH FLOORING ALIGNS WITH EXTERIOR SLAB AND CREATES SMOOTH TRANSITION & ADA COMPLIANT.

FLOOR FINISH KEY NOTES

- 1. EXISTING EXTERIOR FINISHES TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION.

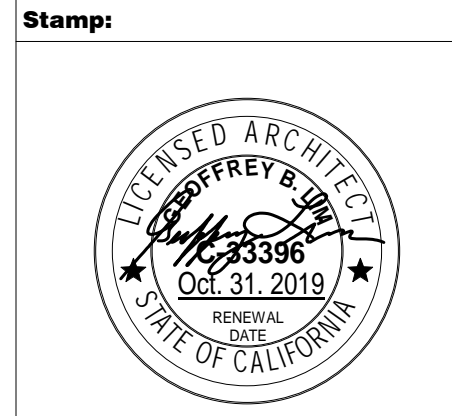
1 FINISH PLAN
3/8" = 1'-0"

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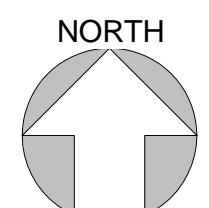
PRINCIPAL IN CHARGE:
 JOHN COOL
 PROJECT MANAGER:
 WILLIAM AYALA
 DRAWN BY:
 WILLIAM AYALA

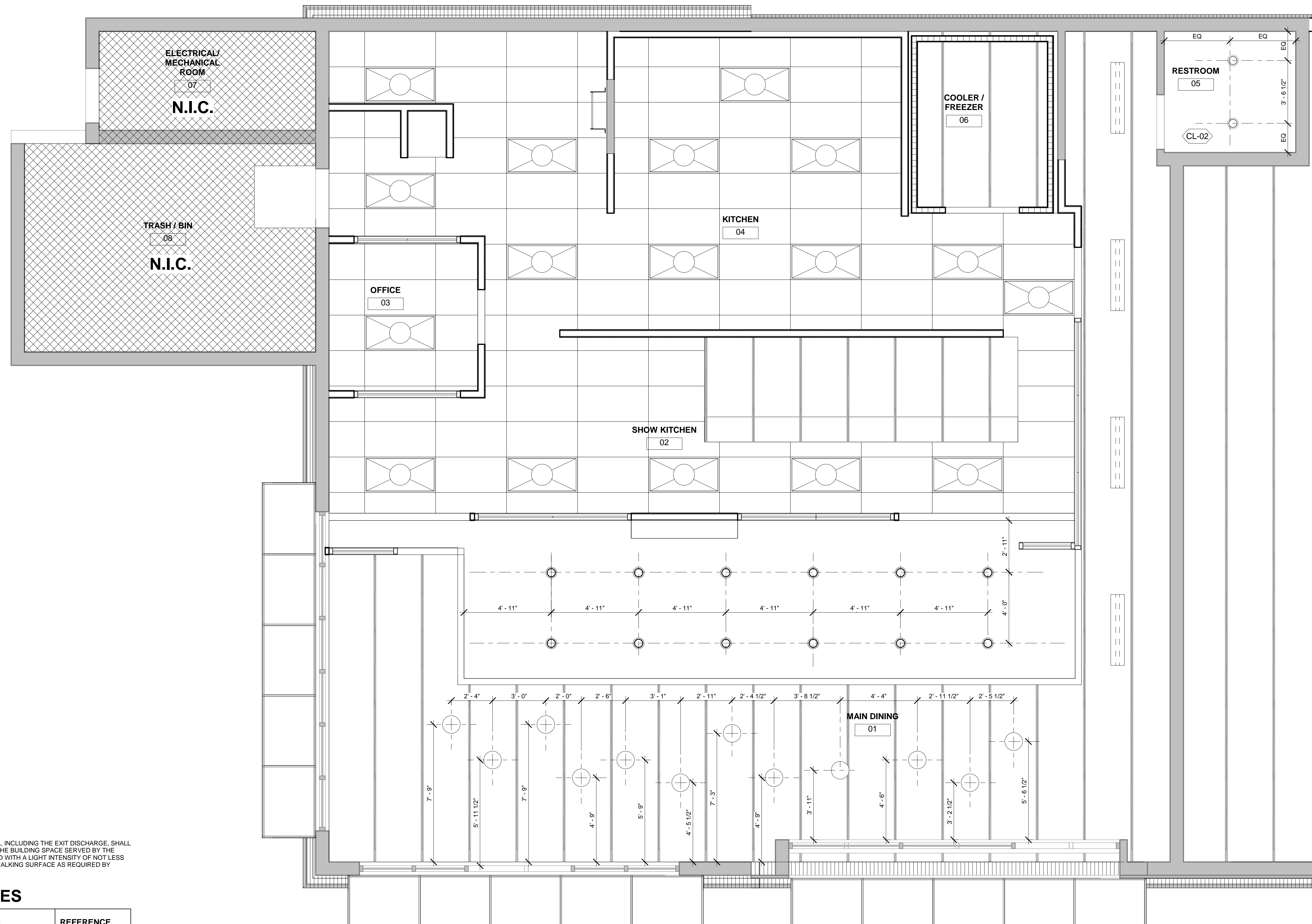
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Project Number:
 142-002-18

Sheet Title:
 FLOOR FINISH PLAN &
 TRANSITION DETAILS

Sheet Number:
 A104





EGRESS ILLUMINATION NOTES:
 THE MEANS OF EGRESS TRAVEL, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE AS REQUIRED BY BUILDING CODE 1006.1 & 1006.2

CEILING TYPES

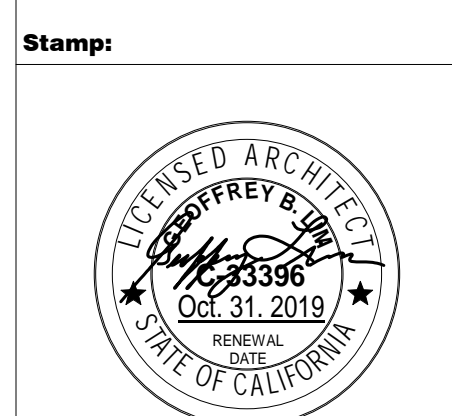
MARK	DESCRIPTION	REFERENCE DETAILS
CL-1	24"X48" USG Stipple White #3270 color: White	1 A202
CL-2	5/8" GYP. BOARD CEILING, SEE PLAN FOR FINISH.	2 A202

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NO.	REASON	DATE

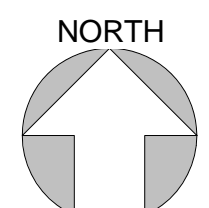
PRINCIPAL IN CHARGE:
 GEORGE COOL
PROJECT MANAGER:
 WILLIAM AYALA
DRAWN BY:
 WILLIAM AYALA

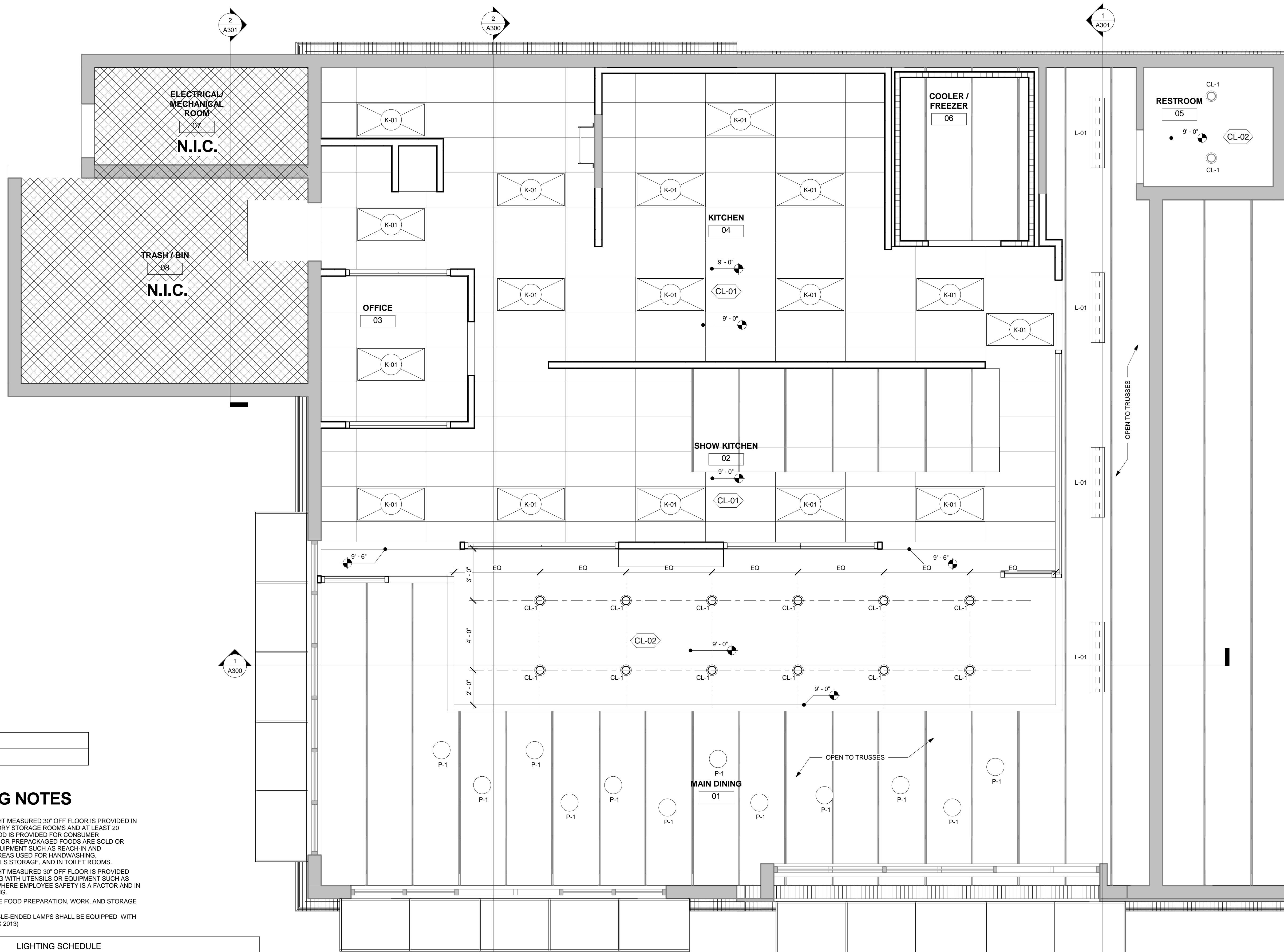
Project Address:
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Project Number:
 142-002-18

Sheet Title:
 REFLECTED CEILING
 PLAN - DIMENSIONED

Sheet Number:
A200





NOTE:
EXISTING TRUSSES TO REMAIN.

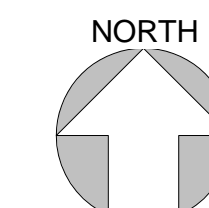
LIGHTING NOTES

1. A MINIMUM OF 10 FOOT-CANDLES OF LIGHT MEASURED 30" OFF FLOOR IS PROVIDED IN WALK-IN REFRIGERATED STORAGE AND DRY STORAGE ROOMS AND AT LEAST 20 FOOT-CANDLES IS PROVIDED WHERE FOOD IS PROVIDED FOR CONSUMER SELF-SERVICE. WHERE FRESH PRODUCE OR PREPACKAGED FOODS ARE SOLD OR OFFERED FOR CONSUMPTION; INSIDE EQUIPMENT SUCH AS REACH-IN AND UNDER-COUNTER REFRIGERATORS; IN AREAS USED FOR HANDWASHING, WAREWASHING, EQUIPMENT AND UTENSILS STORAGE, AND IN TOILET ROOMS.
2. A MINIMUM OF 50 FOOT-CANDLES OF LIGHT MEASURED 30" OFF FLOOR IS PROVIDED WHEN WORKING WITH FOOD OR WORKING WITH UTENSILS OR EQUIPMENT SUCH AS KNIVES, SLIVERS, GRINDERS, OR SAWS WHERE EMPLOYEE SAFETY IS A FACTOR AND IN ALL AREAS DURING PERIODS OF CLEANING.
3. SHATTERSHIELDS FOR ALL LIGHTS ABOVE FOOD PREPARATION, WORK, AND STORAGE AREAS WILL BE PROVIDED.
4. ALL FLUORESCENT FIXTURES WITH DOUBLE-ENDED LAMPS SHALL BE EQUIPPED WITH DISCONNECT MEANS PER 410.73(G) (SCEC 2013)

LIGHTING SCHEDULE

Type Mark	Count	Description	Manufacturer	Model	Mounting	Lamp	Comments	Rep Information
CL-1	14	CAN LIGHTS	TBD	TBD		A-19		
K-01	17	2X4 TROFFER LIGHTS	TBD	TBD		T-12		
L-01	4	LED LINEAR LIGHTS	TBD	TBD		(2) T12		
P-1	12	GLOBE PENDANT LIGHT	TBD	TBD		A-21		
Grand total: 47								

① REFLECTED CEILING PLAN - NOTED
3/8" = 1'-0"




Design Consultant:

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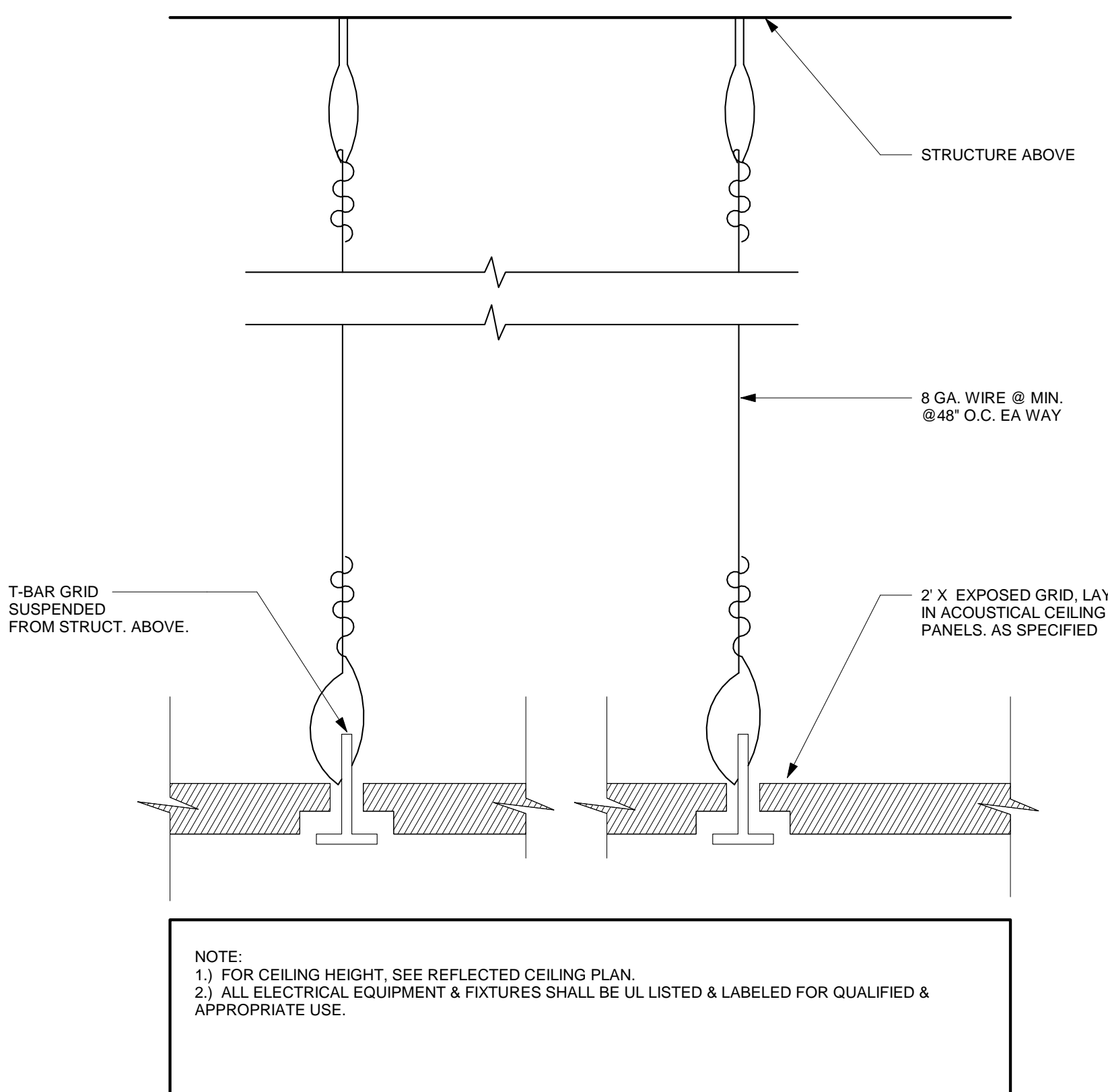
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NO.	REASON	DATE

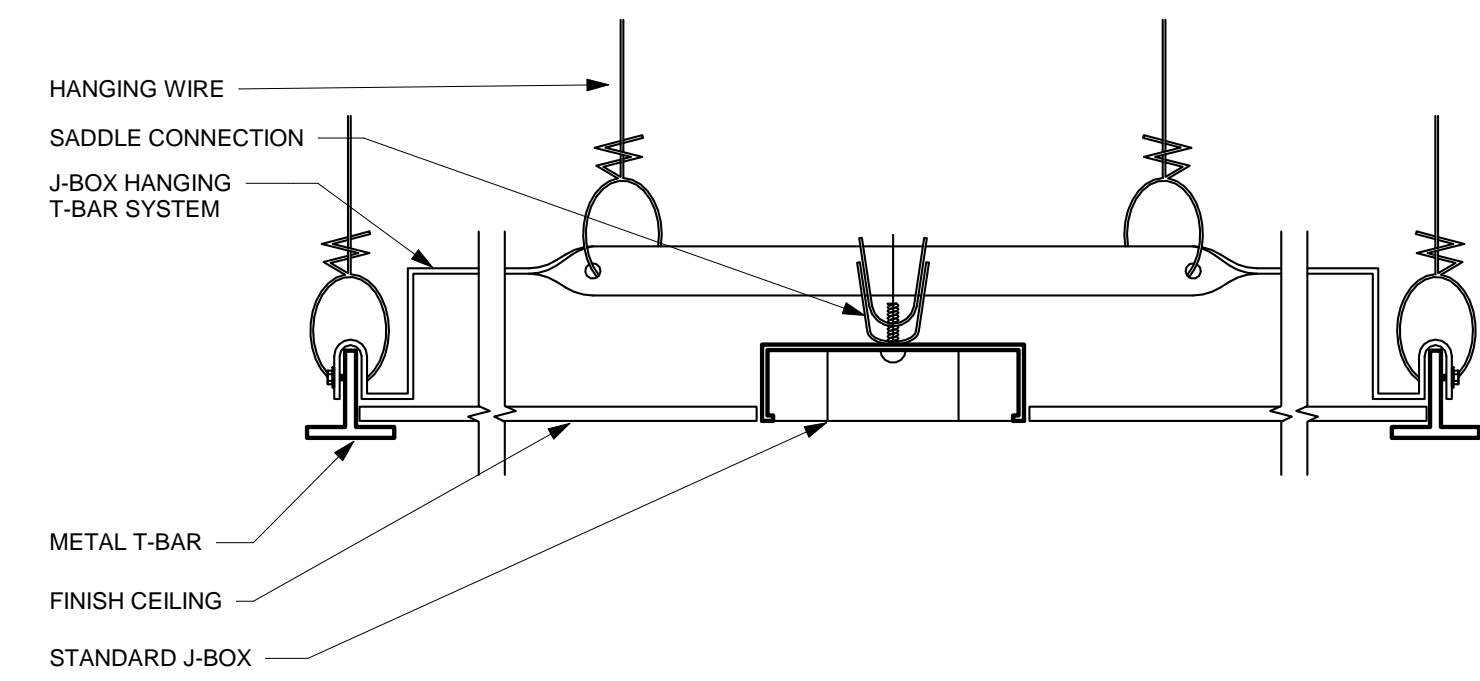
PRINCIPAL IN CHARGE:
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 PROJECT MANAGER:
 WILLIAM AYALA
 DRAWN BY:
 WILLIAM AYALA
Project Address:
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Project Number:
 142-002-18
Sheet Title:
 REFLECTED CEILING
 PLAN - NOTED

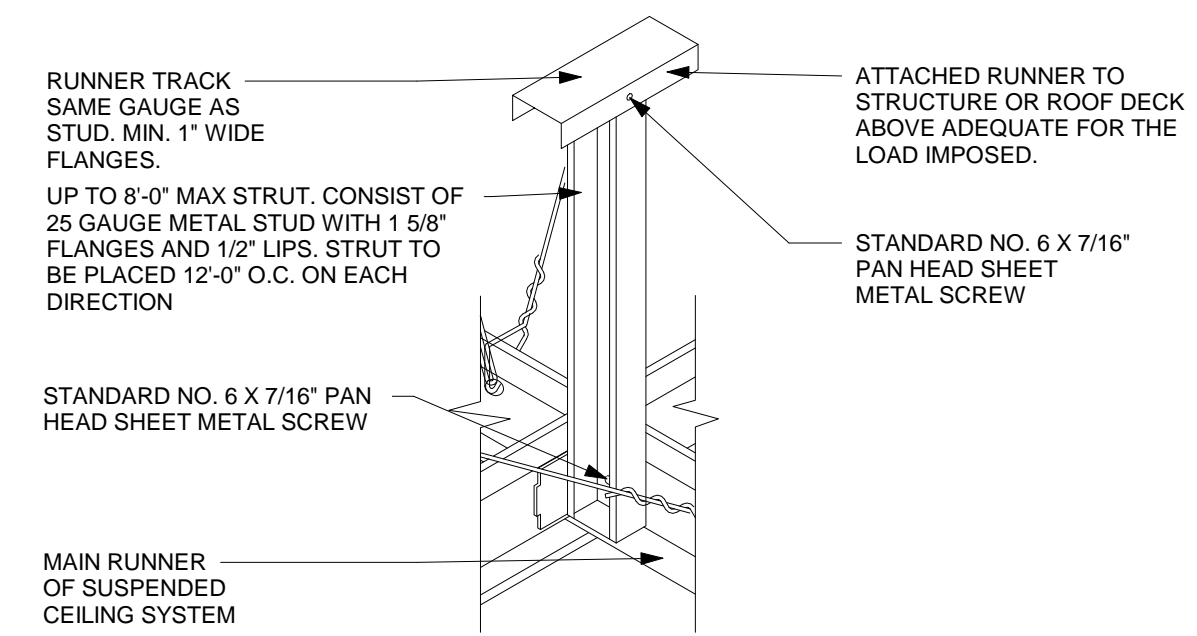
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A201



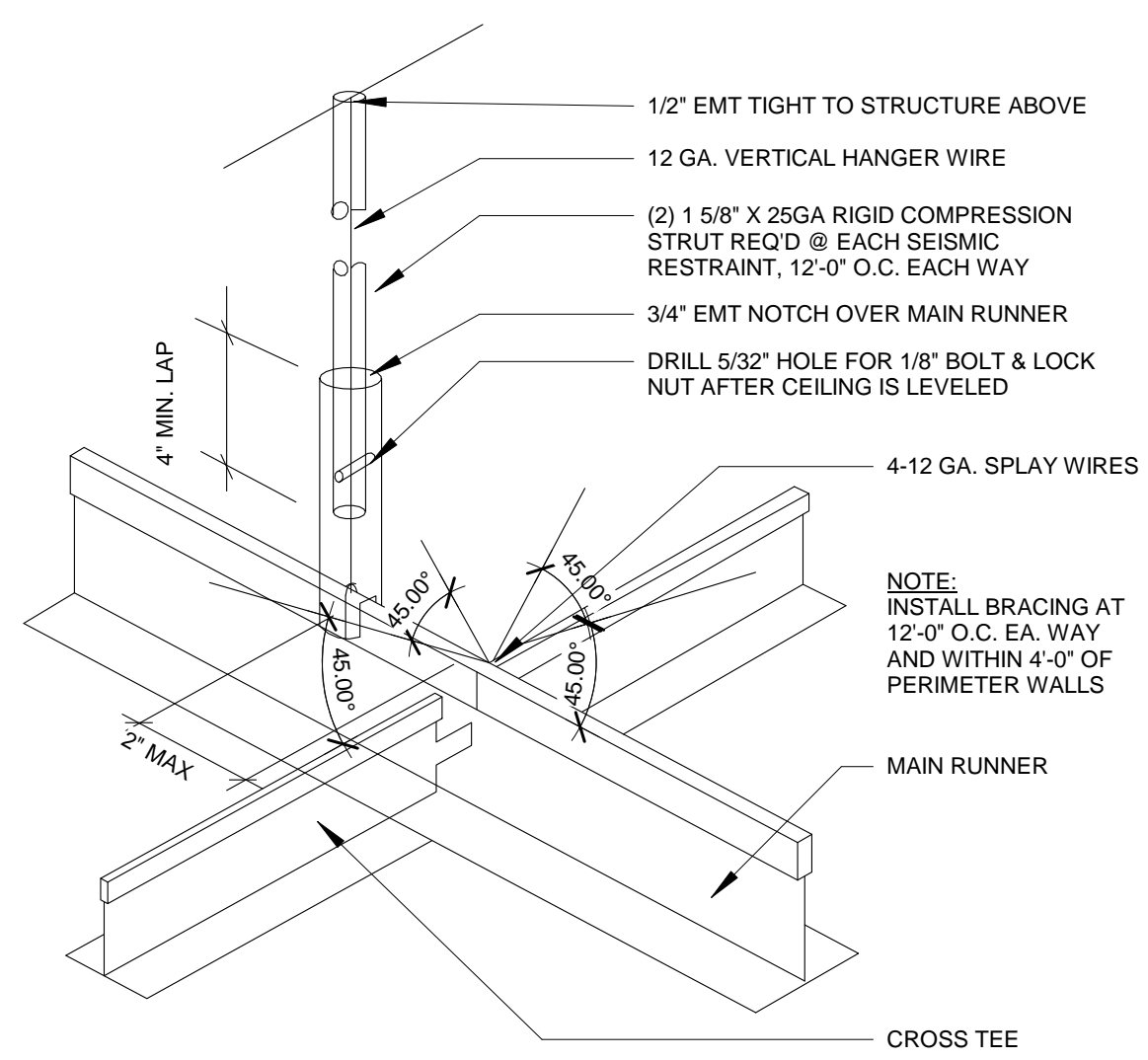
1 TYP. CEILING TILE DETAIL
6" = 1'-0"



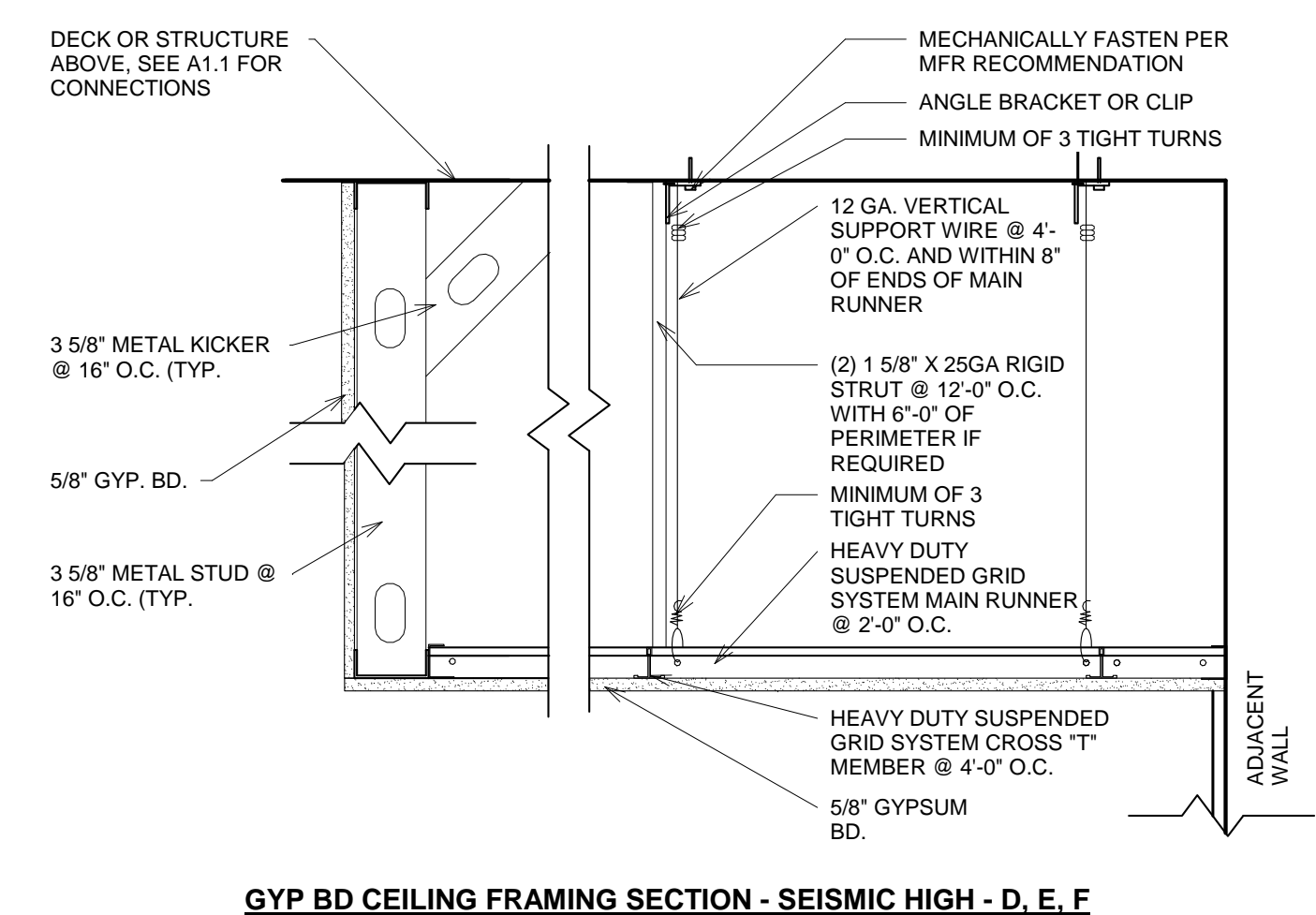
2 TYP. J-BOX @ CEILING GRID
3" = 1'-0"



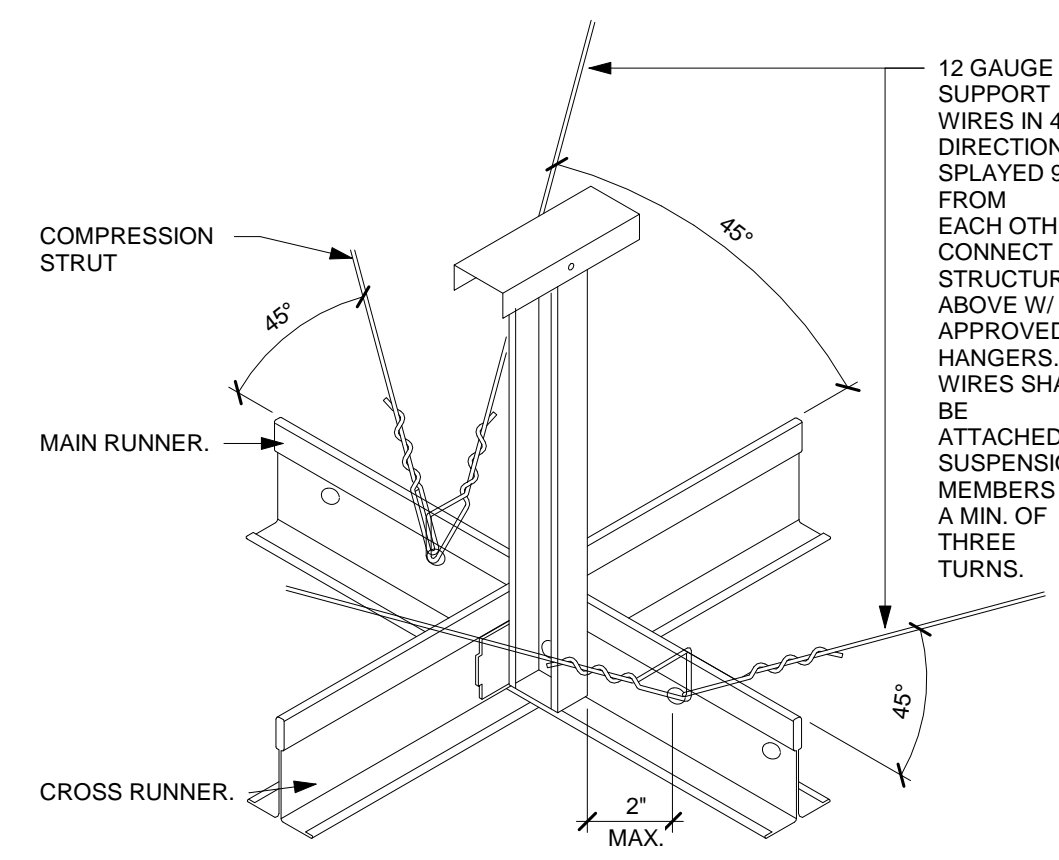
3 COMPRESSION STRUT @ CEILING
3" = 1'-0"



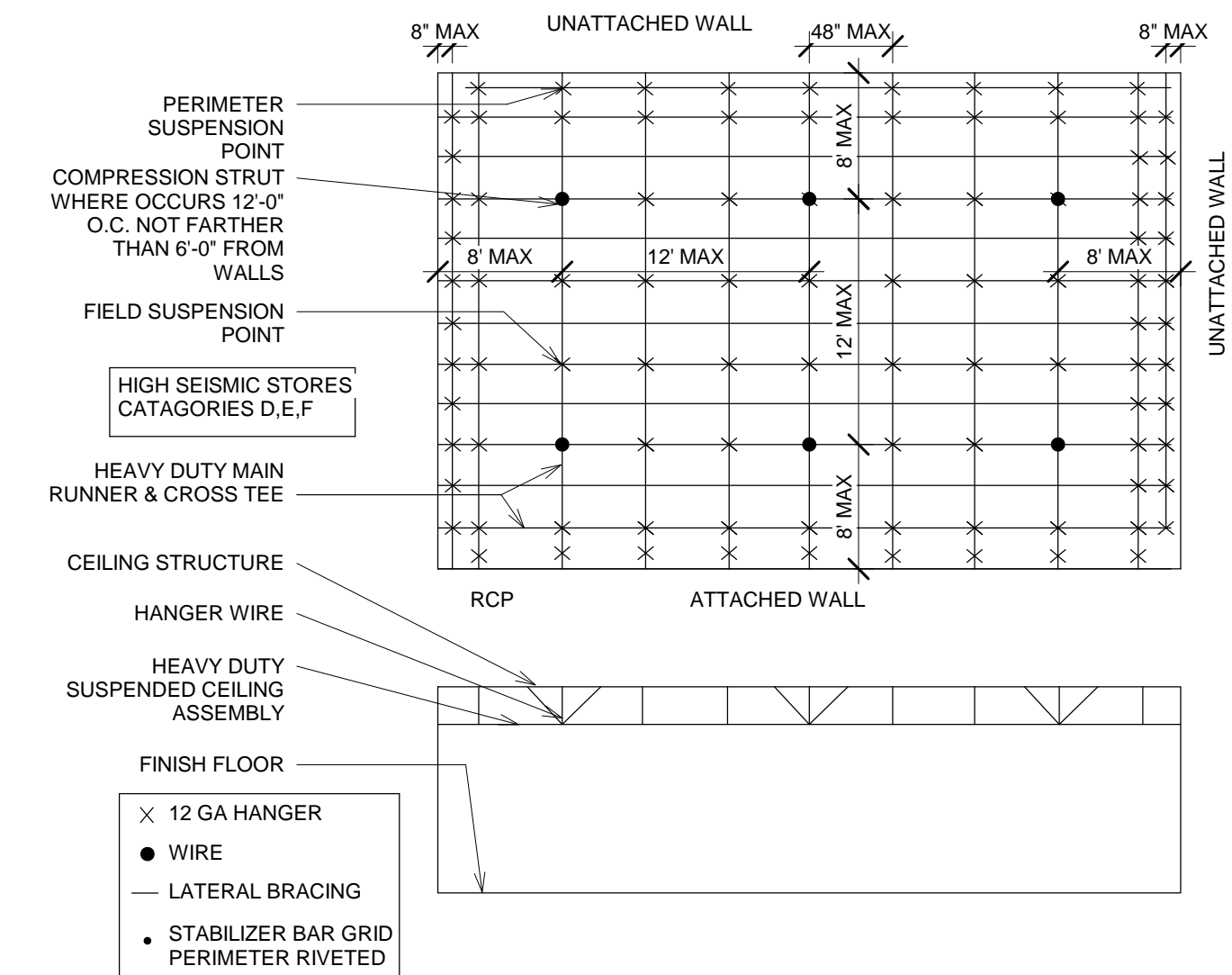
4 COMPRESSION STRUT @ CEILING
3/8" = 1'-0"



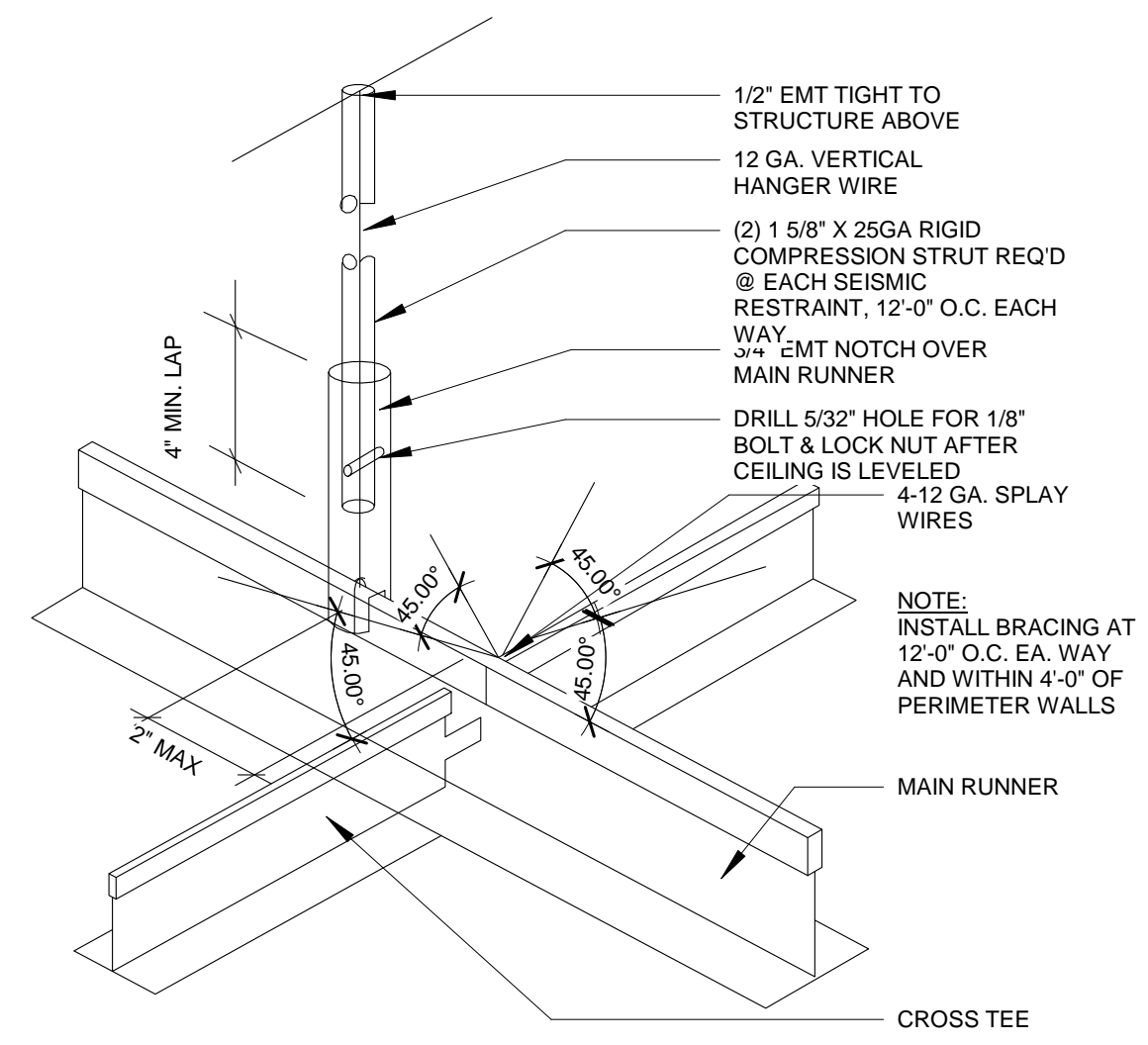
5 COMPRESSION STRUT @ CEILING
1 1/2" = 1'-0"



6 CEILING BRACING DETAIL
3" = 1'-0"



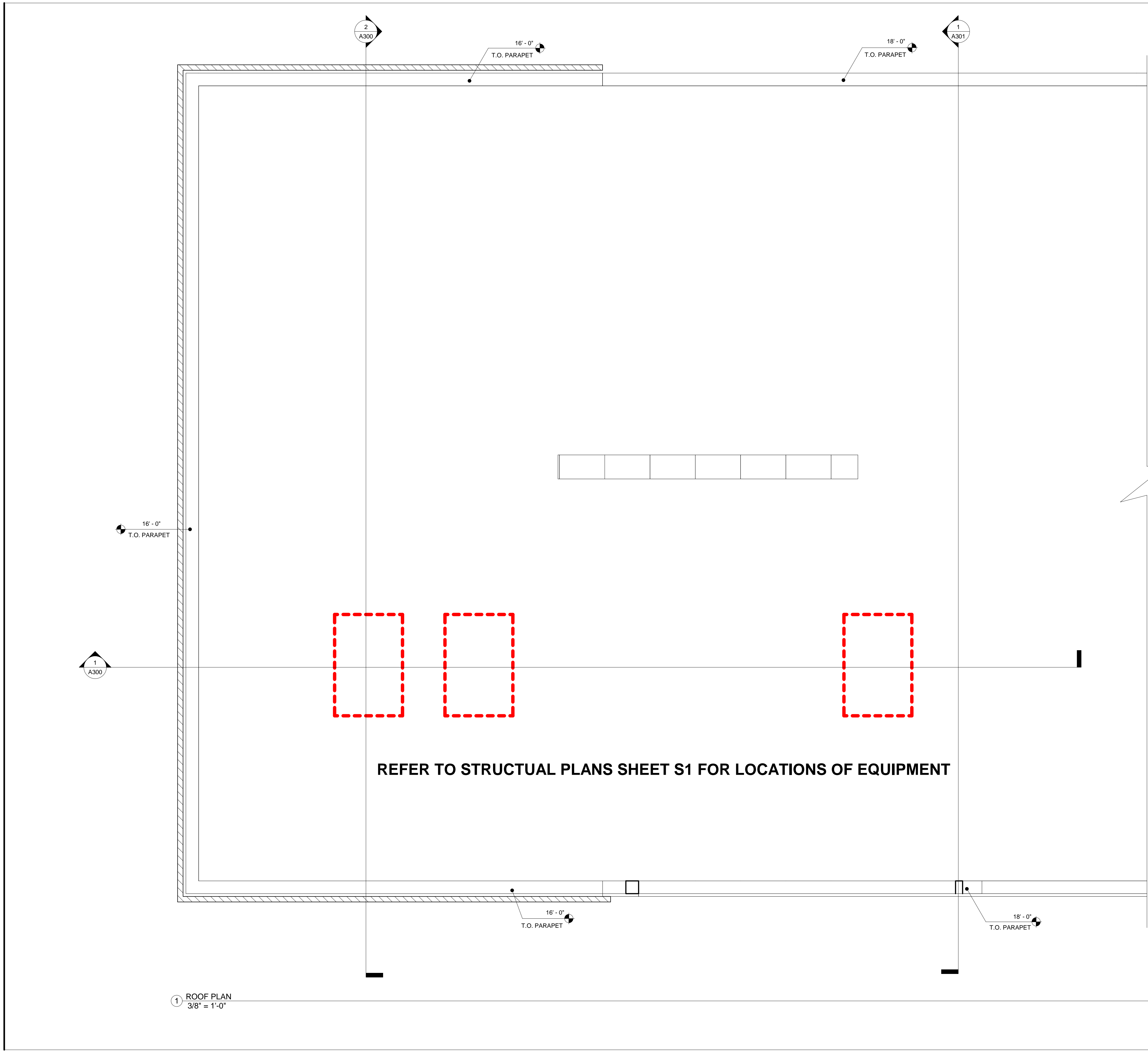
7 COMPRESSION STRUT @ CEILING
1/8" = 1'-0"



8 COMPRESSION STRUT @ CEILING
3/8" = 1'-0"

STRUT SIZING CHART		NOTES	HIGH SEISMIC STORES CATAGORIES D, E, F
SIZE	MAX HT	HIGH SEISMIC	
0.5" DIA X 22 GA.	3' - 0"	1. ENDS OF MAIN BEAMS AND CROSS TEES MUST BE TIED TOGETHER TO PREVENT THEIR SPREADING.	
0.75" DIA X 22 GA.	4' - 3"	2. INSTALL CLG. GRID USING #12 GA WIRE HANGERS @ 4' MAX O.C. & 6' MAX FROM PERIMETER WALL.	
1" DIA X 20 GA.	5' - 0"	3. HEAVY DUTY GRID SYSTEM REQUIRED.	
1.25" DIA X 20 GA.	7' - 0"	4. CEILING AREA > 1000 SQ FT TO HAVE HORIZONTAL RESTRAINT WIRE AND RIGID BRACING	
1.5" DIA X 20 GA.	8' - 6"	5. CEILING AREA > 2500 SQ FT TO HAVE SEISMIC SEPARATION JOINTS OR FULL HEIGHT PARTITION.	
2" DIA X 20 GA.	11' - 6"	6. CEILING WITH/OUT RIGID BRACING MUST HAVE 2" OVERSIZED TRIM RINGS FOR SPRINKLERS AND OTHER PENETRATIONS.	
2.5" DIA X 18 GA.	14' - 6"	7. CHANGES IN CEILING PLANE MUST HAVE POSITIVE BRACING.	
3" DIA X 18 GA.	17' - 3"	8. CABLE TRAYS AND ELECTRICAL CONDUITS MUST BE INDEPENDENTLY SUPPORTED AND BRACED.	
3.5" DIA X 18 GA.	23' - 3"	9. LIGHT FIXTURES (ALL TYPES) TO BE MECHANICALLY ATTACHED TO GRID PER NEC 410-16 (TWO 12 GA WIRES PER FIXTURE UNLESS INDEPENDENTLY SUPPORTED)	

NO.	REASON	DATE



ROOF PLAN GENERAL NOTES
 A. REFERENCE STRUCTURAL AND MECHANICAL ROOF PLANS FOR ADDITIONAL INFORMATION.

ROOF PLAN KEYNOTES

1	EXISTING RTU; VERIFY EXACT LOCATION IN FIELD
2	EXISTING EXHAUST FAN; VERIFY EXACT LOCATION IN FIELD
3	EXISTING HVAC EQUIPMENT; VERIFY EXACT LOCATION IN FIELD
4	DEMISING WALL DASHED BELOW FOR REFERENCE
5	NEW EXHAUST FAN; VERIFY EXACT LOCATION IN FIELD
6	NEW MAKE UP AIR UNIT; VERIFY EXACT LOCATION IN FIELD

Design Consultant:



ARCHITECT:

GEOFFREY B. LIM
 AIA, NCARB, LEED AP

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Issue For:
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Issue Date:
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NO.	REASON	DATE

PRINCIPAL IN CHARGE:
 GEORGE COOL
PROJECT MANAGER:
 WILLIAM AYALA
DRAWN BY:
 WILLIAM AYALA

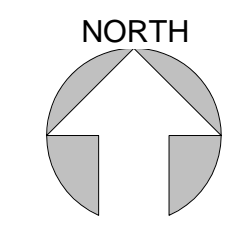
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Project Number:
 142-002-18

Sheet Title:
 ROOF PLAN

Sheet Number:
 A203

1 ROOF PLAN
 3/8" = 1'-0"



Design Consultant:

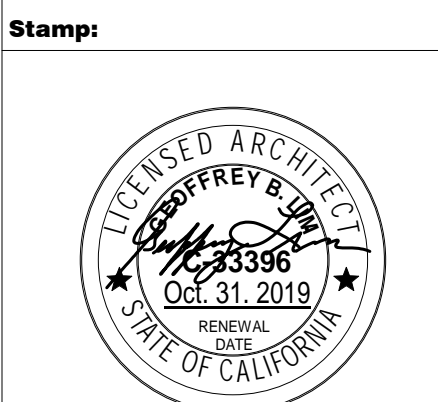
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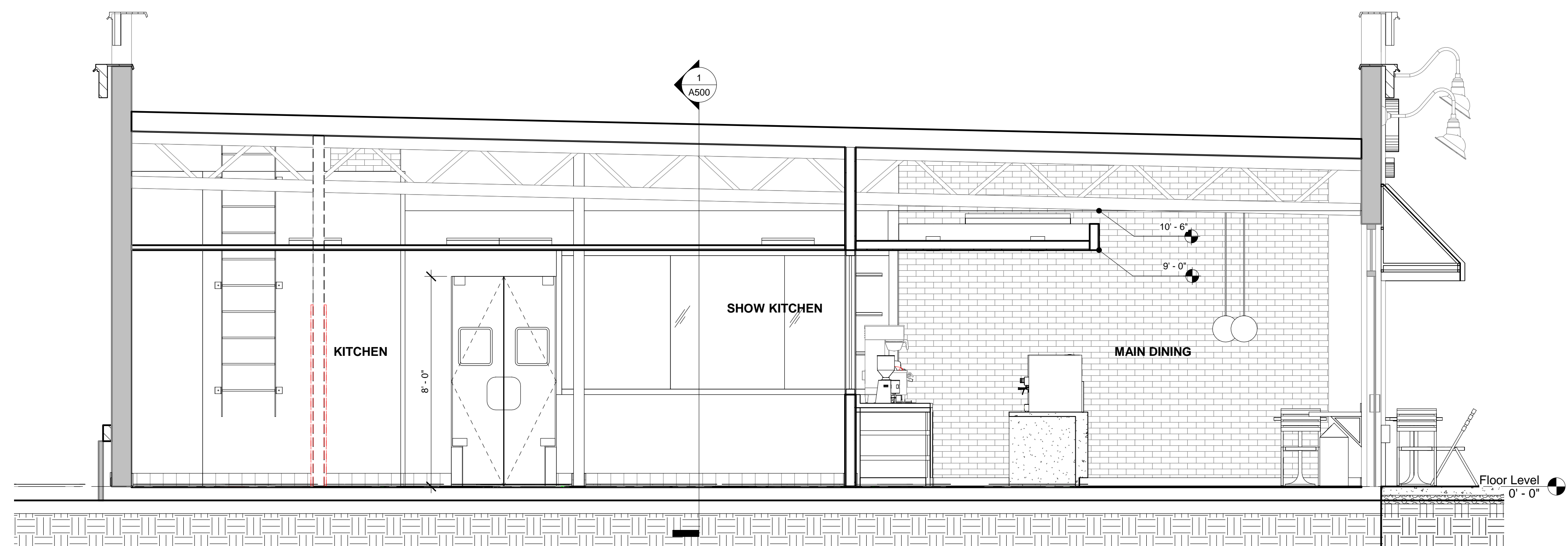
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PROJECT MANAGER:
 WILLIAM AYALA
DRAWN BY:
 WILLIAM AYALA

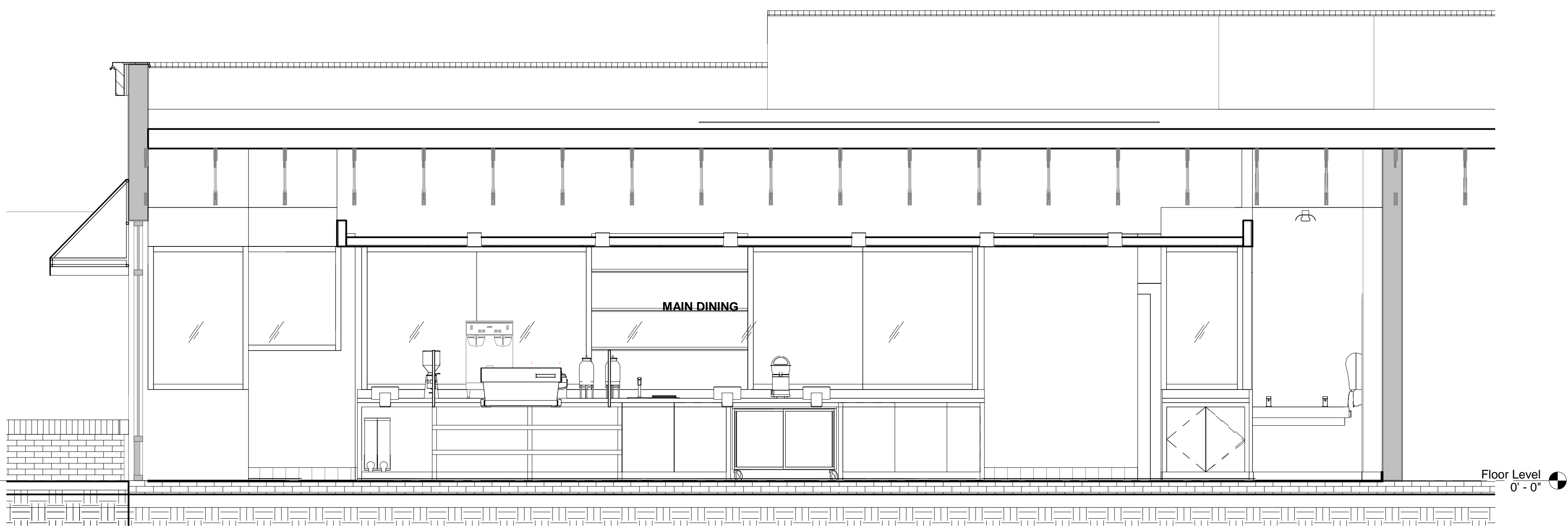
Project Address:
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 TUSTIN, CA 92780

Project Number:
 142-002-18
Sheet Title:
 BUILDING SECTIONS

Sheet Number:
A300



2 Section 1
 3/8" = 1'-0"

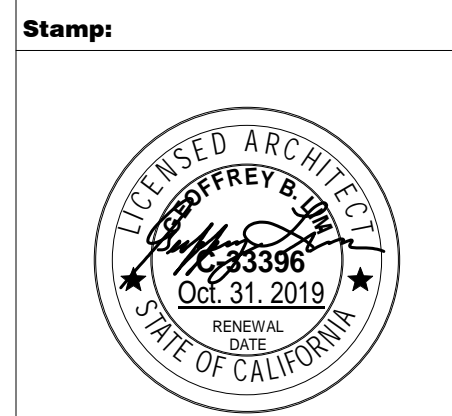


1 Detail 2
 3/8" = 1'-0"

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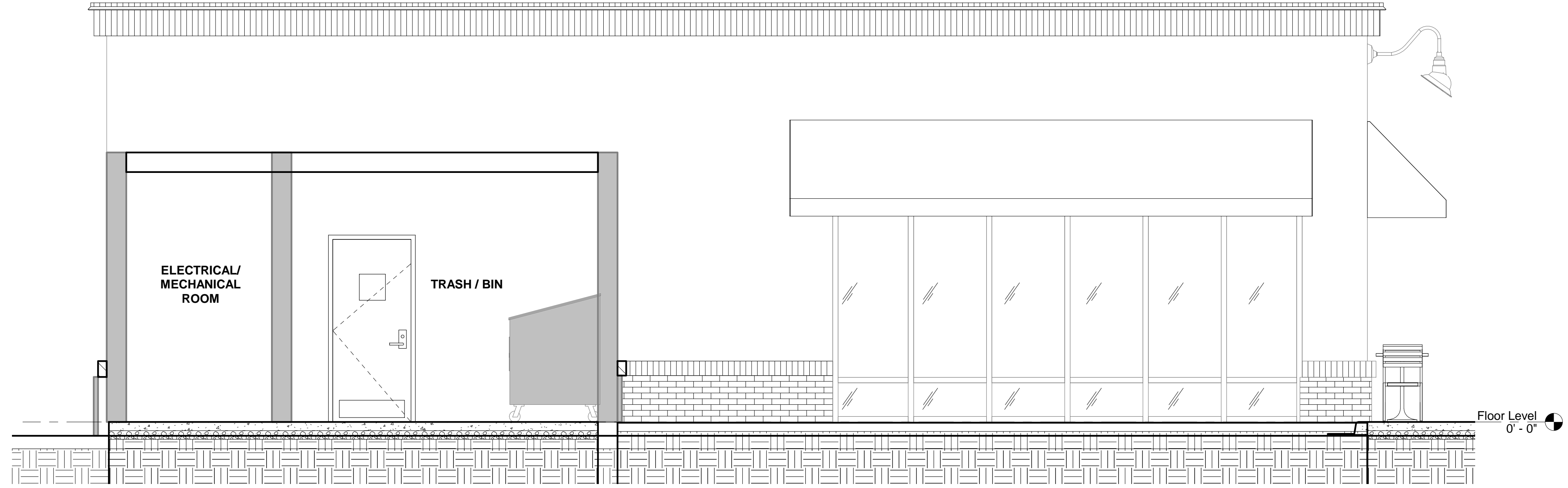
NO.	REASON	DATE

PRINCIPAL IN CHARGE:
GEORGE COOL
PROJECT
MANAGER:
WILLIAM AYALA
DRAWN BY:
WILLIAM AYALA

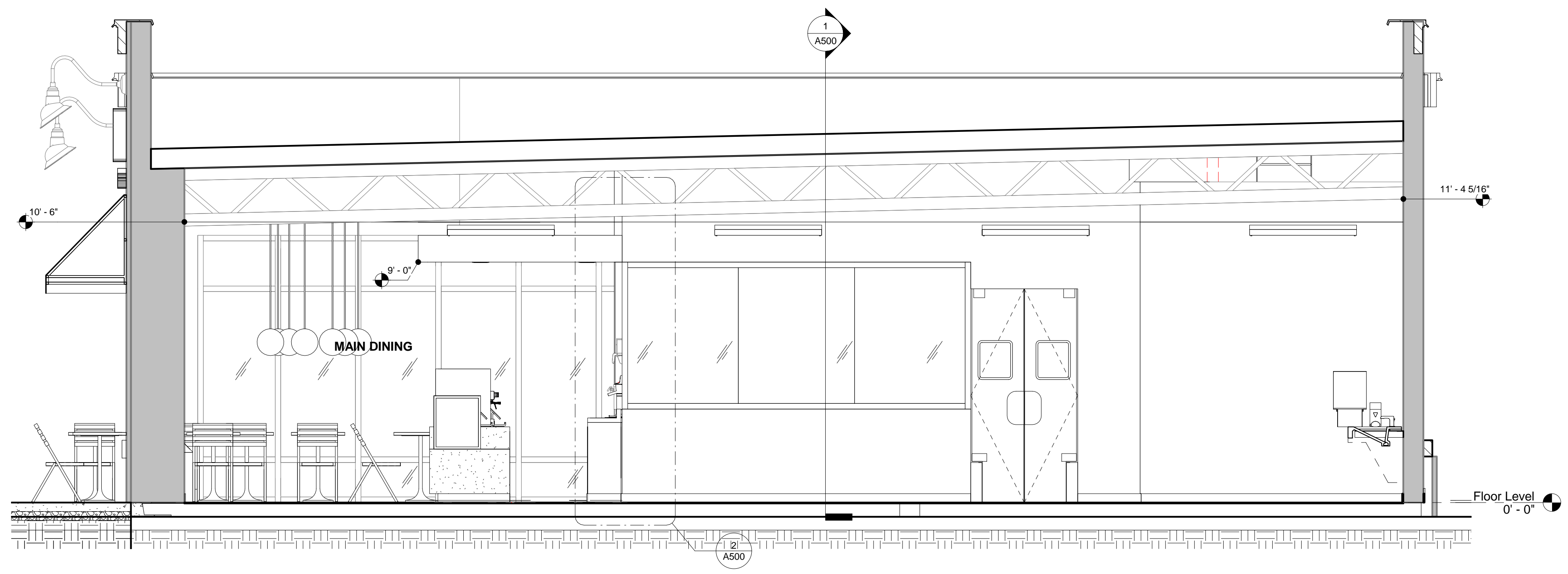
Project Address:
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TUSTIN, CA 92780

Project Number:
142-002-18
Sheet Title:
BUILDING SECTIONS

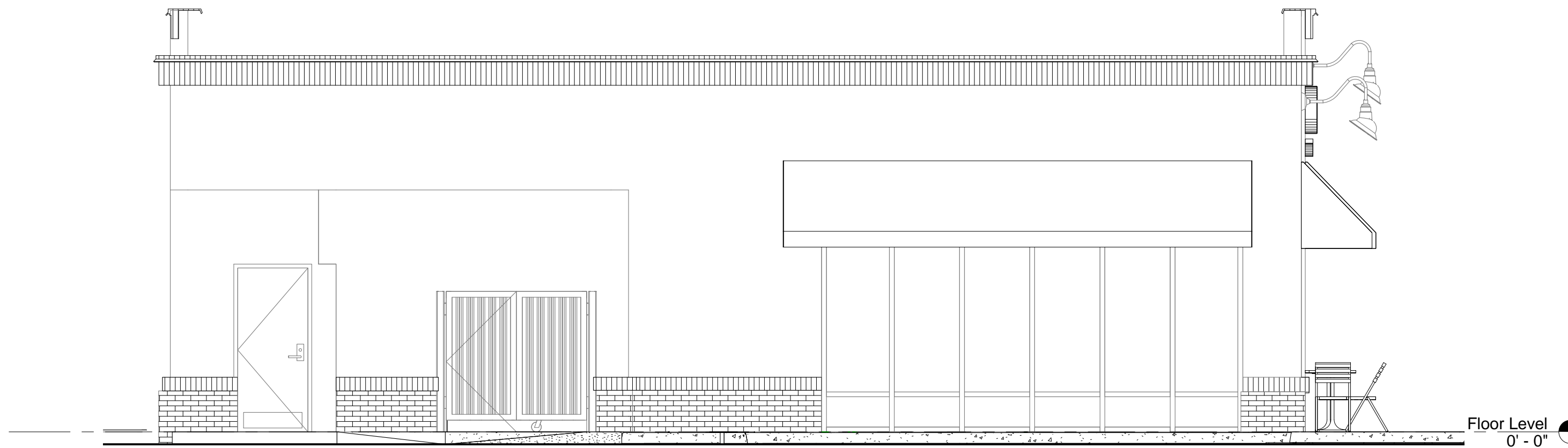
Sheet Number:
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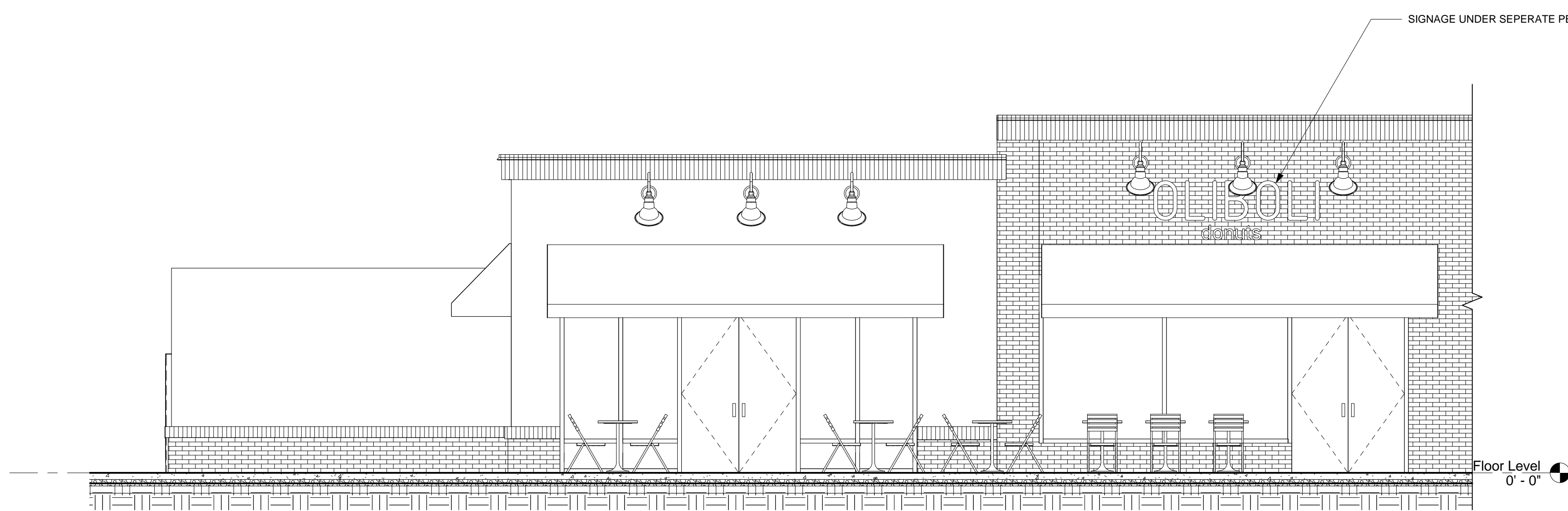
② Section 2
3/8" = 1'-0"



① Detail 3
3/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



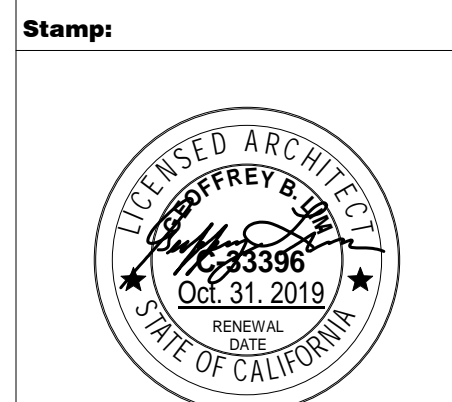
2 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

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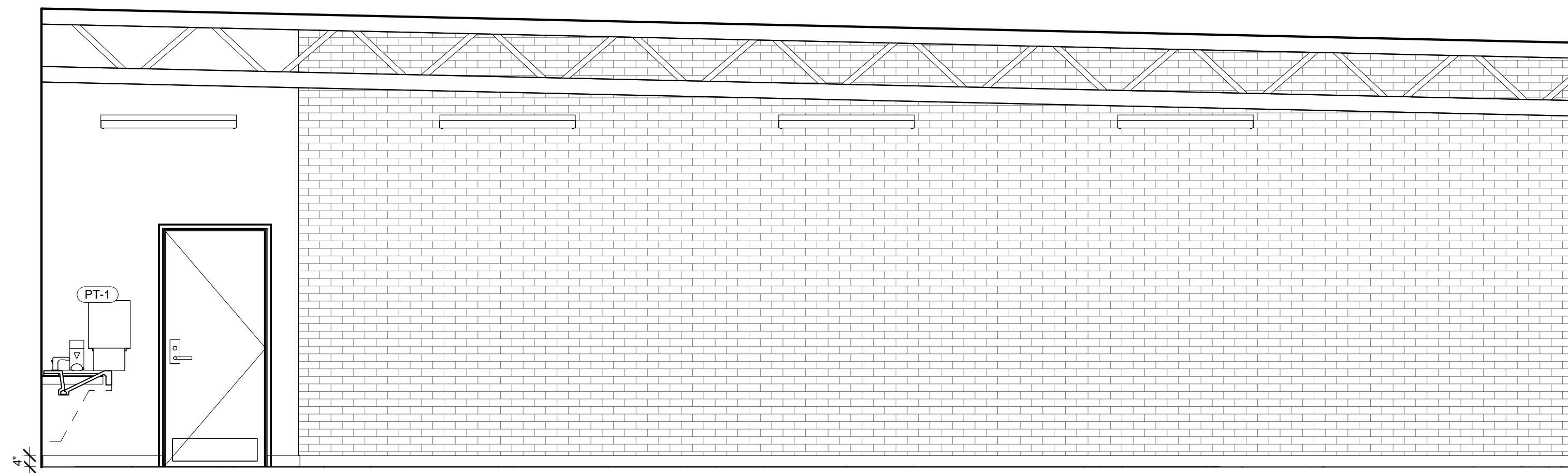
NO.	REASON	DATE

PRINCIPAL IN CHARGE:
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PROJECT MANAGER:
 WILLIAM AYALA
DRAWN BY:
 WILLIAM AYALA

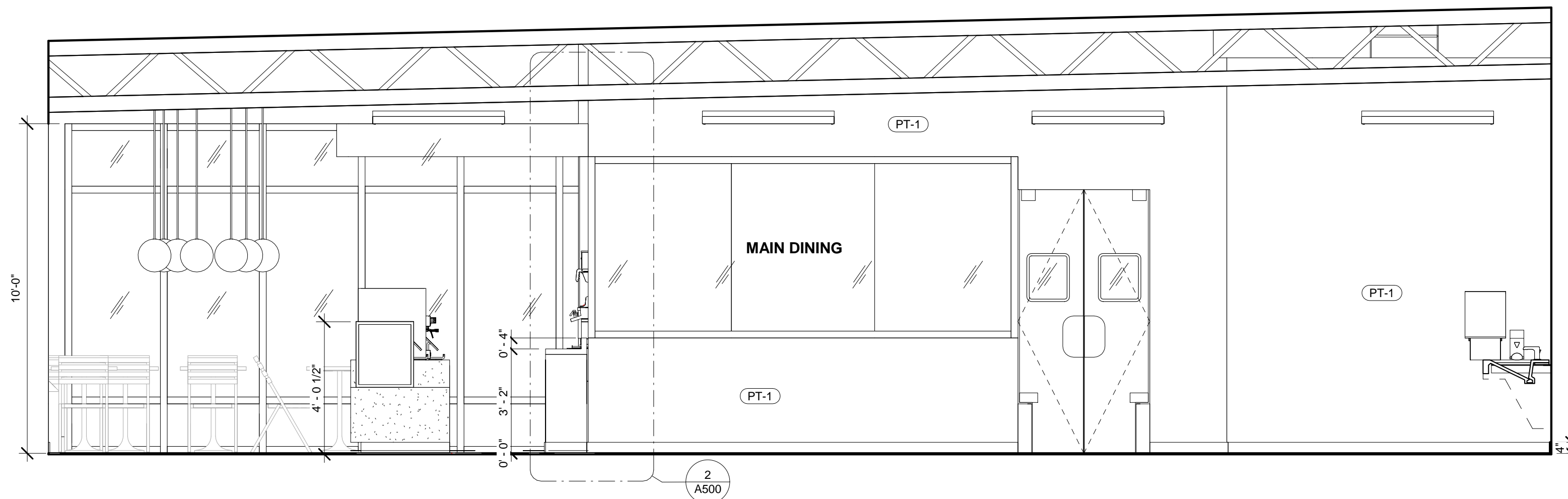
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Project Number:
 142-002-18
Sheet Title:
 EXTERIOR ELEVATIONS

Sheet Number:
 A302



② INTERIOR ELEVATION - 3
3/8" = 1'-0"



① INTERIOR ELEVATION - 1
3/8" = 1'-0"

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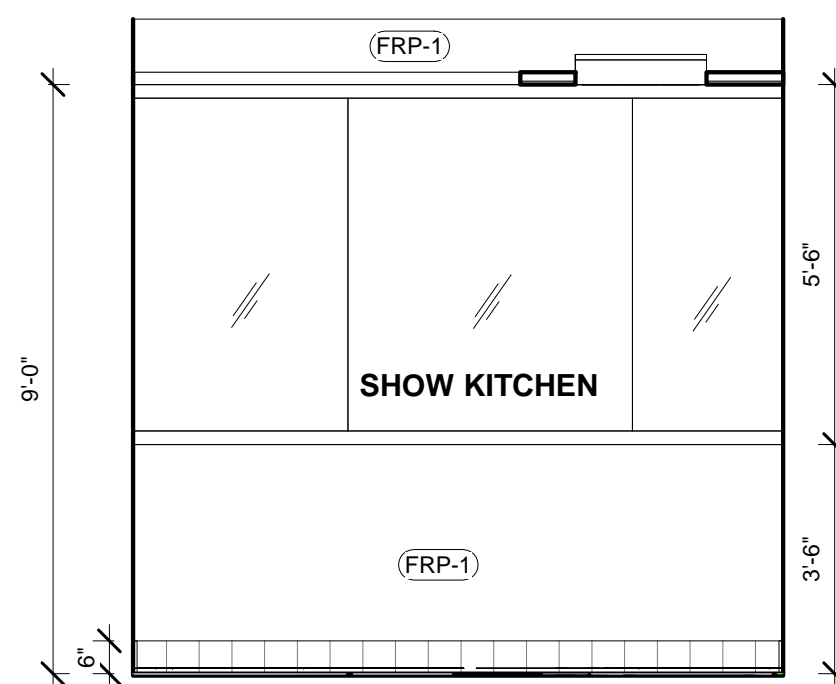
NO.	REASON	DATE

Principal in Charge:
 GEORGE COOL
Project Manager:
 WILLIAM AYALA
Drawn By:
 WILLIAM AYALA

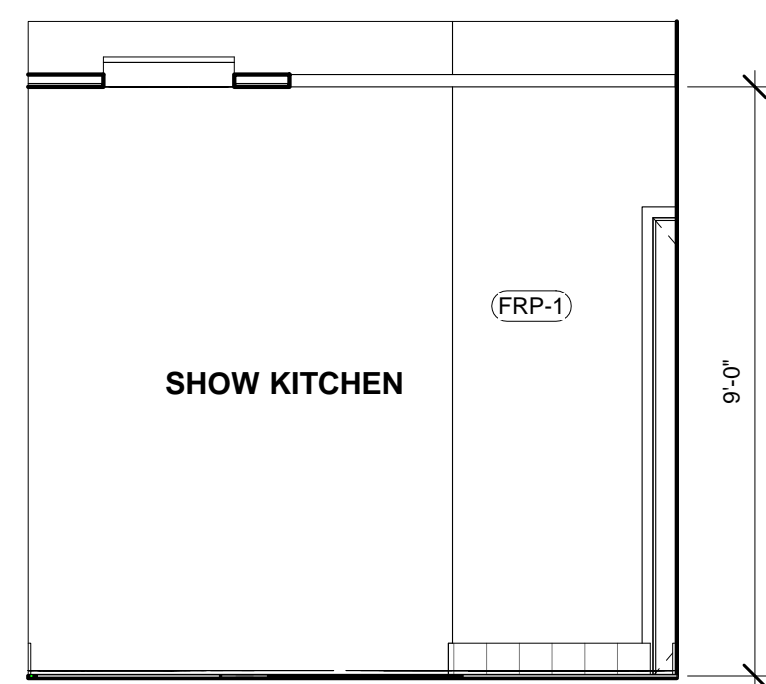
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Project Number:
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Sheet Title:
 BUILDING SECTIONS /
 INTERIOR ELEVATIONS

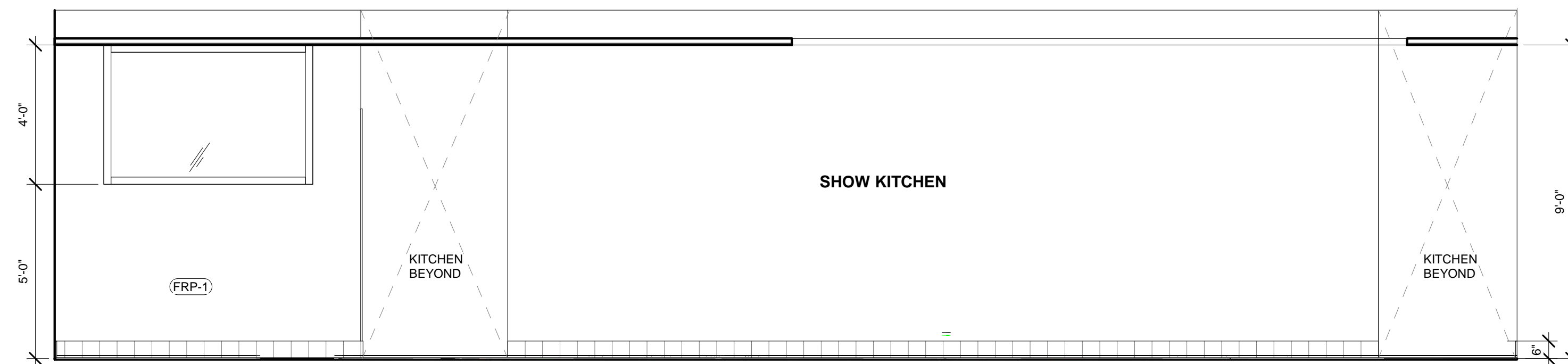
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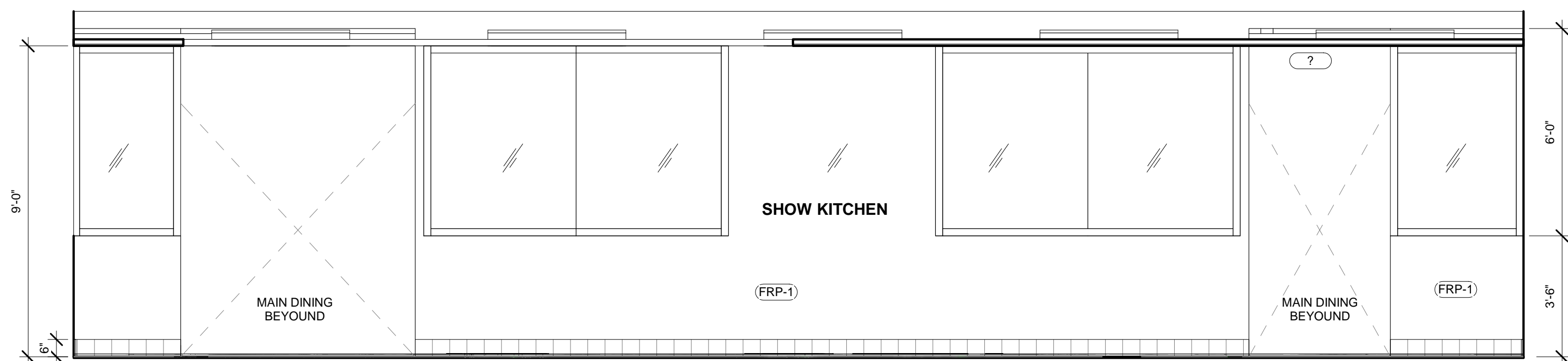
④ INTERIOR ELEVATION 4 - SHOW KITCHEN
3/8" = 1'-0"




② INTERIOR ELEVATION 2 - SHOW KITCHEN
3/8" = 1'-0"



③ INTERIOR ELEVATION 3 - SHOW KITCHEN
3/8" = 1'-0"

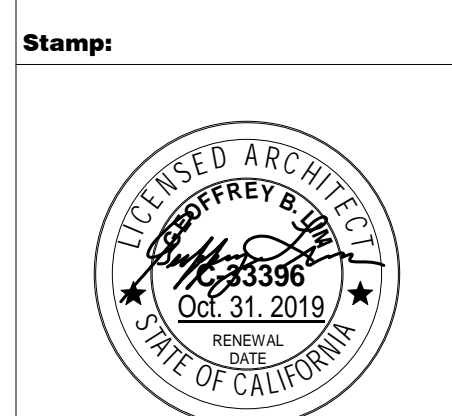


① INTERIOR ELEVATION 1 - SHOW KITCHEN
3/8" = 1'-0"

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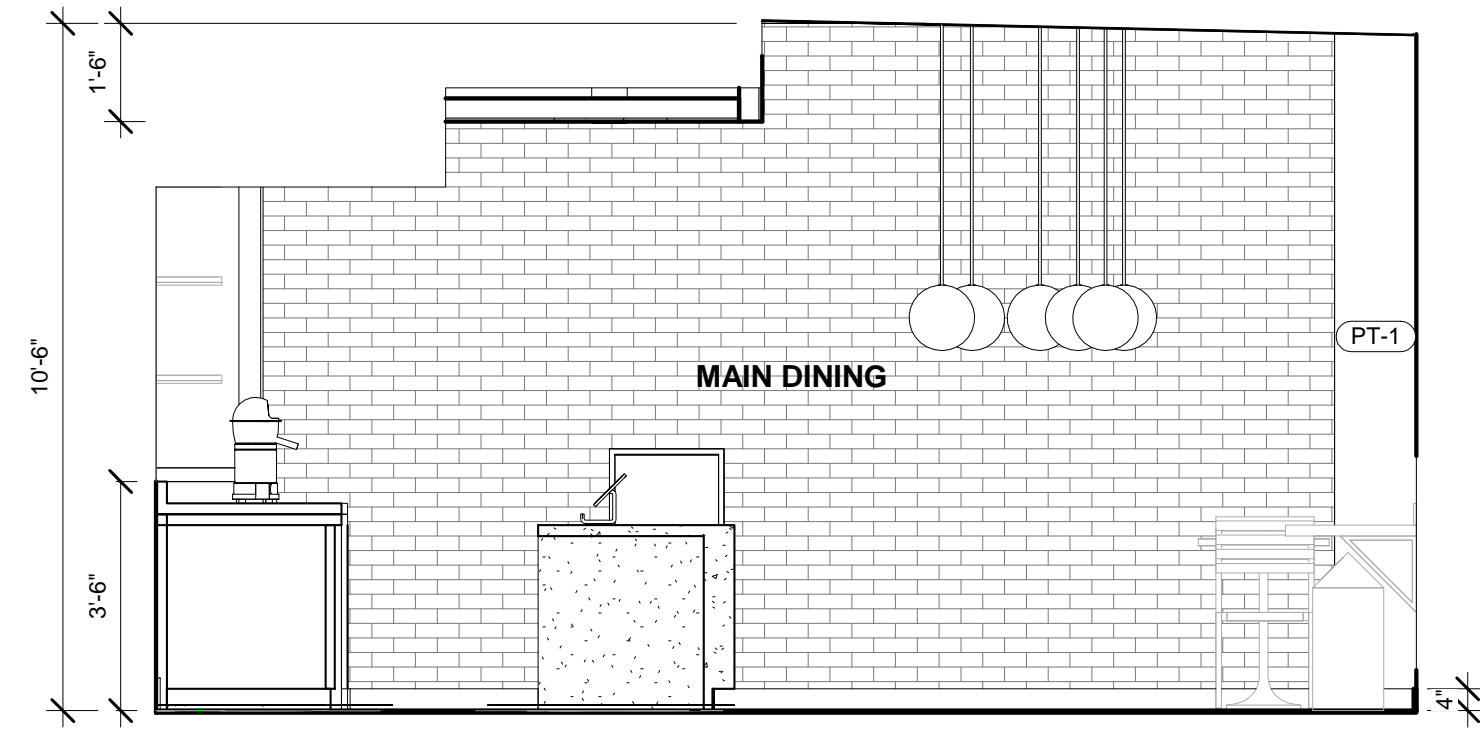
Principal in Charge:
 GEOFFREY B. LIM
Project Manager:
 WILLIAM AYALA
Drawn By:
 WILLIAM AYALA

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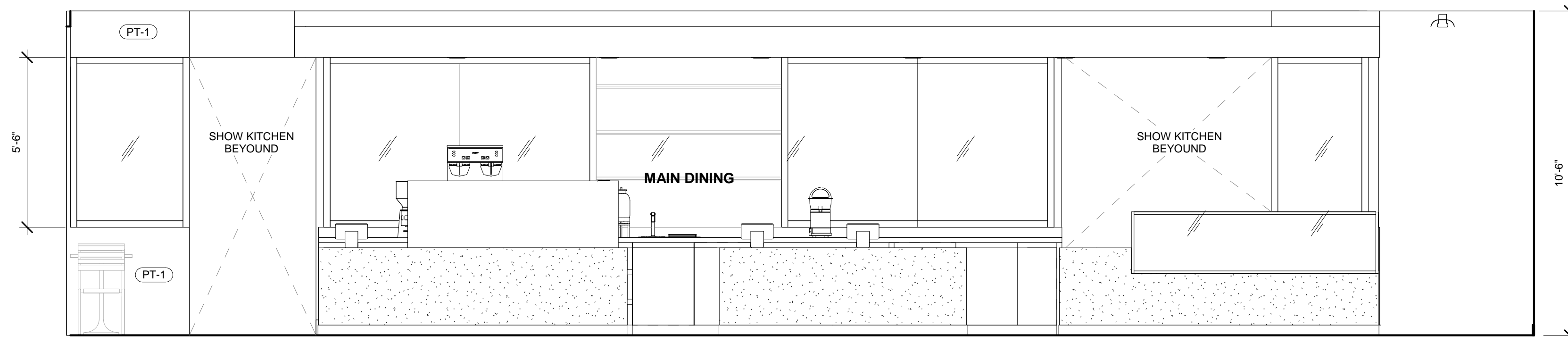
Project Number:
 142-002-18

Sheet Title:
 BUILDING SECTIONS /
 INTERIOR ELEVATIONS

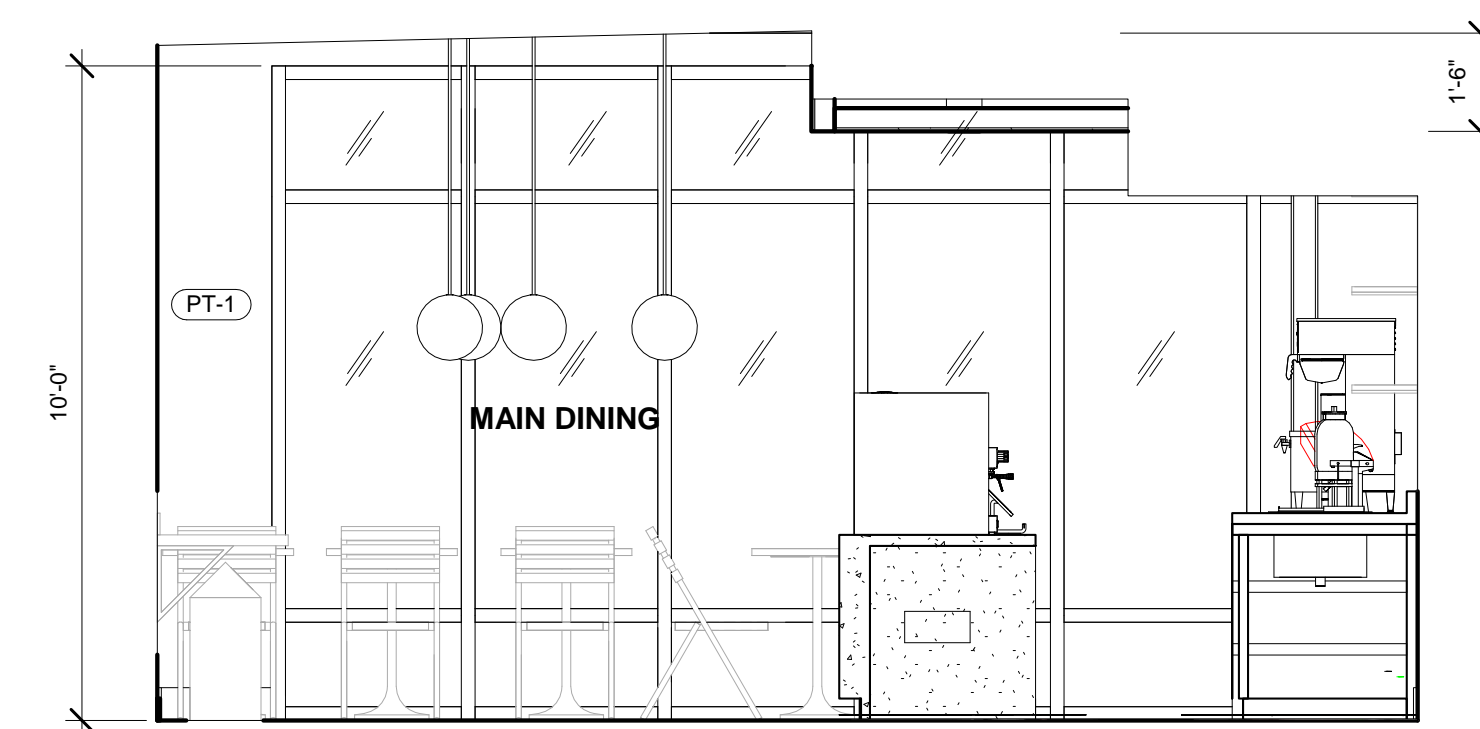
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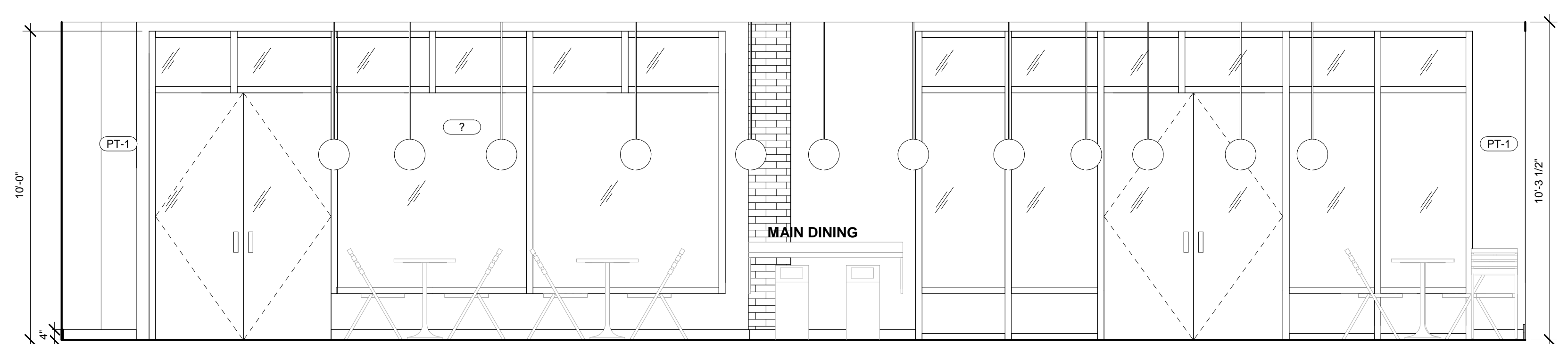
4 INTERIOR ELEVATION - MAIN DINING 4
3/8" = 1'-0"



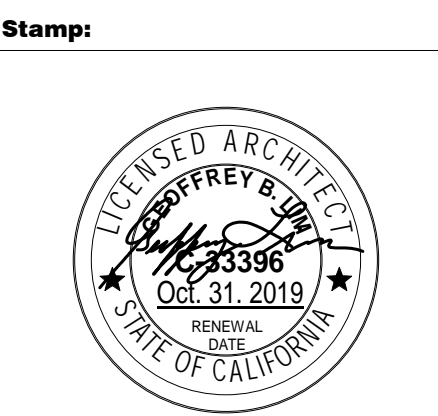
3 INTERIOR ELEVATION - MAIN DINING 3
3/8" = 1'-0"



2 INTERIOR ELEVATION - MAIN DINING 2
3/8" = 1'-0"



1 INTERIOR ELEVATION - MAIN DINING 1
3/8" = 1'-0"



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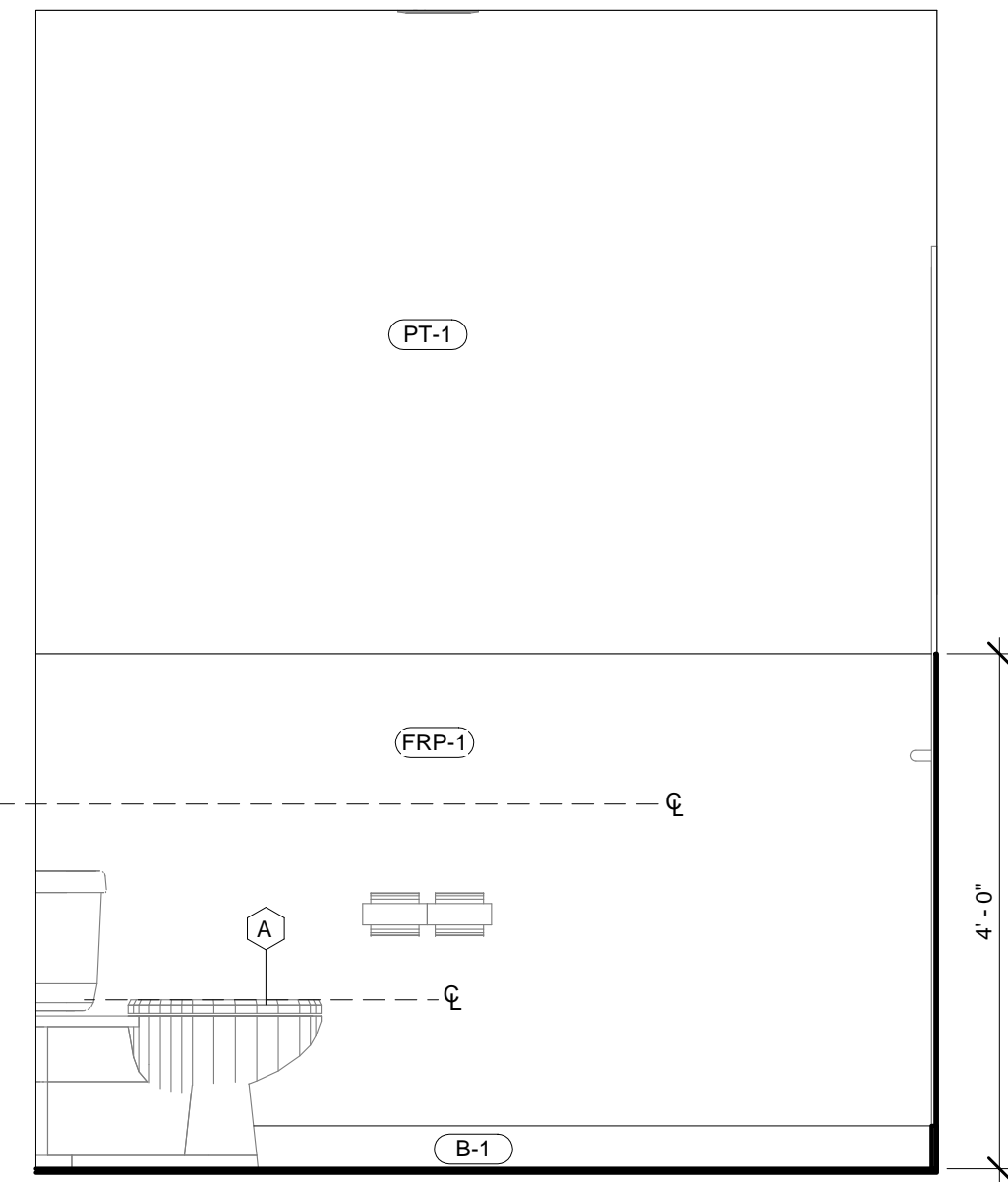
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PRINCIPAL IN CHARGE:
 GEOFFREY B. LIM
 PROJECT MANAGER:
 WILLIAM AYALA
 DRAWN BY:
 WILLIAM AYALA

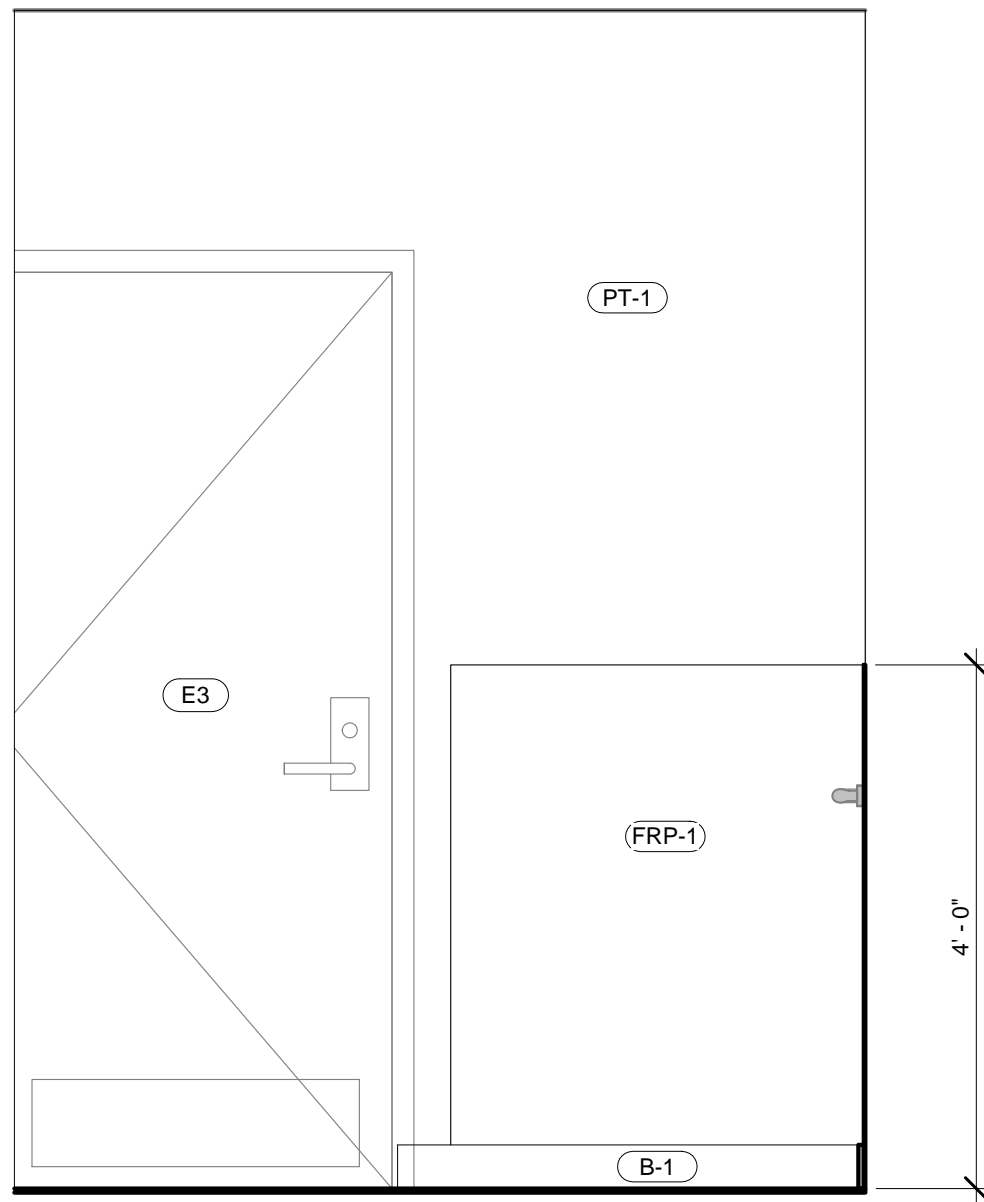
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 142-002-18
Sheet Title:
 BUILDING SECTIONS /
 INTERIOR ELEVATIONS

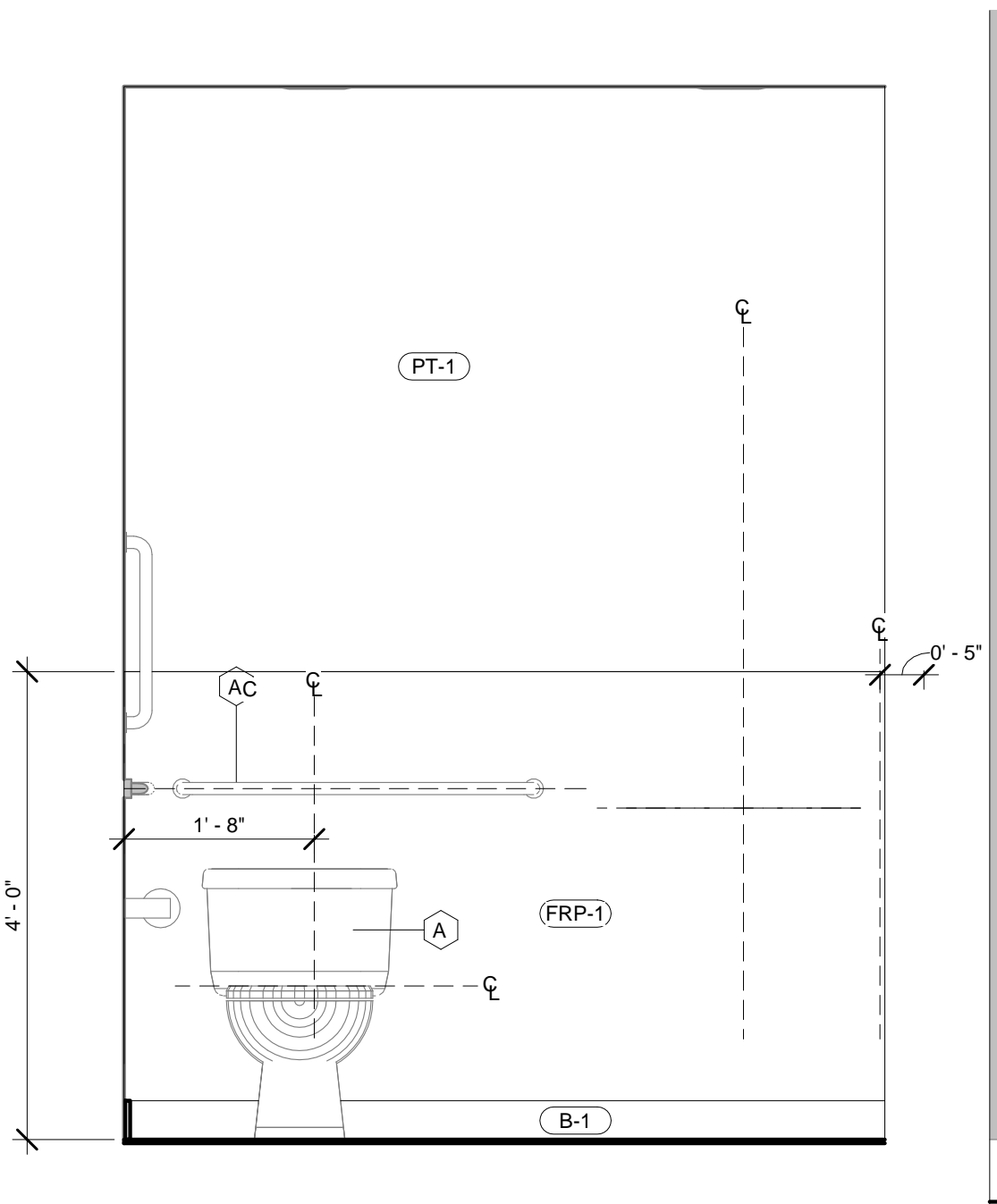
Sheet Number:
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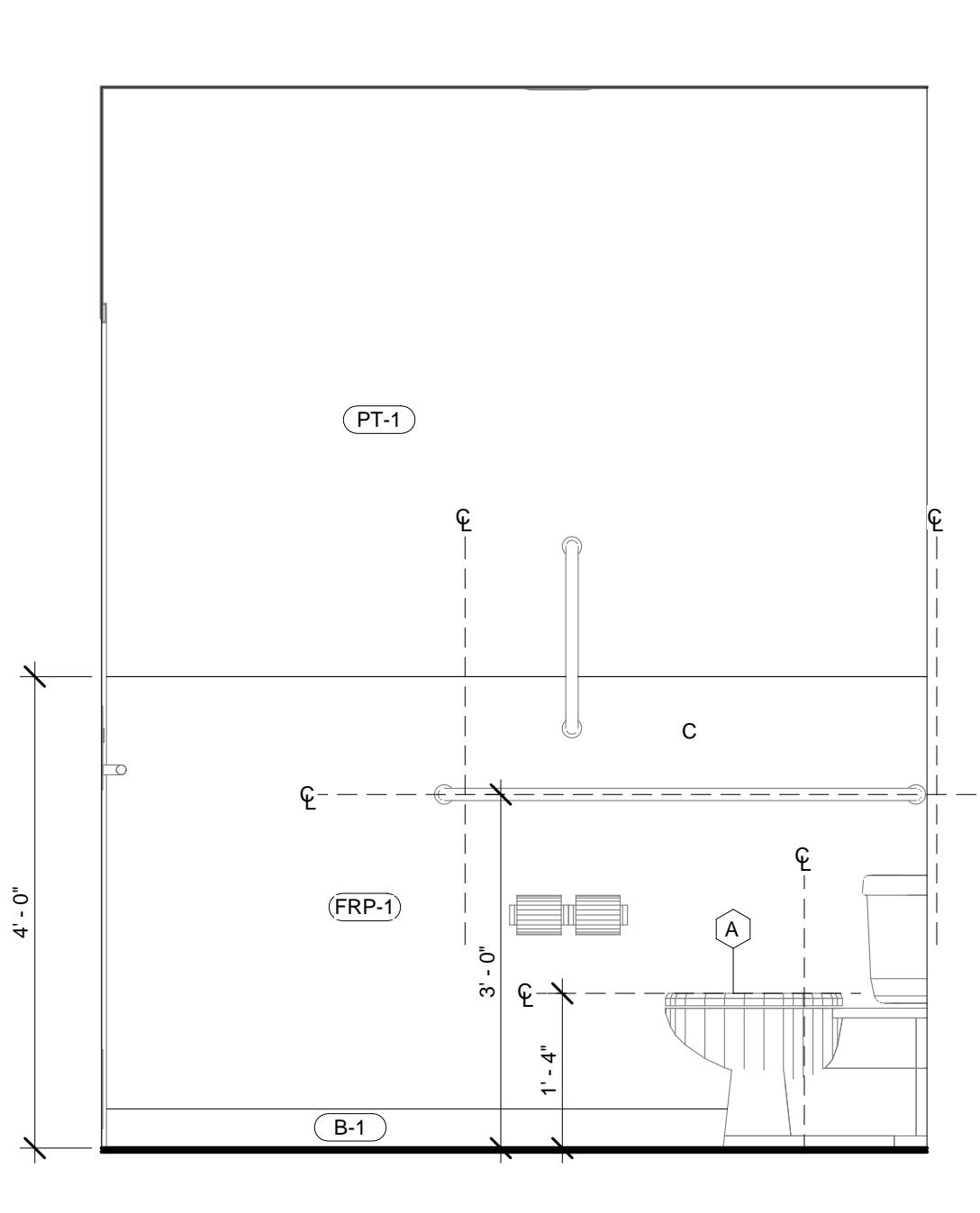
4 INTERIOR ELEVATION - RESTROOM
3/4" = 1'-0"



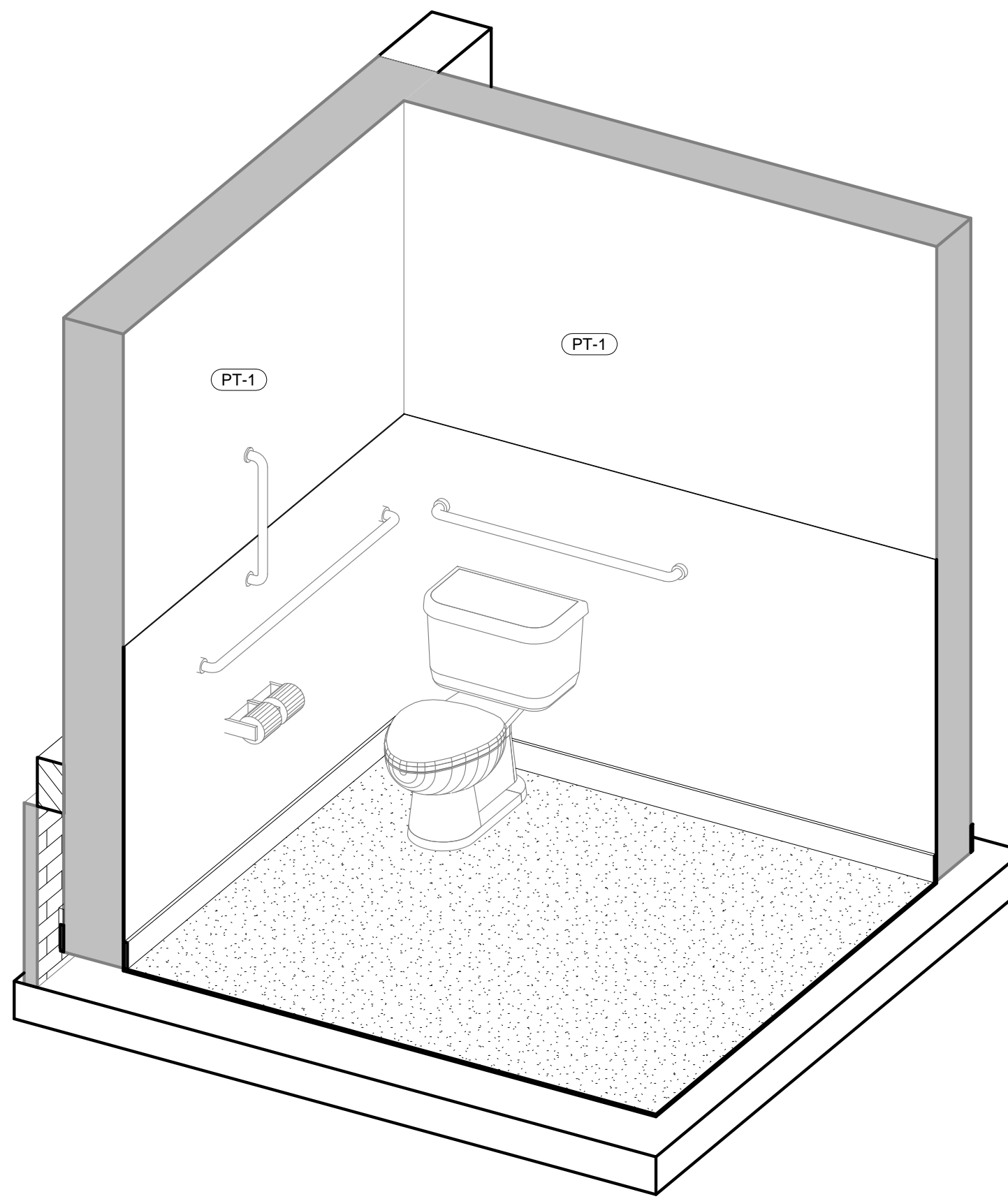
5 INTERIOR ELEVATION - RESTROOM
3/4" = 1'-0"



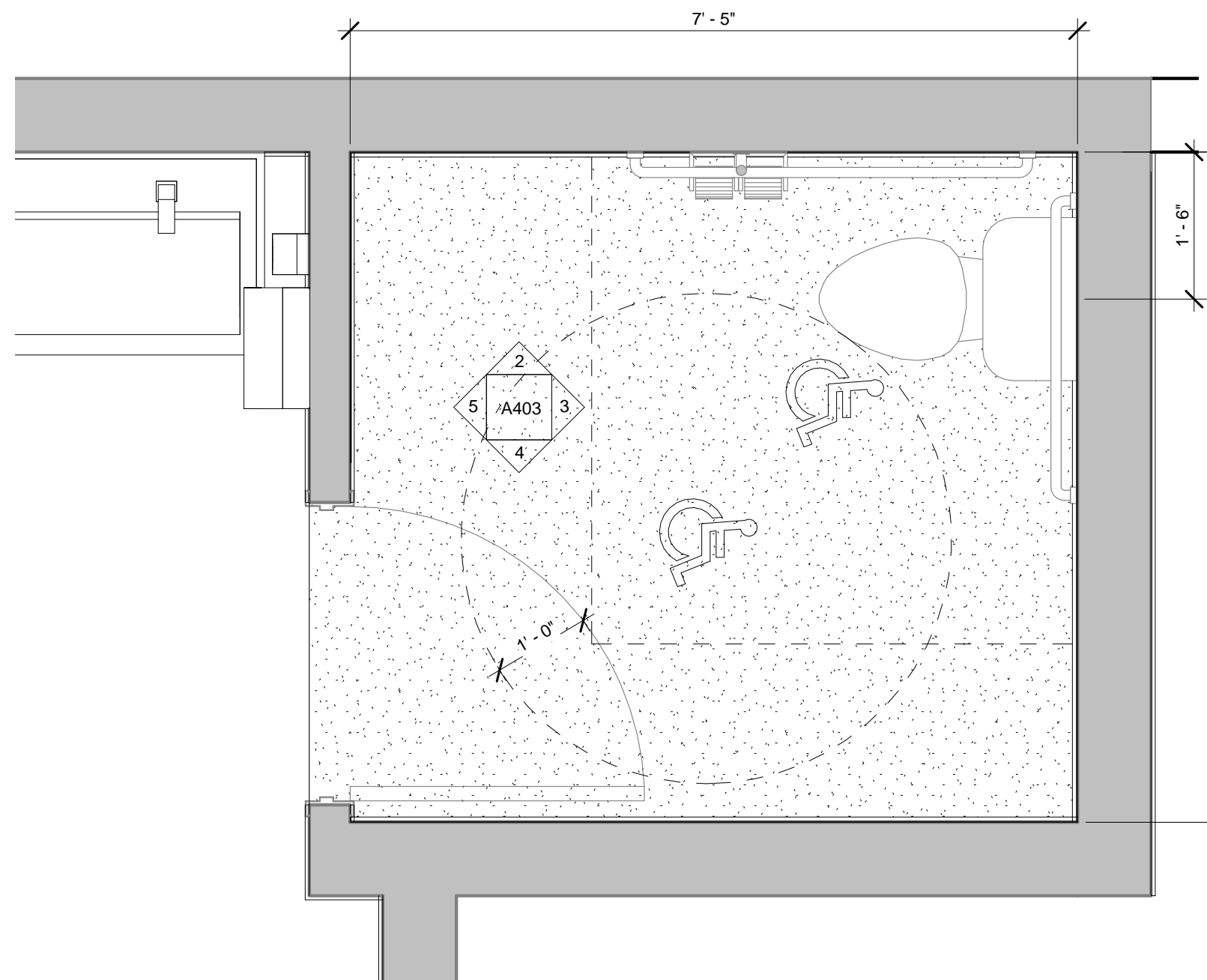
3 INTERIOR ELEVATION - RESTROOM
3/4" = 1'-0"



2 INTERIOR ELEVATION - RESTROOM
3/4" = 1'-0"



6 3-D VIEW - RESTROOM



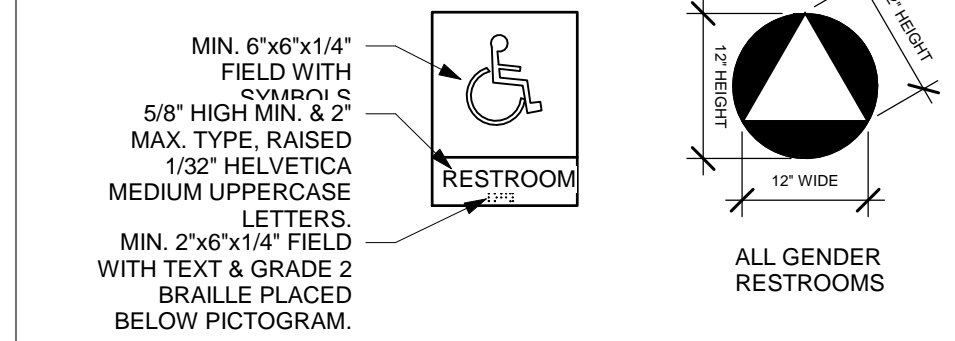
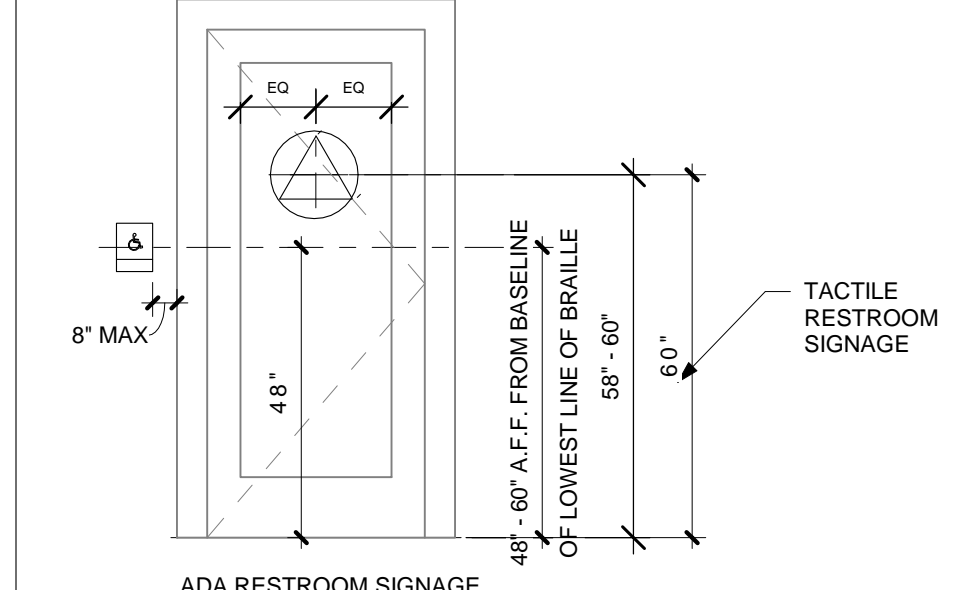
1 ENLARGED FLOOR PLAN - RESTROOM
3/4" = 1'-0"

RESTROOM GENERAL NOTES

- A. GC TO PROVIDE WATERPROOFING AS REQUIRED.
- B. GC TO PROVIDE ALL RESTROOM SIGNAGE AS NOTED UNDER TYPICAL RESTROOM SIGNAGE

TYPICAL RESTROOM SIGNAGE

NOTE:
CONTRASTING IN COLOR & A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 & 1:10 & RAISED 1/32" MIN. & BE ACCOMPANIED BY BRAILLE RAISED LETTERING WHERE PERMANENT SIGNAGE IS PROVIDED FOR ROOMS & SPACES. SIGNAGE AS DESCRIBED ABOVE SHALL BE PROVIDED ON THE STRIKE/LATCH SIDE OF THE DOOR.



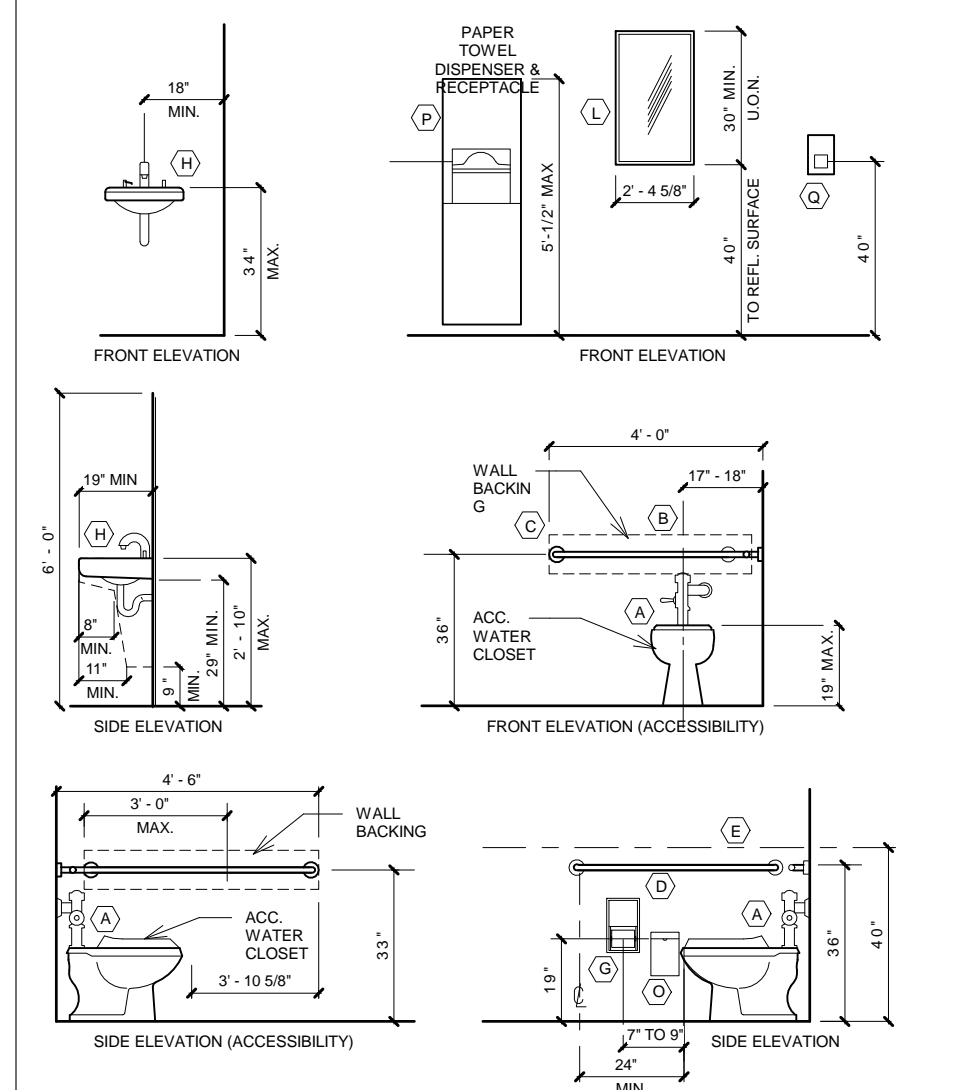
TOILET ROOMS SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF THE C.O.S. AMENDED CHAPTER II, AND THE PLUMBING CODE INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- A. WATER CLOSET SEAT HEIGHT - 17" TO 19" A.F.F.
- B. CENTERLINE OF WATER CLOSET - 18" FROM SIDEWALL
- C. GRAB BAR BEHIND WATER CLOSET - 36" LONG - 33-36" A.F.F.
- D. GRAB BAR DIAMETER - 1-1/2"
- E. GRAB BAR AT SIDE OF WATER CLOSET - 42" LONG, 33" TO 36" A.F.F.
- F. SPACE BETWEEN GRAB BAR AND WALL - 1-1/2"
- G. TOILET PAPER DISPENSER - 36" MAX FROM REAR WALL, 19" MIN. A.F.F.
- H. KNEE CLEARANCE AT LAVATORY - 29" MIN HEIGHT, 8" MIN. DEPTH
- I. LAVATORY DEPTH - 17" MIN
- J. LAVATORY DRAIN AND HOT WATER PIPES - INSULATED WHEN EXPOSED
- K. LAVATORY RIM SURFACE - MAX. 34" A.F.F.
- L. MIRROR BOTTOM EDGE - 40 A.F.F. MAX
- M. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE MOUNTED ON THE EXTERIOR OF THE TOILET ROOM DOOR
- N. DOOR HARDWARE SHALL BE LEVER TYPE
- O. SANITARY NAPKIN - 17" TO 19" A.F.F.
- P. PAPER TOWEL DISPENSER 40" A.F.F. MAX

Q. CABINETS UNDER ACCESSIBLE LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE OBJECTS OR SURFACES UNDER LAVATORIES.

RESTROOM SIGNAGE REQ.

PIPES UNDER ACCESSIBLE LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE OBJECTS OR SURFACES UNDER LAVATORIES.



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Architect:
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PRINCIPAL IN CHARGE

JOHN COOL

PROJECT MANAGER

WILLIAM AYALA

DRAWN BY:

WILLIAM AYALA

Project Address:

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Project Number:

142-002-18

Sheet Title:

RESTROOM ENLARGED


VIEWS, ELEVATIONS &

DETAILS

Sheet Number:

A403

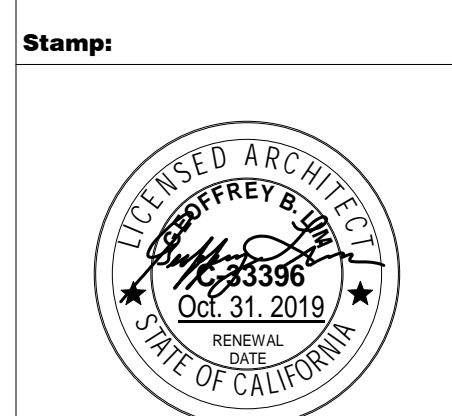
- KEYNOTES**
- 10 STOREFRONT
 - 11 METAL MULLION
 - 12 INTERNAL WALL FINISH
 - 13 GYPSUM BOARD
 - 14 METAL STUD LAYER
 - 15 CEILING
 - 16 SKIRTING
 - 17 ACT

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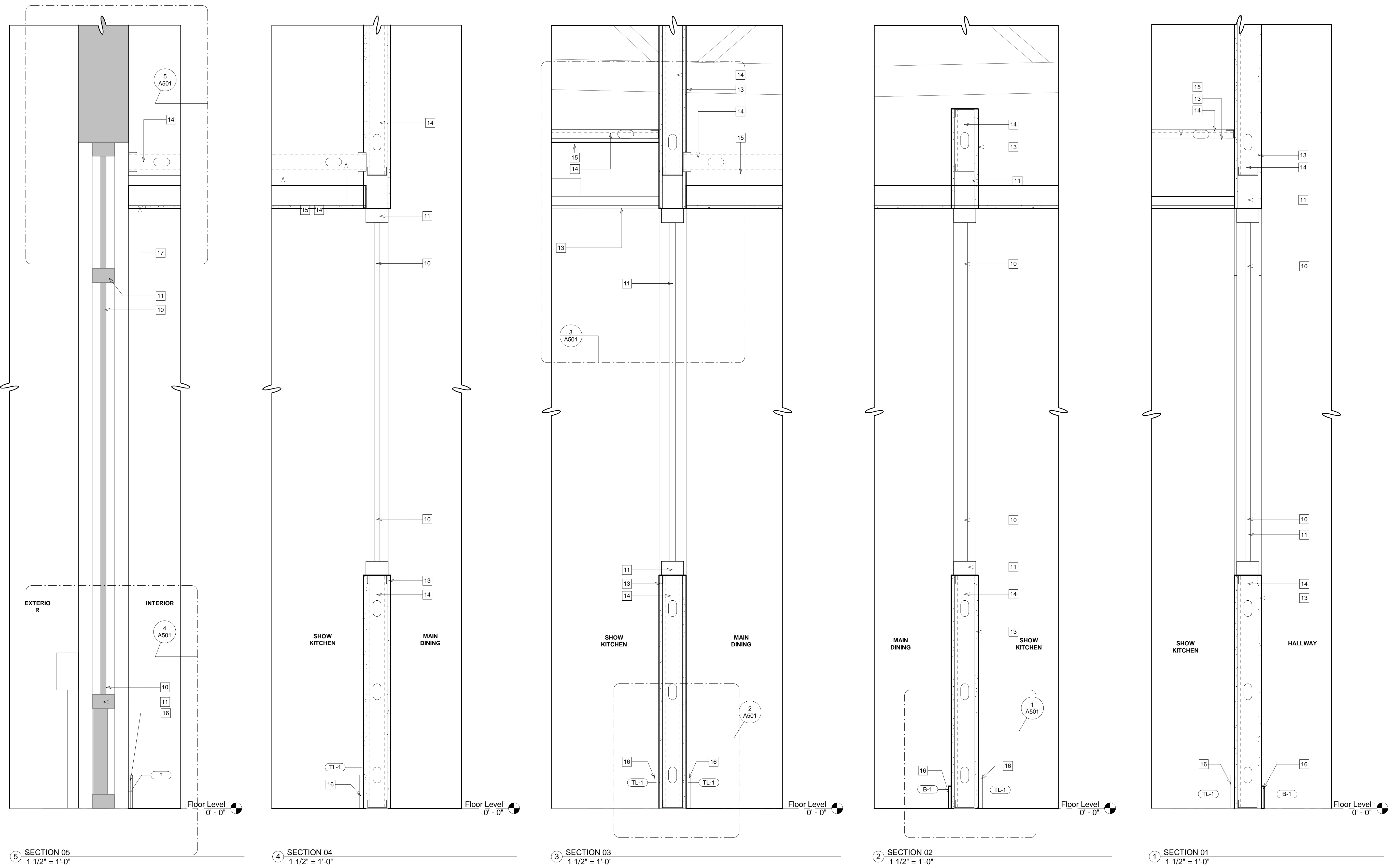
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PROJECT MANAGER:
 WILLIAM AYALA
DRAWN BY:
 WILLIAM AYALA

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Project Number:
 142-002-18
Sheet Title:
 WALL SECTIONS

Sheet Number:
A500



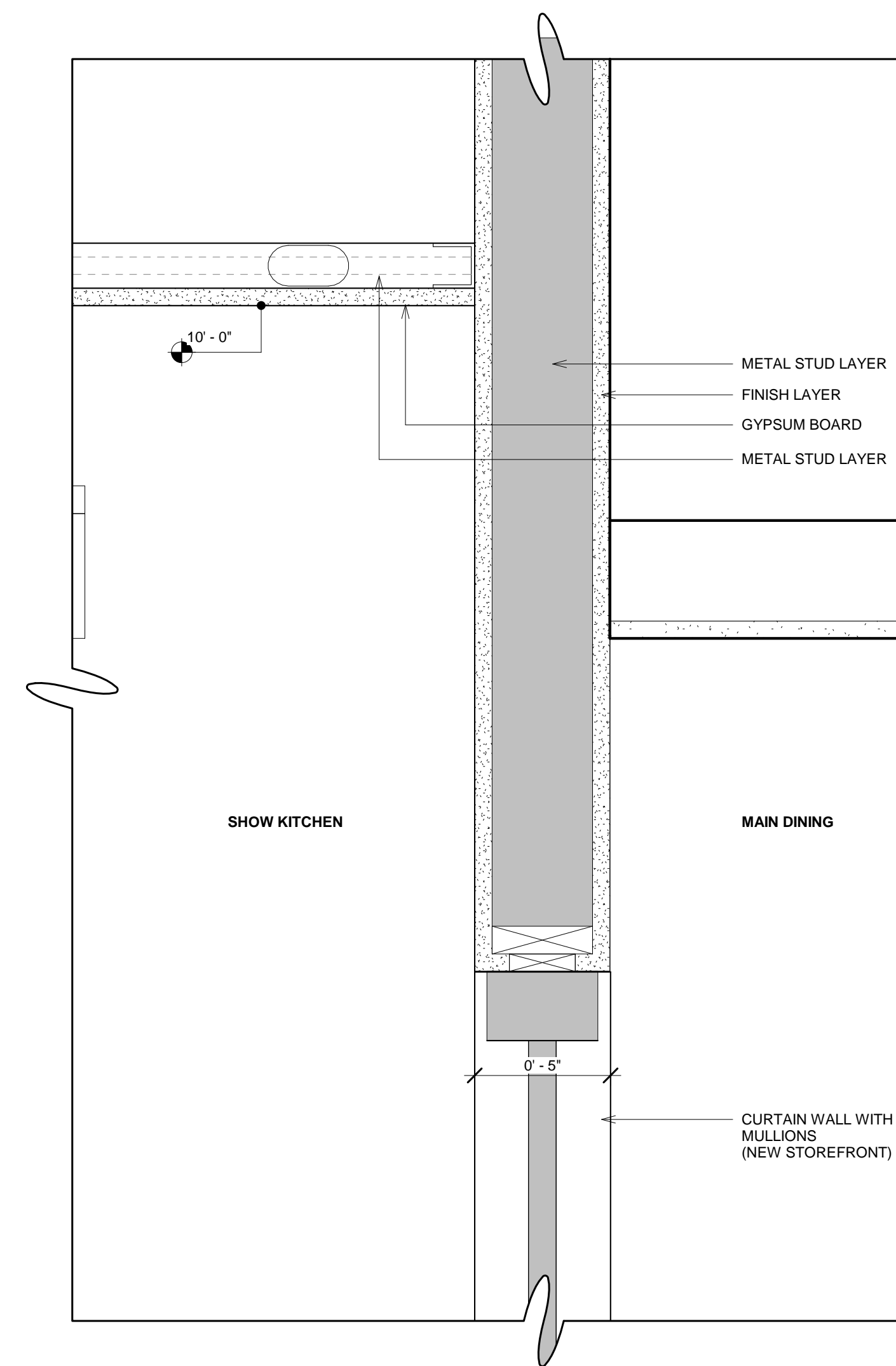
5 SECTION 05
 1 1/2" = 1'-0"

4 SECTION 04
 1 1/2" = 1'-0"

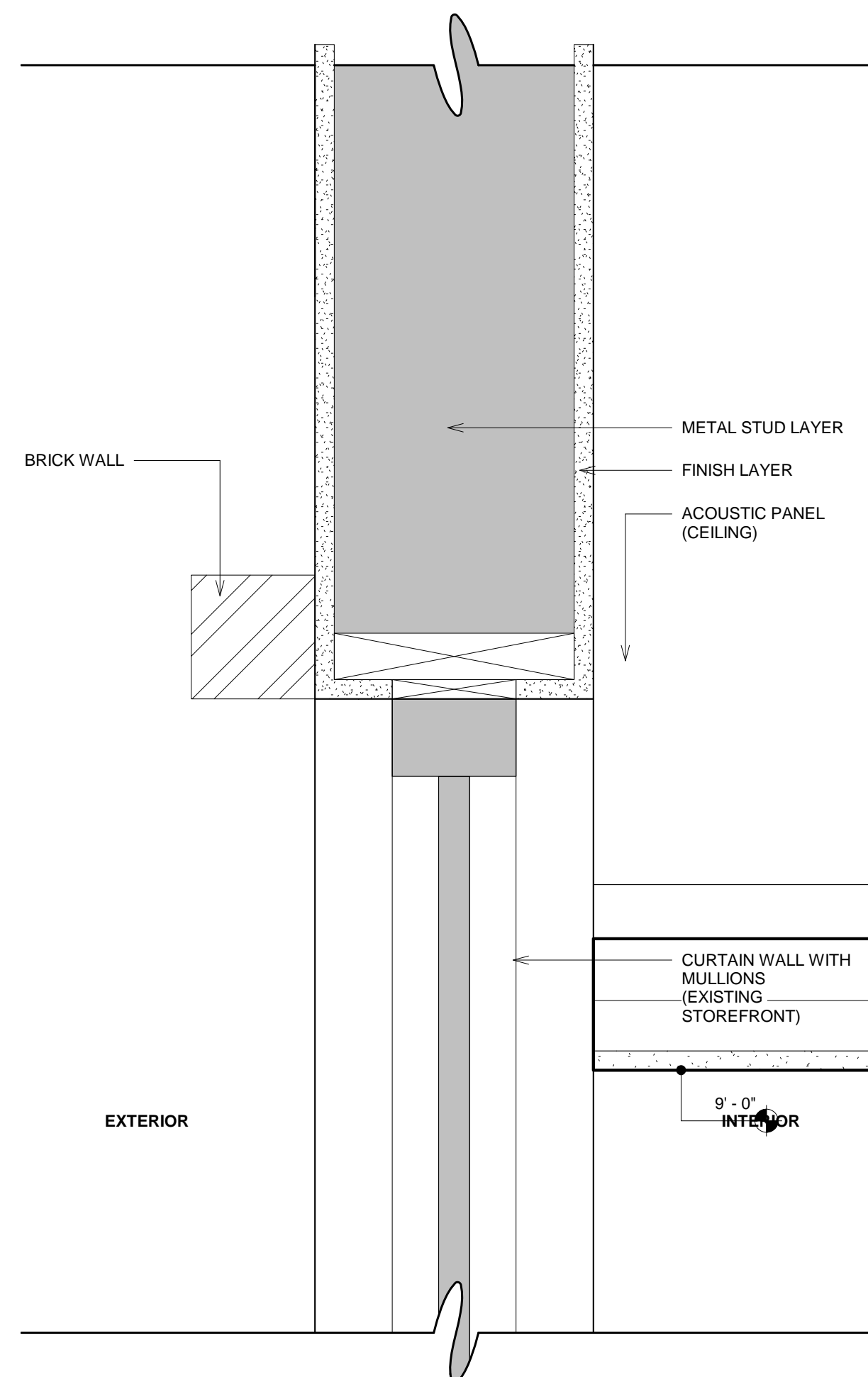
3 SECTION 03
 1 1/2" = 1'-0"

2 SECTION 02
 1 1/2" = 1'-0"

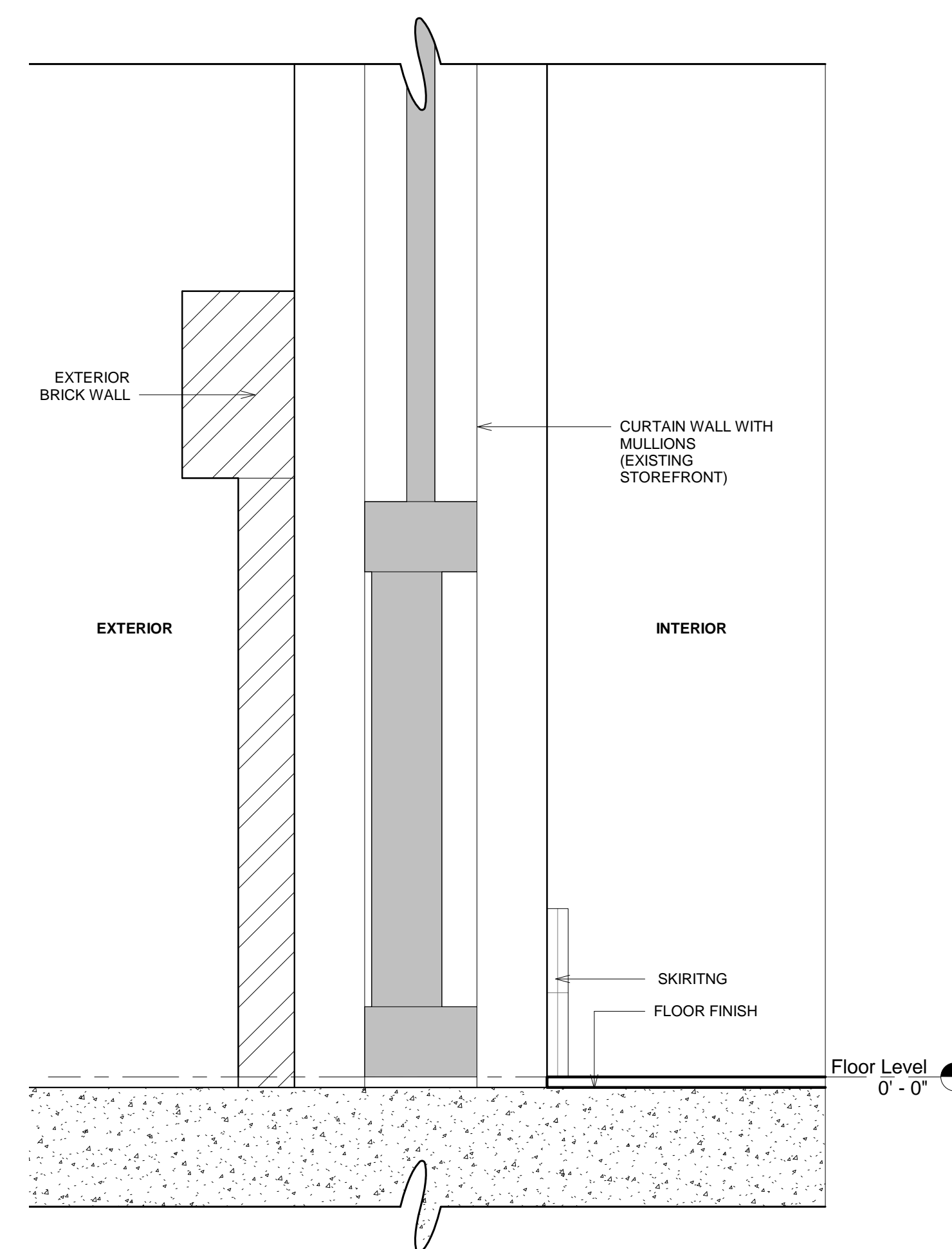
1 SECTION 01
 1 1/2" = 1'-0"



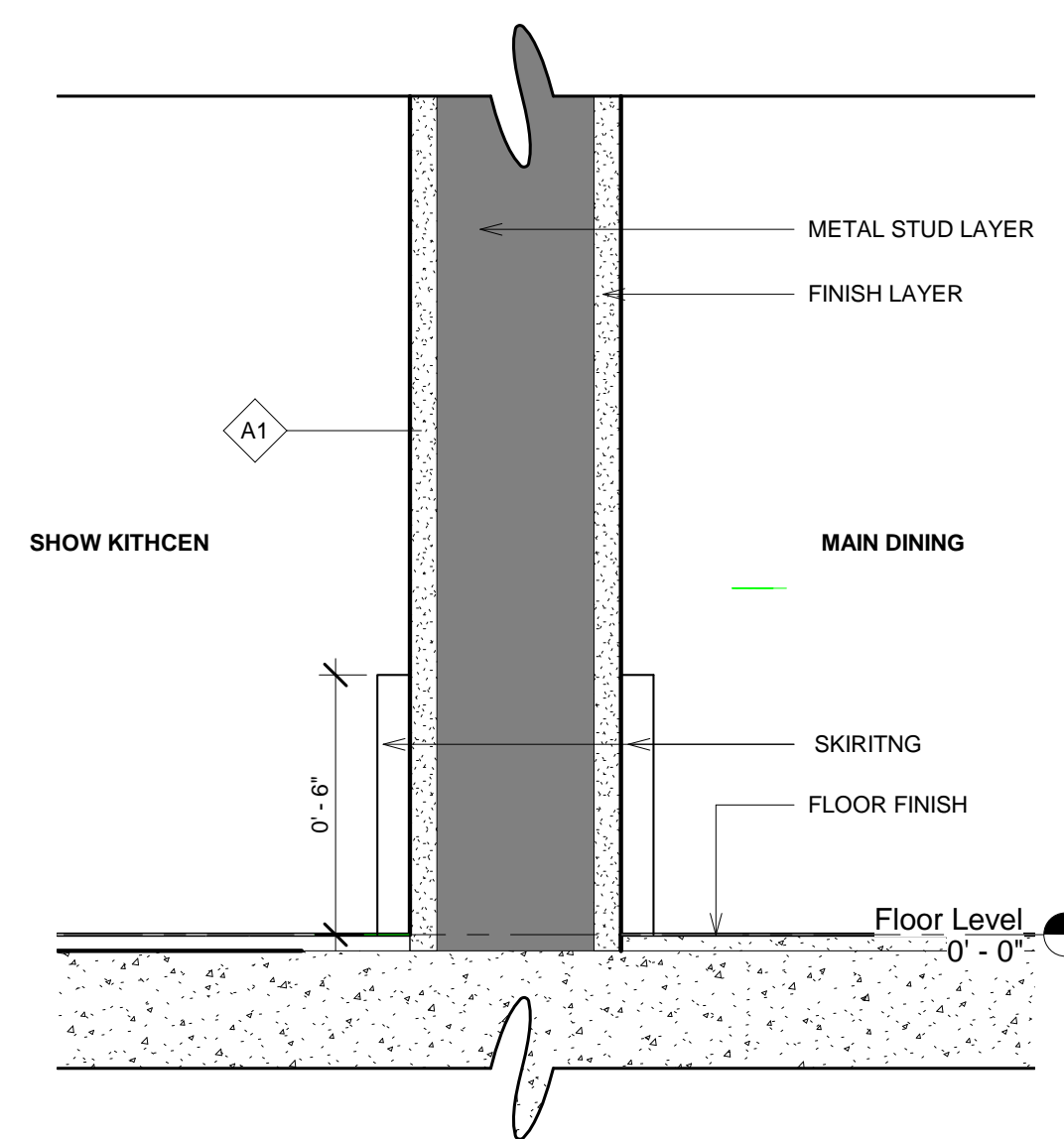
3 Section 4 - Callout 1
3" = 1'-0"



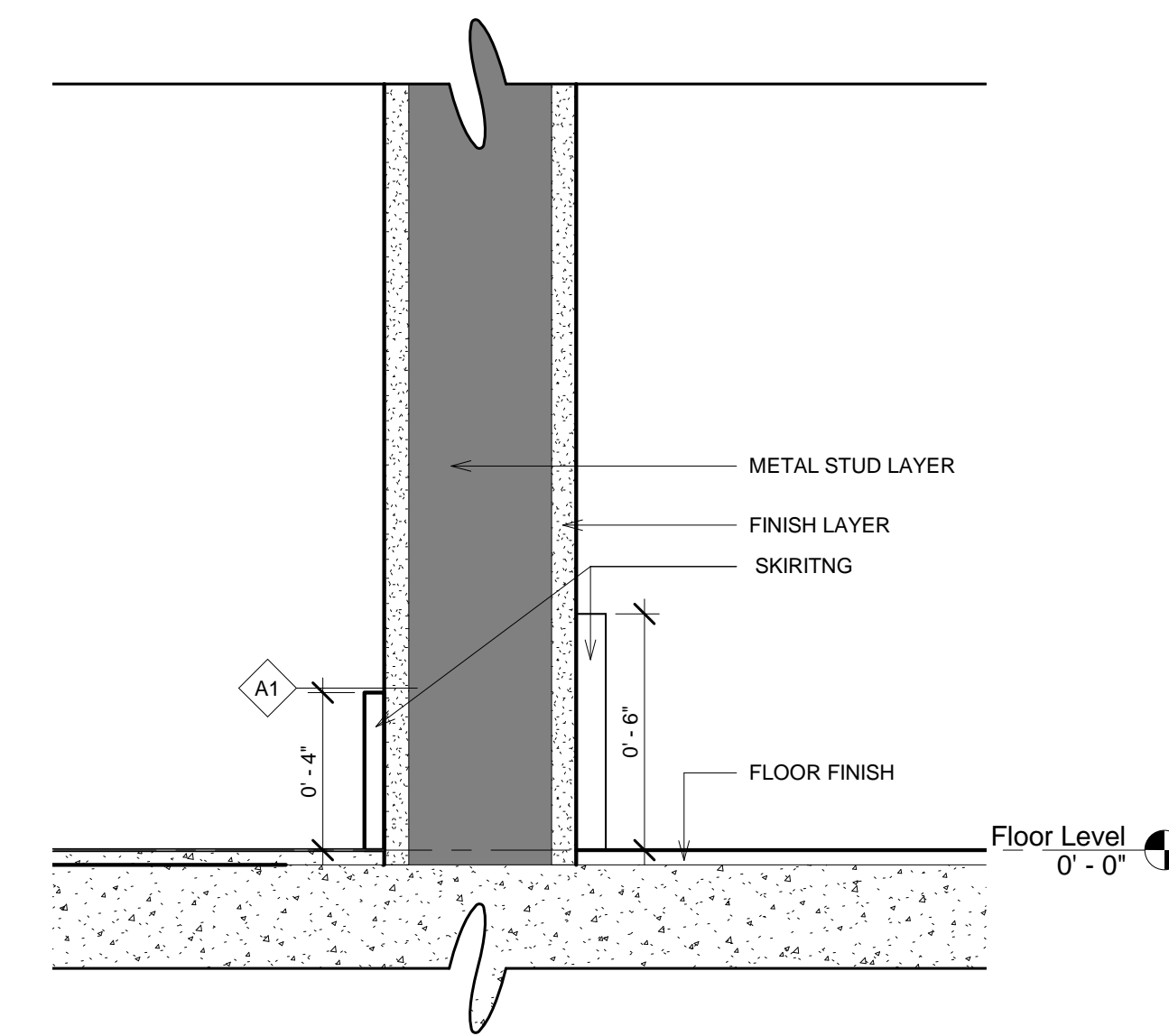
5 wall section 04 - Callout 1
3" = 1'-0"



4 wall section 04 - Callout 2
3" = 1'-0"



2 Section 4 - Callout 2
3" = 1'-0"



1 Section 6 - Callout 1
3" = 1'-0"

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Architect:

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GEORGE COOL

PROJECT

MANAGER:

WILLIAM AYALA

DRAWN BY:

WILLIAM AYALA

Project Address:

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Project Number:

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Sheet Title:

BUILDING DETAILS

Sheet Number:

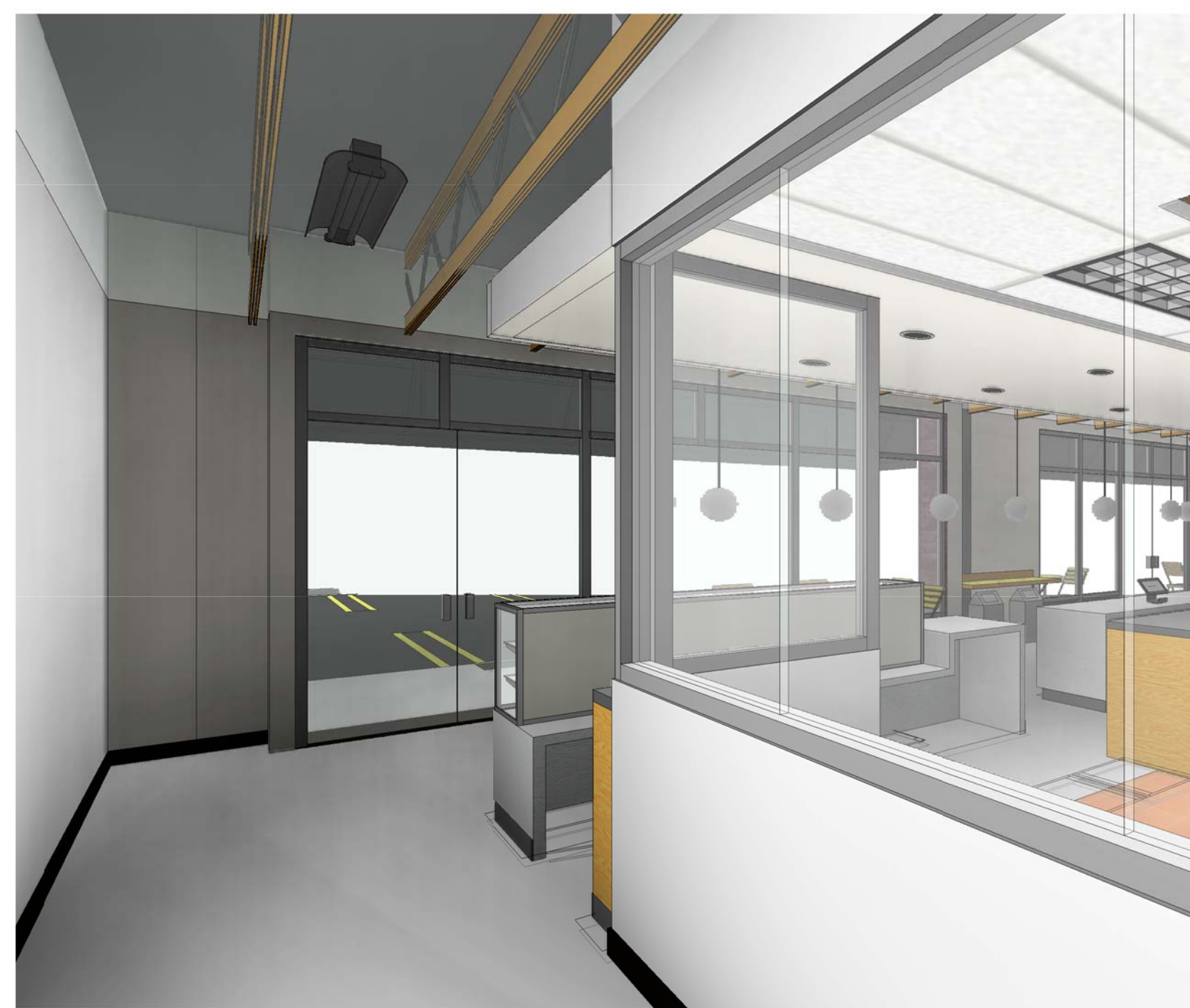
A501



8 PERSPECTIVE 07



7 PERSPECTIVE 06



6 PERSPECTIVE 05



5 PERSPECTIVE 04



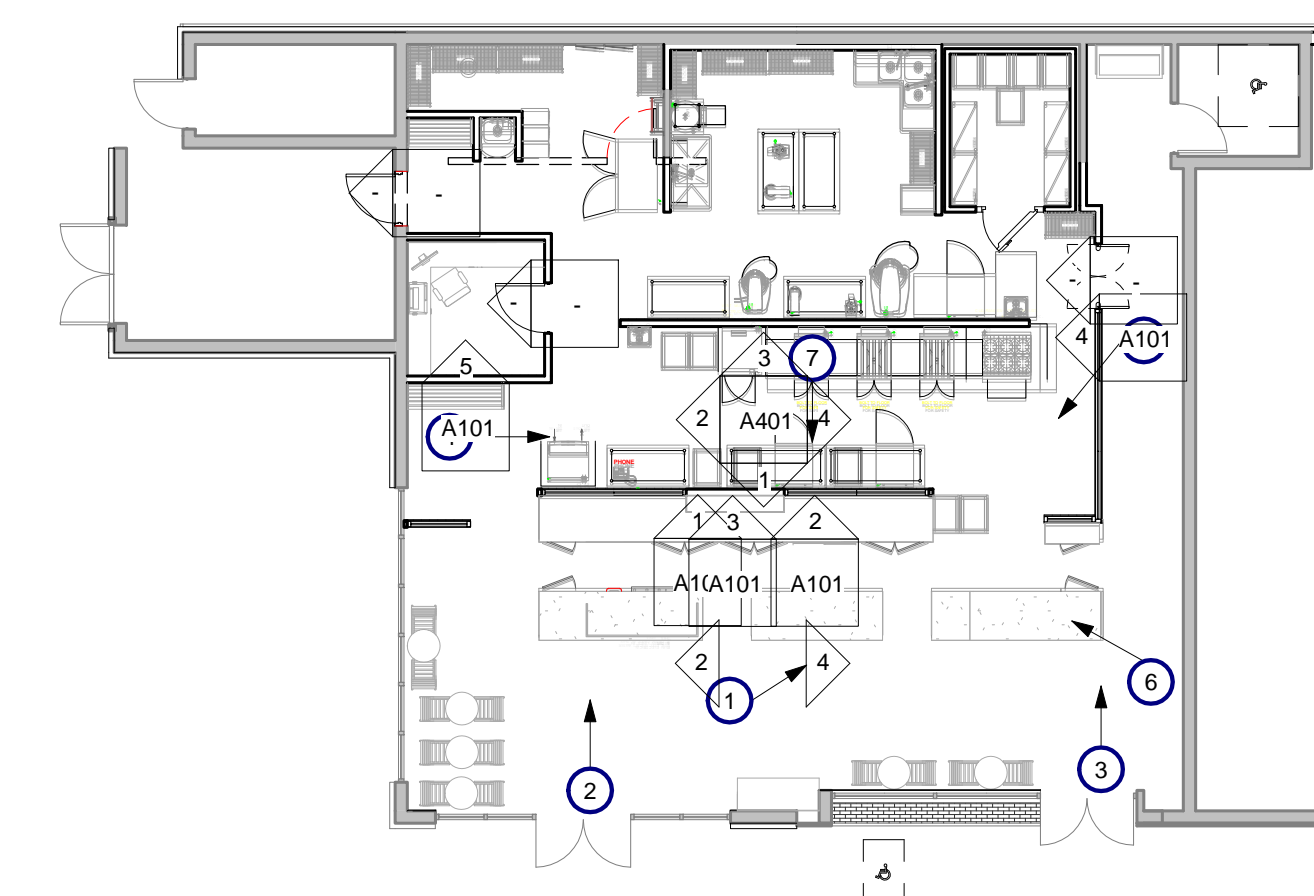
4 PERSPECTIVE 03



3 PERSPECTIVE 02



2 PERSPECTIVE 01



1 KEYPLAN
3/32" = 1'-0"

Design Consultant:

ARCHITECTURE
 Innovation and Design in
 Architecture, Inc.
 115 Pine Ave. Suite 250
 Long Beach, CA 90802
 www.olibolidesign.com

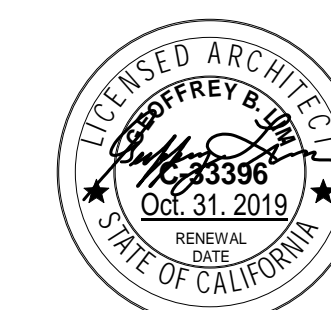
Architect:
GEOFFREY B. LIM
 AIA, NCARB, LEED AP

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Project Owner:

OLIBOLI
 donuts
 135 W. 1ST STREET
 UNIT B & C
 TUSTIN, CA 92780

Stamp:



Issue For:
 ISSUED FOR
 CONSTRUCTION
Issue Date:
 02.26.2018

NO.	REASON	DATE

PRINCIPAL IN CHARGE:
 GEORGE COOL
PROJECT MANAGER:
 WILLIAM AYALA
DRAWN BY:
 WILLIAM AYALA

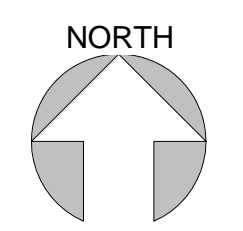
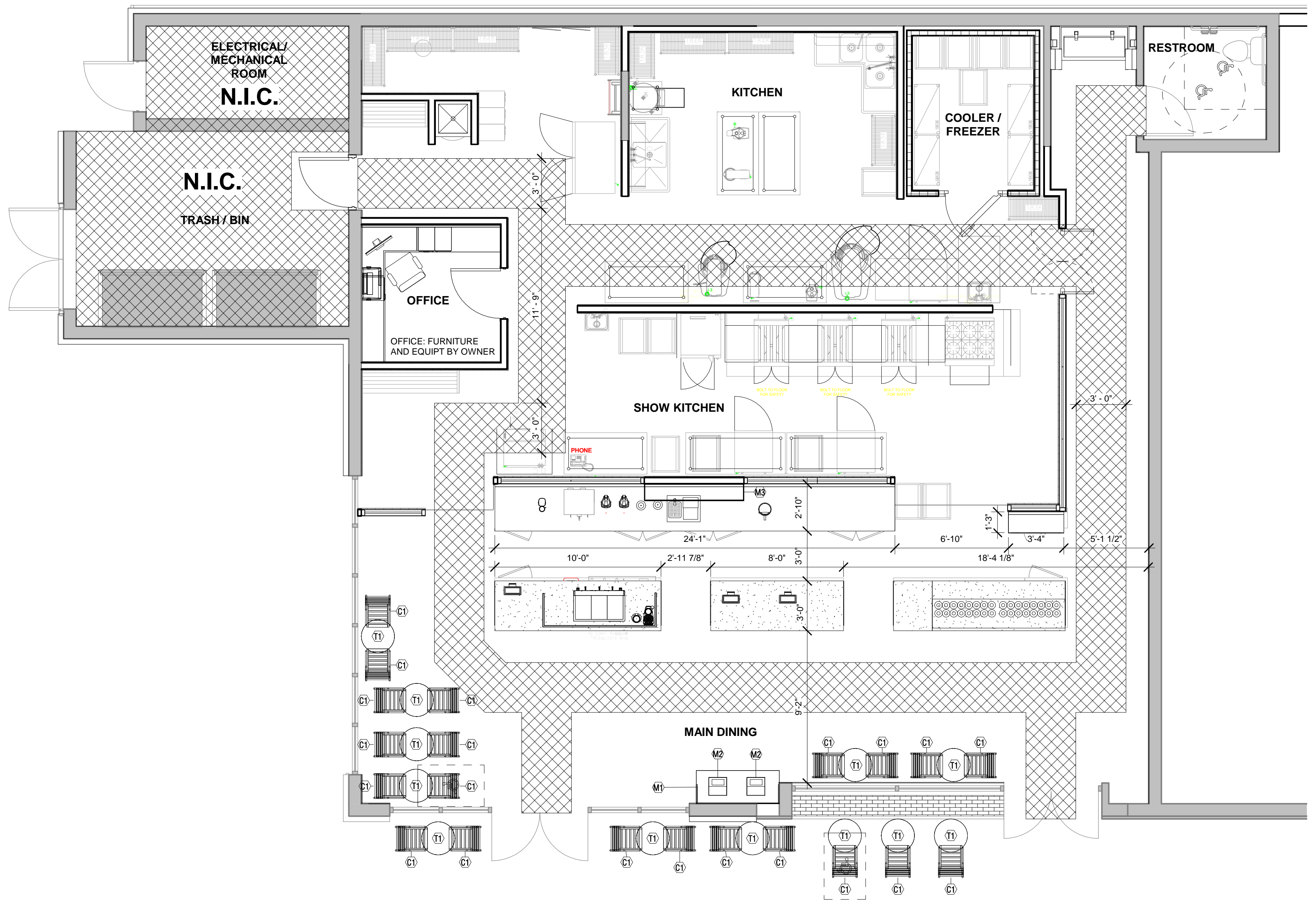
Project Address:
 OLIBOLI
 135 W. FIRST STREET
 UNIT #B&C
 TUSTIN, CA 92780

Project Number:
 142-002-18
Sheet Title:
 PROPOSED
 PERSPECTIVE VIEWS

Sheet Number:
 A600

TW	DESCRIPTION	QTY.	MANUFACTURER & REPRESENTATIVE CONTACT	SEATING		TABLES	
				MODEL	SEAT	TABLE TOP	TABLE BASE
C1	FOLDER CHAIRS	21	TBD	TBD	TBD		
M1	CONDIMENT SHELF	1	TBD				
M2	TRASH CANS	2	TBD				
M3	SHELVES	1	TBD				
T1	FOLDING TABLES	12	TBD			TBD	TBD

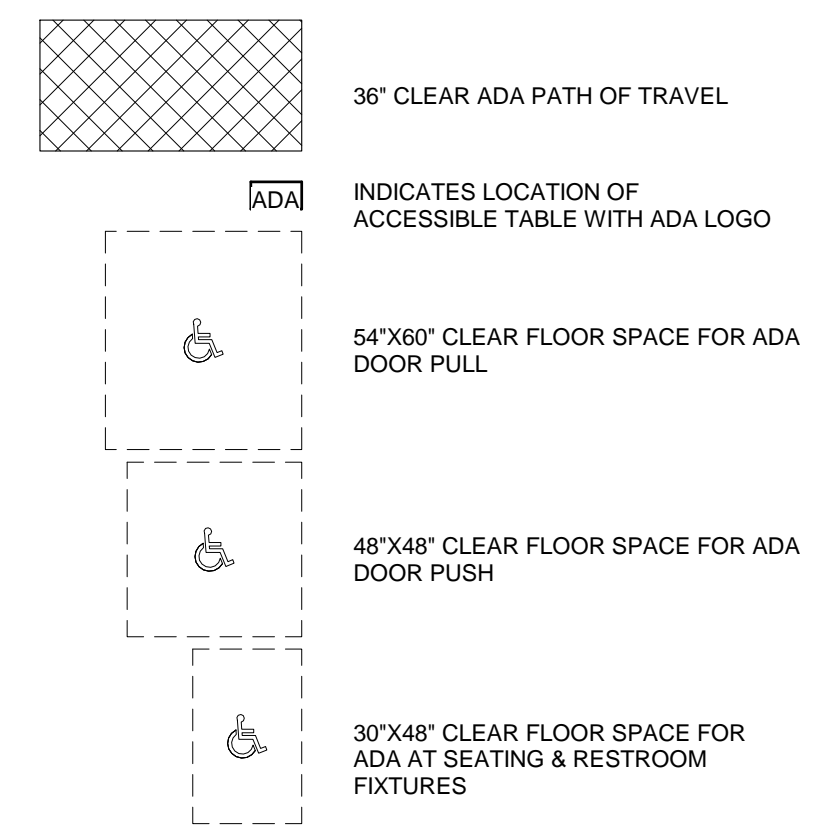
MARK	DESCRIPTION	MANUFACTURER	MODEL	EST. LEAD TIME	FLAME SPREAD	COMMENTS
FRP-1	FIBERGLASS REINFORCED PLASTIC	MARLITE	WHITE, PEBBELED		CLASS C	BOH
PT-1	OFF WHITE PAINT	SHERWIN WILLIAMS	WHITE DOVE OC-17			DINING AND RESTROOM
TL-1	TILE	DALTILE	RED BLAZE QUARRY TILE			BOH
X						
Z	Delta Chrome	Delta Faucet	Chrome			



FIXTURE PLAN GENERAL NOTES

- A. ALL LOOSE & FIXED FURNITURE ARE PROVIDED BY OWNER / OWNERS VENDOR. GC TO PROVIDE RECEIVING, ASSEMBLING AND INSTALLATION OF LOOSE & FIXED FURNITURE GC TO PROVIDE CONSTRUCTION DUMPSTER UNTIL AFTER INSTALLATION OF FURNITURE AND PROVIDE THE REMOVAL OF ALL PACKING CARBOARD AND RECYCLABLE MATERIALS ASSOCIATED WITH PACKAGING OF ALL FF&E AS NECESSARY.
- B. ALL EQUIPMENT IS PROVIDED BY OWNER OR KITCHEN EQUIPMENT VENDOR. G.C. TO COORDINATE DELIVERY AND PROVIDE UTILITY CONNECTIONS.
- C. REFER TO KITCHEN EQUIPMENT SHEETS & EQUIPMENT CUT SHEETS FOR ALL FOODSERVICE EQUIPMENT LOCATIONS, IDENTITY & SCHEDULE.
- D. GC TO PROVIDE PRE-CLEANING OF THE ENTIRE BUILDING, PRIOR TO THE KITCHEN EQUIPMENT & FURNITURE BEING INSTALLED.
- E. GC TO PROVIDE "DUST FREE" CLEANING OF THE ENTIRE STORE FOLLOWING KITCHEN EQUIPMENT INSTALLATION.
- F. GC TO PROVIDE FOR REMOVAL AND REPLACEMENT OF STOREFRONT AS REQUIRED FOR MOVING IN THE LARGER FOOD SERVICE EQUIPMENT.
- G. GC TO COORDINATE ON ALL P.O.S. WITH OWNER AND VENDOR FOR REQUIREMENTS
- H. FIXTURE INSTALL TO BE UNDER SEPARATE PERMIT WHERE REQUIRED BY LOCAL JURISDICTION.
- I. FIXTURE MANUFACTURER(S) TO VERIFY REQUIREMENTS AND TO PROVIDE DRAWINGS AND ENGINEERING IF REQUIRED.
- J. MINIMUM AISLE WIDTH BETWEEN FIXTURES SHALL BE 36". MINIMUM EXIT AISLE WIDTH SHALL BE 44".

FIXTURE PLAN LEGEND

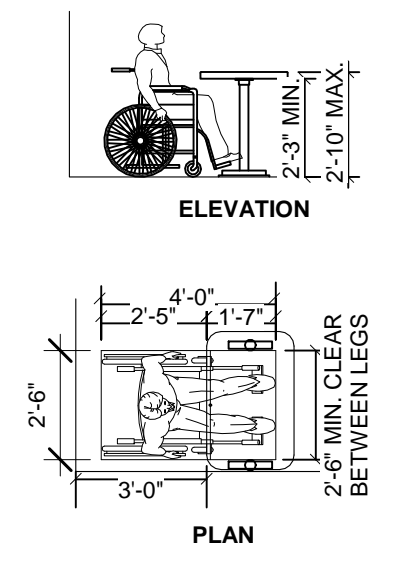


SEATING CAPACITY

SEATING CAPACITY

24

ACCESSIBLE SEATING DETAIL



CAPACITY OF SEATING IN ASSEMBLY AREAS:
24 X 5% = 1.2 ACCESSIBLE SEATS REQUIRED
2 ACCESSIBLE SEATS PROVIDED

Design Consultant:

ARCHITECTURE
Innovation and Design in
Architecture, Inc.
115 Pine Ave. Suite 250
Long Beach, CA 90802
www.idaxperience.net

Architect:

GEOFFREY B. LIM
AIA, NCARB, LEED AP

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donuts
135 W. 1ST STREET
UNIT B & C
TUSTIN, CA 92780

Stamp:

Issue For:
ISSUED FOR CONSTRUCTION

Issue Date:
02.26.2018

NO.	REASON	DATE

PRINCIPAL IN CHARGE:
JEFF COOL

PROJECT MANAGER:
WILLIAM AYALA

DRAWN BY:
WILLIAM AYALA

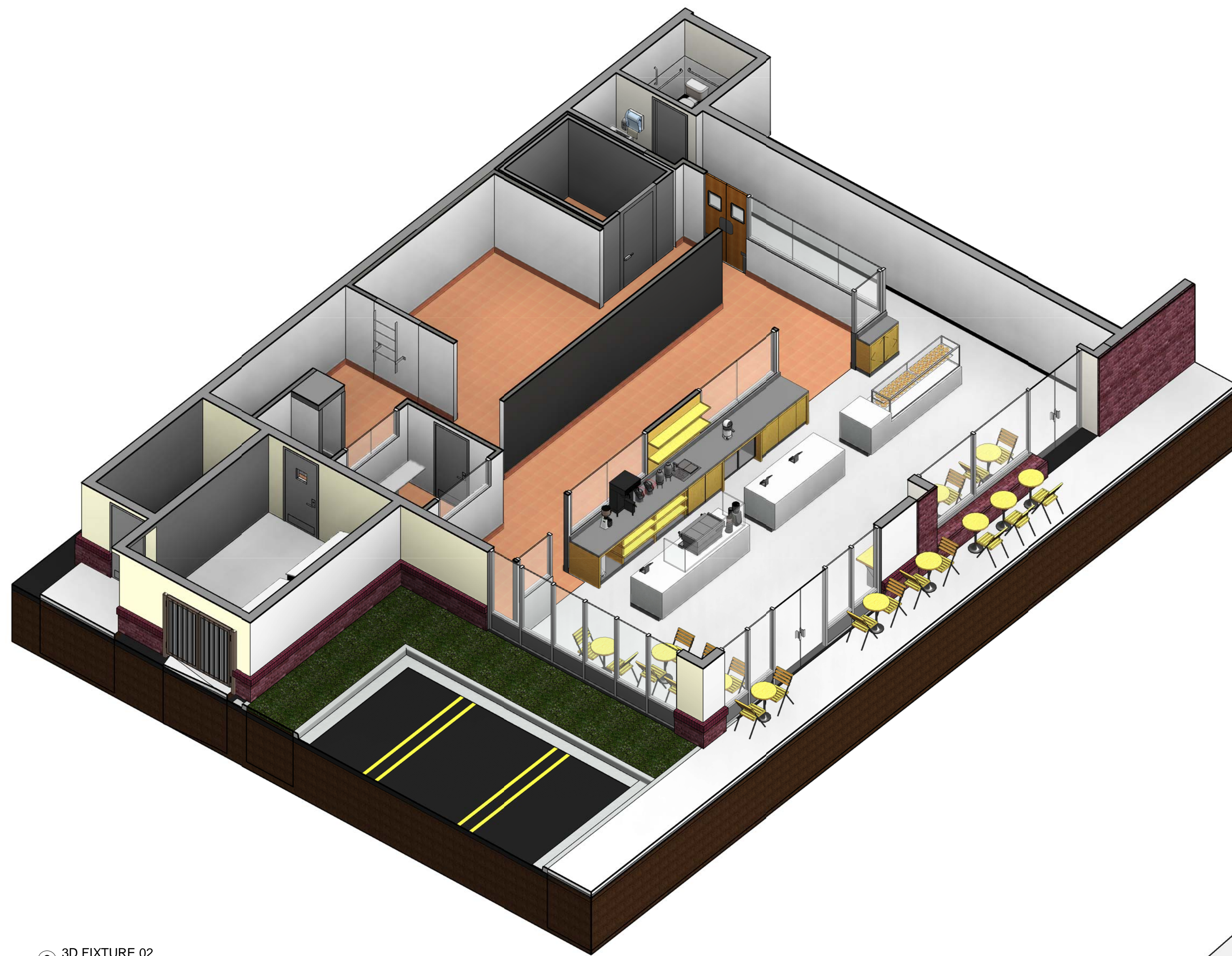
Project Address:
OLIBOLI
135 W. FIRST STREET
UNIT #B&C
TUSTIN, CA 92780

Project Number:
142-002-18

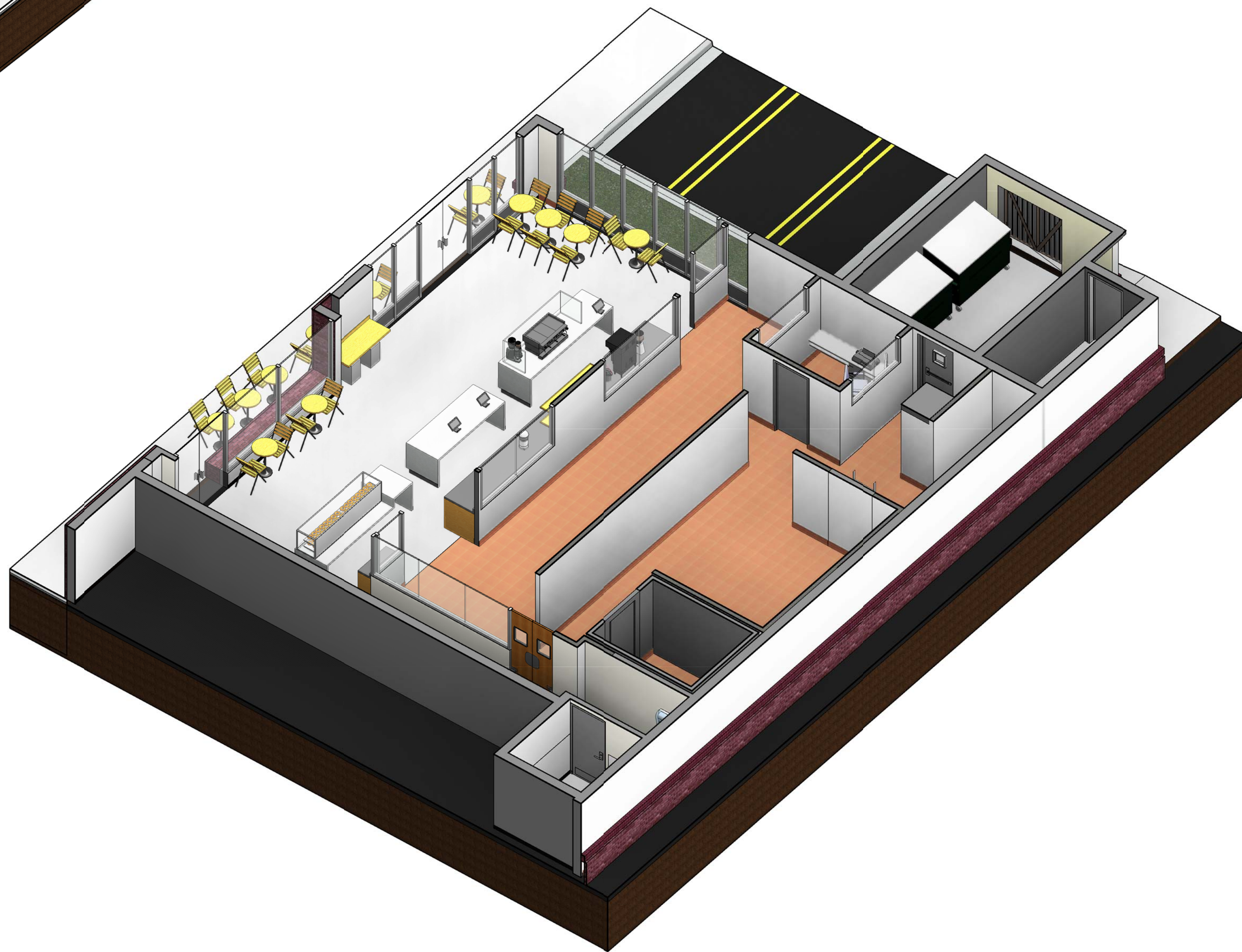
Sheet Title:
FURNITURE CASEWORK
PLAN

Sheet Number:
AF100

1 FIXTURE PLAN
1/4" = 1'-0"



② 3D FIXTURE 02



① 3D FIXTURE 01

Design Consultant:



ARCHITECTURE
Innovation and Design in
Architecture, Inc.
115 Pine Ave. Suite 250
Long Beach, CA 90802
www.ideasexperience.net

Architect:

GEOFFREY B. LIM
AIA, NCARB, LEED AP

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02.26.2018

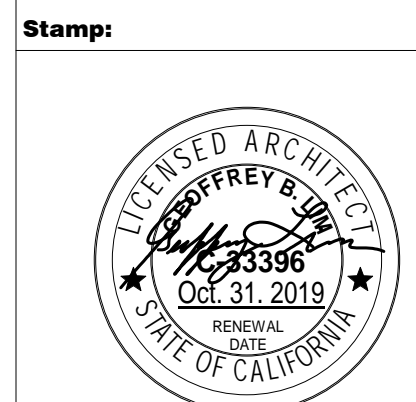
NO.	REASON	DATE

PRINCIPAL IN CHARGE: GEOFFREY B. LIM
PROJECT MANAGER: WILLIAM AYALA
DRAWN BY: WILLIAM AYALA

Project Address:
OLIBOLI
135 W. FIRST STREET
UNIT #B&C
TUSTIN, CA 92780

Project Number:
142-002-18
Sheet Title:
3D FIXTURE PLAN

Sheet Number:
AF101



Issue For:
 ISSUED FOR
 CONSTRUCTION

Issue Date:
 02.26.2018

NO.	REASON	DATE

Principal in Charge:
 GEORGE COOL
 Project Manager:
 WILLIAM AYALA
 Drawn By:
 WILLIAM AYALA

Project Address:
OLIBOLI
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 TUSTIN, CA 92780

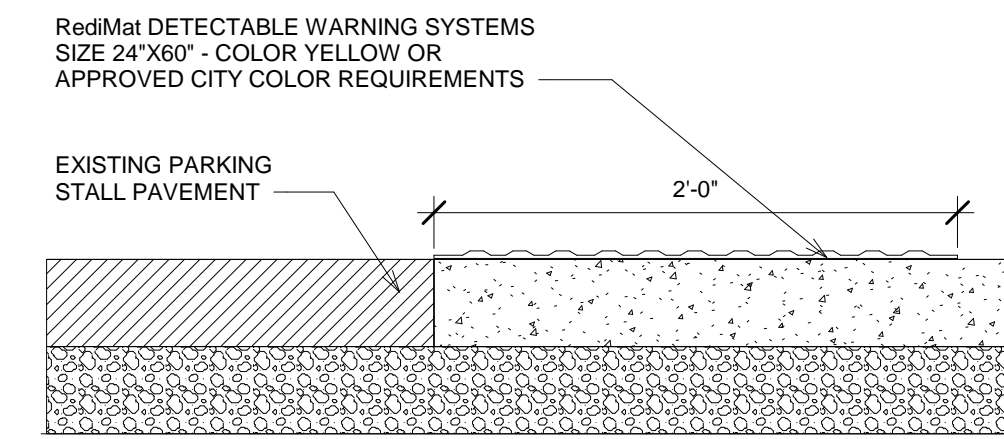
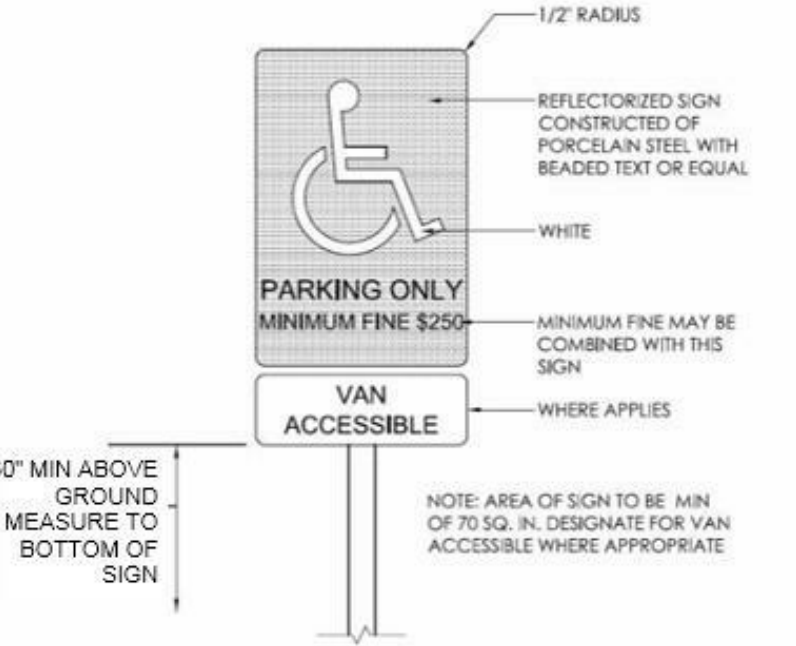
Project Number:
 142-002-18

Sheet Title:
 SITE PLAN

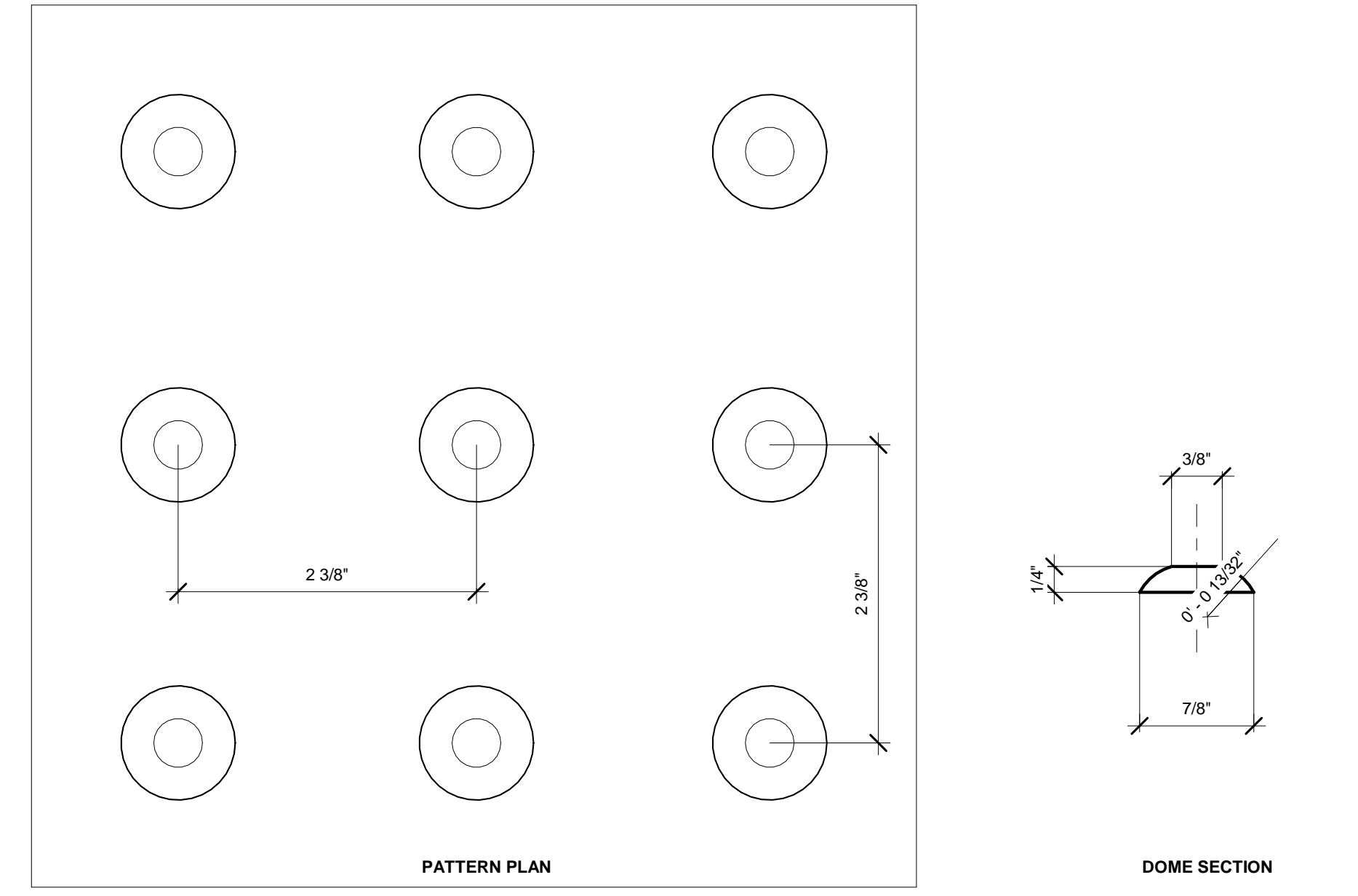
Sheet Number:
AS100

NOTE: ALL EXTERIOR ACCESSIBLE DETAILS AND CONDITIONS ARE EXISTING. GC TO VERIFY ALL CONDITIONS AND PROVIDE & INSTALL ANY REQUIRED ITEMS AS LISTED ON THESE SHEETS IN THE ITEMS NOTED BELOW

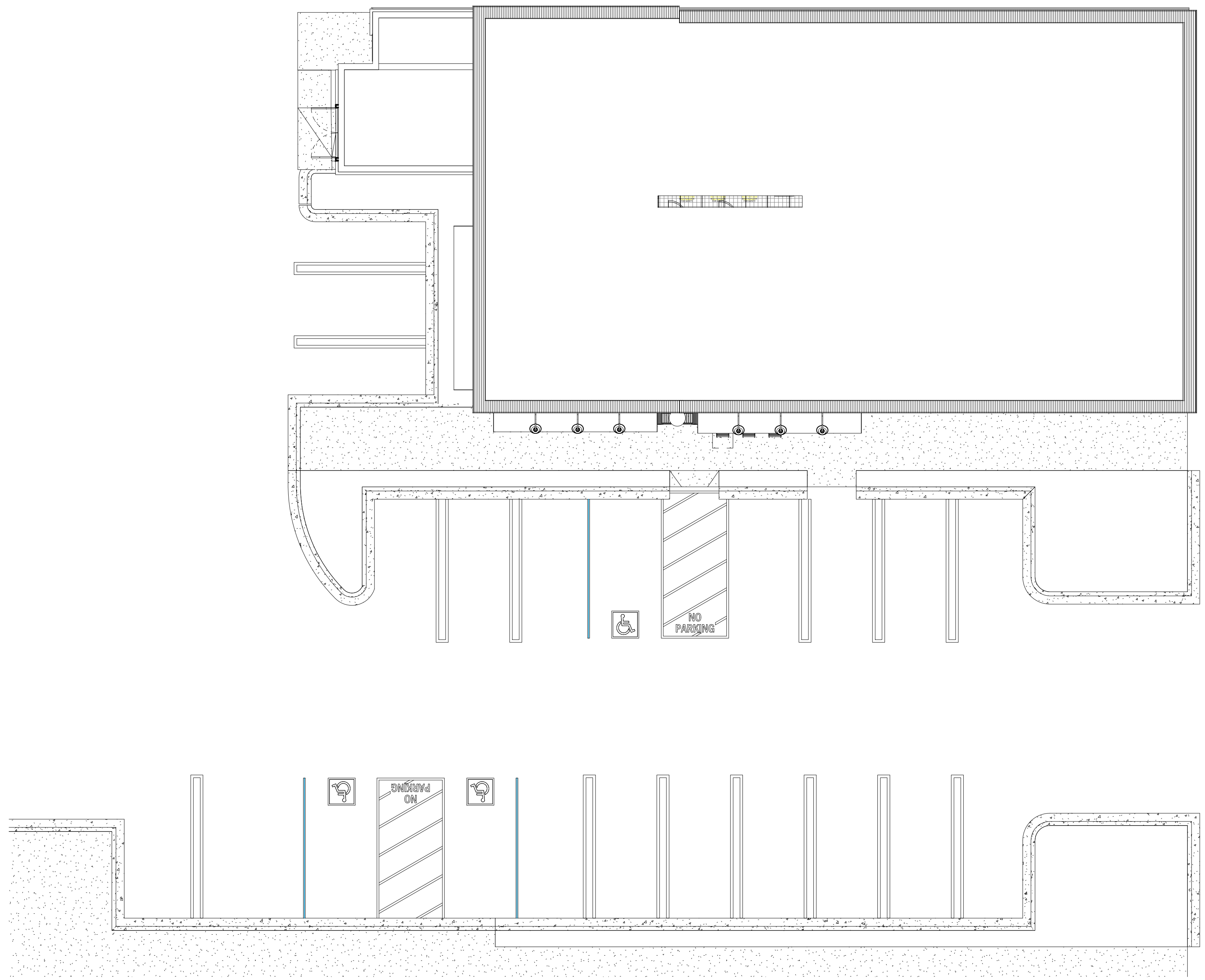
- SIGNAGE NOTES:
- SIGNS INTENDED FOR USE BY PEDESTRIANS WITHIN PARKING FACILITIES, INCLUDING DIRECTIONAL OR INFORMATIONAL SIGNS INDICATING PARKING SECTIONS OR LEVELS, SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 11B-216, §11 B-216.5.2
 - THE PARKING SPACE SHALL BE OUTLINED IN BLUE OR PAINTED BLUE AND SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH IN WHITE OR A SUITABLE CONTRASTING COLOR. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE. §11B-502.6.4.2
 - AN ADDITIONAL SIGN SHALL BE POSTED EITHER: 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR 2) IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE. §11 B-502.8
 - THE ADDITIONAL SIGN SHALL NOT BE LESS THAN 17 INCHES WIDE BY 22 INCHES HIGH. §11B-502.8.1
 - THE ADDITIONAL SIGN SHALL CLEARLY STATE IN LETTERS WITH A MINIMUM HEIGHT OF 1 INCH THE FOLLOWING: §11B-502.8.2 "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: OR BY TELEPHONING _"
 - EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE SURFACE IDENTIFICATION COMPLYING WITH EITHER OF THE FOLLOWING SCHEMES: §11B-502.6.4
 - THE PARKING SPACE SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON A BLUE BACKGROUND A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE LENGTH. §11 B-502.6.4.1
 - A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE. §11 B-502.6.3
 - PARKING IDENTIFICATION SIGNS SHALL BE REFLECTORIZED WITH A MINIMUM AREA OF 70 SQUARE INCHES. §11 B-502.6.1
 - ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250." §11 B-502.6.2



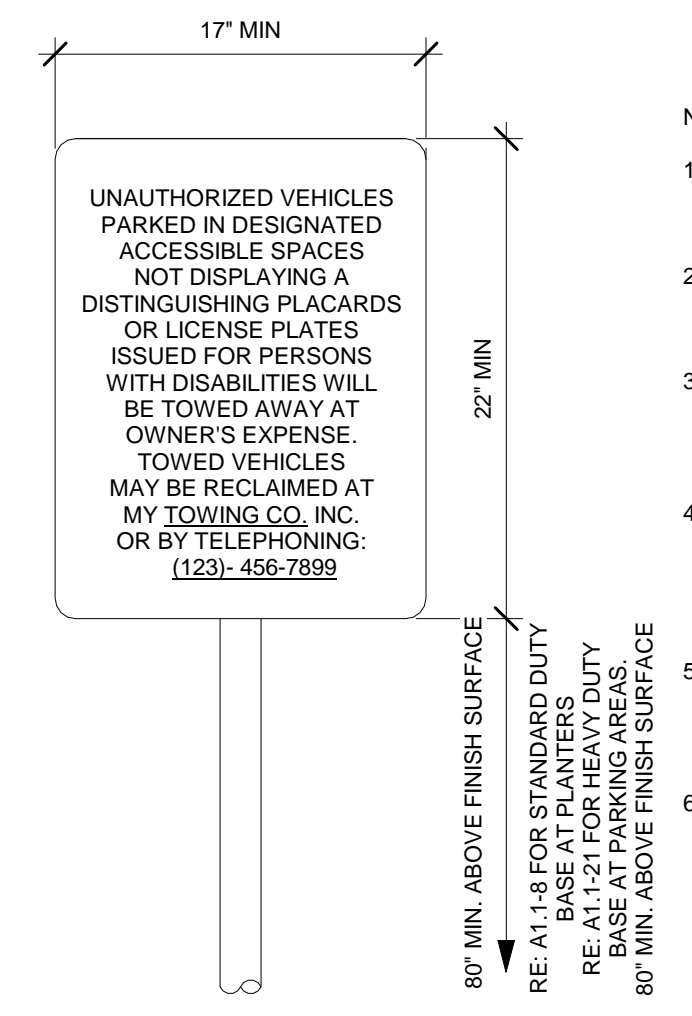
4 EXISTING ACCESSIBLE PARKING SIGNAGE - FOR REFERENCE ONLY 12\"/>



2 RediMat DETECTABLE WARNING SYSTEMS TRUNCATED DOMES 12\"/>

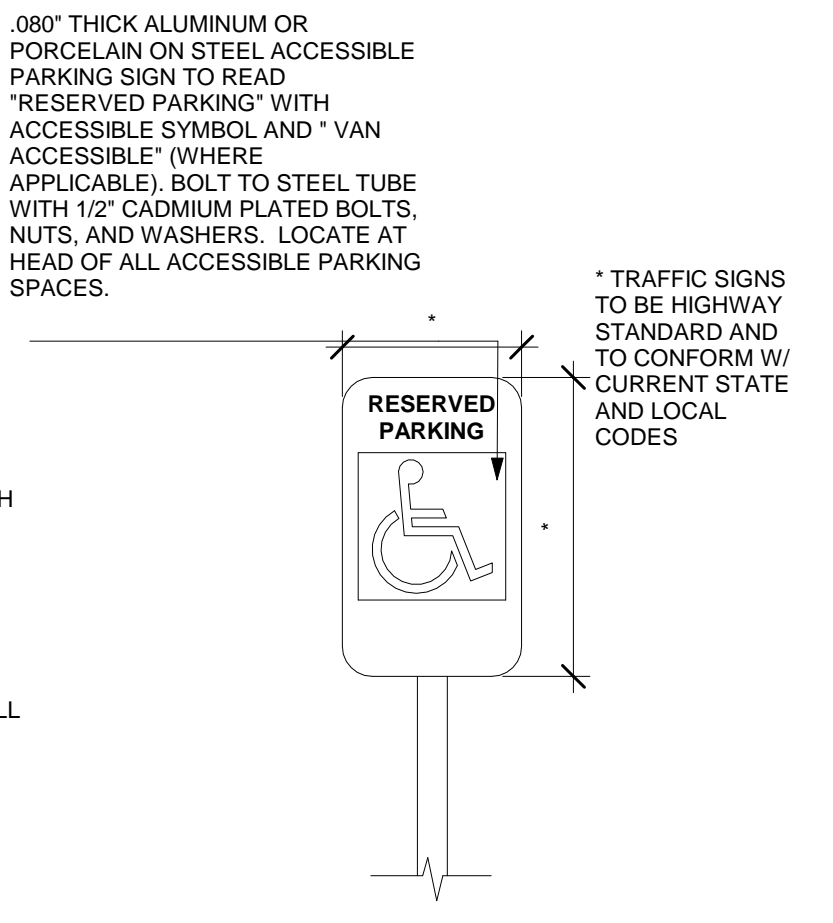


1 SITE PLAN 1/8\"/>

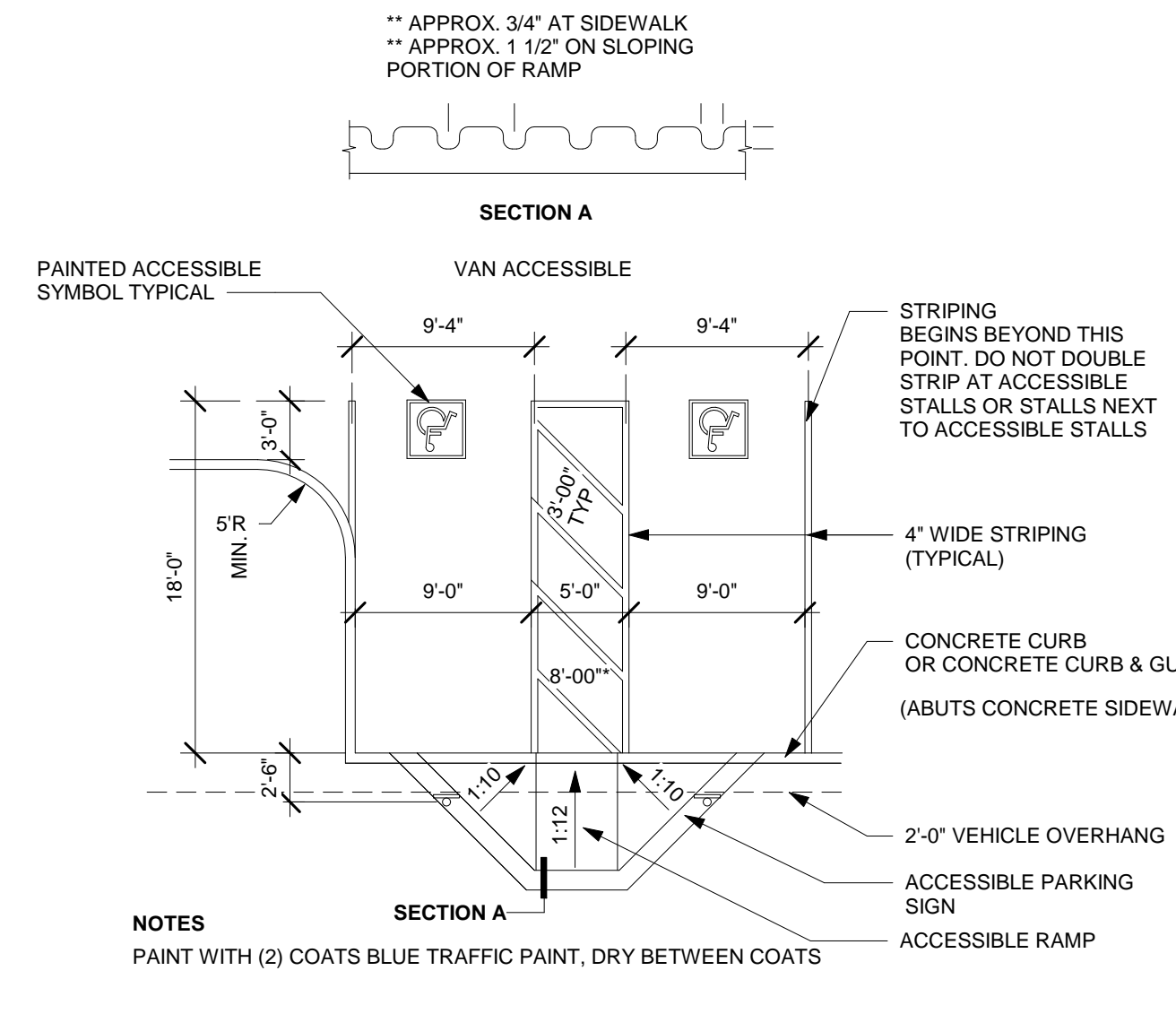


7 ACCESSIBLE NOTIFICATION SIGN 1 1/2\"/>

- NOTES:
- .080\"/>



6 ACCESSIBLE PARKING SIGN 12\"/>



5 90 DEGREE ACCESSIBLE PARKING 1/8\"/>

