ABBREVIATIONS

ADD	REVIATIONS
ABBV	DESCRIPTION
&	AND
L @	ANGLE AT
CL	CENTERLINE
DIA. PERP.	DIAMETER PERPENDICULAR
С	CHANNEL
#	POUND OR NUMBER
	ACOUSTICAL CEILING PANEL
	AREA DRAIN ADJUSTABLE
	ABOVE FINISH FLOOR
	AGGREGATE ALUMINIUM
APROX.	APPROXIMATE
	ARCHITECTUTRAL ASBESTOS
ASPH.	
AXON.	AXONOMETRIC
	BACK OF CURB
	BOARD BITUMINOUS
	BUILDING
BLK. BLKG.	BLOCK
	BEAM
B.O. BOT.	BOTTOM OF
BOT. B.R.	BOTTOM BULLET RESISTANT
B.T.B.	BACK TO BACK
 САВ.	CABINET
	CATCH BASIN
CEM. CER.	CEMENT CERAMIC
C.I.	CAST IRON
	CONSTRUCTION JOINT CENTER LINE
	CEILING
CLO. CLR.	CLOSET CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN CONCRETE
CONSTR.	CONSTRUCTION
	CONTINUOUS CORRIDOR
	CONTERSUNK
CNTR.	
CT CTR.	CERAMIC TILE CENTER
	DOUBLE
DBL. DEOT.	DEPARTMENT
D.F.	DRINKING FOUNTAIN
DET. DIA.	
	DIMENSION
DISP. DN.	DISPENSER DOWN
D.O.	DOOR OPENING
DR. DWR.	DOOR DRAWER
DS.	DOWNSPOUT
D.S.P. DWG.	DRY STANDPIPE DRAWINGS
E (E)	EXISTING EXISTING
EÁ.	EACH
	EXPANSION JOINT ELEVATION
ELEC.	ELECTRICAL
	ELEVATION ELEVATOR
	EMERGENCY
	ENCLOSURE ELECTRICAL PANEL
E.P. E.P.	EDGE OF PAVEMENT
EQ.	EQUAL
	EQUIPMENT ELECTRIC WATER COOLER
EXIST.	EXISTING
	EXPOSED EXPANSION
EXT.	EXTERIOR
 F.A.	FIRE ALARM
	FLAT BAR

ABBV F.C.	DESCRIPTION FACE OF CURB
F.D. FDN. F.A.	FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER
F.A.C.	FIRE EXTINGUISHER FIRE EXTINGUISHER FINISHED FLOOR
F.G. F.H.	FINISHED GRADE FIRE HYDRANT
F.H.C. FIN.	FIRE HOSE CABINET FINISH
FLASH.	FLOOR FLASHING
	FLUORESCENT FACE OF FACE OF CONCRETE
F.O.F.	FACE OF FINISH FACE OF STUDS
FPRF.	FIRE PROTECTION RISER FIRE RETARDANT TREATED
F.S. FT. F.TR	FULL SIZE FOOT OR FEET FIRE TREATED
FTG. FURR.	FOOTING
F&I	FURNISH AND INSTALL FUTURE
GA. GALV.	GAUGE GALVANIZED
G.B.	GRAB BAR GENERAL CONCTRACTOR
	GLASS / GLAZING GROUND
GYP.	GRADE GYPSUM
	GYPSUM WALL BOARD
H.C. HDWD.	HOLLOW CAB HARDWOOD
HDWR.	HARDWARE
HORIZ.	HOLLOW METAL HORIZONTAL HOUR
	HEIGHT
	INSIDE DEAMETER (DIM.)
INT.	INSULATION INTERIOR JANITOR
JT. KIT.	JOINT KITCHEN
LAM.	LABORATORY LAMINATE
LKR.	LAVATORY LOCKER LIGHT
MECH.	MEDICINE CABINET MECHANICAL
	MEMBRANE METAL MANUFACTURER
MFR. MH. MIN.	MANHOLE MINIMUM
MIR.	MIRROR MISCELLANEOUS
MTD.	MASONRY OPENING MOUNTED
MUL. (N)	MULLION
()	NOT IN CONTRACT NUMBER
NR. NOM.	NUMBER NOMINAL
N.T.S. O.A.	NOT TO SCALE OVERALL
OBS.	
O.D. OFF.	OUTSIDE DIAMETER (DIM.) OFFICE
OPNG. OPP.	OPENING OPPOSITE
Ρ.	PAINT

ABBV	DESCRIPTION
P.A.	PLANTING AREA
PRCST.	PRECAST
PL.	PLATE
P.LAM	PLASTIC LAMINATE
PLAS.	PLASTER
PLWD.	PLYWOOD
PR.	PAIR
PT.	POINT
P.T.D.	PAPER TOWEL DISP
P.T.D/R	COMBINATION PAPE
	TOWEL DISPENSER
	RECEPTACLE
Q.T.	QUARRY TILE
R	RISER OR RELOCAT
RAD.	RADIUS
R.D.	ROOF DRAIN
REF.	REFERENCE
REFR.	REFRIGERATOR
RGTR.	REGISTER
REINF.	REINFORCED
REQ'D.	REQUIRED
RESIL.	RESILIENT
RM.	ROOM
R.O.	ROUGH OPENING
RWD.	REDWOOD
R.W.L.	RAIN WATER LEADE
ç	SOUTH
S. S.A.F.B.	SOUTH SOUND ATTENUATIO
J.A.F.B.	BLANKETS
<u> </u>	
S.C.	SOLID CORE
	SEAT COVER DISPE
	SCHEDULE
	SOAP DISPENSER
	SECTION
SH.	SHELF
SHR.	SHOWER
SHT.	SHEET
SIM.	SIMILAR
S.N.D.	SANITARY NAPKIN
	DISPENSER
S.N.R.	SANITARY NAPKIN
	RECEPTACLE
-	SEALANT
	SYMBOL ON BACKG
	SPECIFICATION
SQ.	SQUARE
S.S.	STAINLESS STEEL
S.SK.	SERVICE SINK
STA.	STATION
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRL.	STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
Т.	TREAD
т.в.	TOWEL BAR
T.B.D.	TO BE DETERMINED
т.в. <i>р</i> . т.с.	TOP OF CONCRETE
	TELEPHONE
TEL.	
TER.	TERRAZZO
T&G TUK	
THK.	THICK
T.O.C.	TOP OF CURB
T.O.P.	TOP OF PAVEMENT
T.P.D.	TOILET PAPER DISP
T.V.	TELEVISION
T.W.	TOP OF WALL
TYP.	TYPICAL
UNF.	UNFINISHED
U.O.N.	UNLESS OTHERWIS
UR.	URINAL
	VINYL COMPOSITIO
VERT.	VERTICAL
VEST.	VESTIBULE
V.I.F.	VERIFY IN FIELD
W.	WEST
W/	WITH
W.C.	WATER CLOSET
WD	WOOD
WD. W/O	WOOD WITHOUT
W/O	WITHOUT
W/O W.0.	WITHOUT WHERE OCCURS
W/O W.0. WP.	WITHOUT WHERE OCCURS WATERPROOF
W/O W.0. WP. WSCT.	WITHOUT WHERE OCCURS WATERPROOF WAINSCOT
W/O W.0. WP.	WITHOUT WHERE OCCURS WATERPROOF
W/O W.0. WP. WSCT.	WITHOUT WHERE OCCURS WATERPROOF WAINSCOT

\REA AMINATE WEL DISPENSER TION PAPER PENSER AND -----ILE -----RELOCATE ATOR FD ENING ER LEADER -----TENUATION ER DISPENSER PENSER NAPKIN NAPKIN N BACKGROUND TION S STEEL INK ICAL -----ERMINED ONCRETE AND GROOVE JRB VEMENT PER DISPENSER

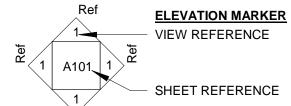
-----THERWISE NOTED -----**MPOSITION TILE** FIELD -----.OSET CCURS

OOF -----

ROOM MARKER

CEILING MARKER

SYMBOL LEGEND



Ref

\ A101//--

SIM

SHEET REFERENCE **BUILDING SECTION MARKER** VIEW REFERENCE

WALL SECTION MARKER 1 SIM VIEW REFERENCE A101-

DETAIL MARKER - VIEW REFERENCE A101 - SHEET REFERENCE

name - ROOM NUMBER # **KEYNOTE TAG** WALL/STOREFRONT XX TYPE 1 DOOR NUMBER (A)WINDOW MARKER (FIN-1) FINISH TAG ELEVATION MARKER LEVEL - ELEVATION DESCRIPTION

CEILING TYPE CEILING MATERIAL 8'-0"A.F.F. CEILING HEIGHT

APPLICABLE CODES

NORTH ARROW

CHAPTER 16: 2015 International Fire Code, including Appendix J, with Dallas Amendments (effective October 1, 2016) The Fire Code amendments include adoption of the 2013 Edition of the following Standards: Sprinklers, NFPA 13, 13D,

13R and Fire Alarm, NFPA 72. CHAPTER 53: 2015 International Building Code with Dallas Amendments

CHAPTER 54: 2015 International Plumbing Code with Dallas Amendments CHAPTER 55: 2015 International Mechanical Code with Dallas Amendments

CHAPTER 56: 2017 National Electrical Code with Dallas Amendments (effective March 1, 2018) CHAPTER 57: 2015 International Residential Code with Dallas Amendments CHAPTER 58: 2003 International Existing Building Code with Dallas Amendments (effective July 1, 2004)



PROJECT DIRECTORY

OWNER TOP ROUND HOUSE OF NAPOLITAN, LLC CONTACT: JASON NAPOLITAN PHONE: (214) 680-8138 EMAIL: jnapolitan@eattopround.com

LANDLORD: **BLACKWOOD DEVELOPMENTS** DANIEL D. W. SIMMONS 8140 WALNUT HILL LN, #310 DALLAS, TX 75231 PHONE: (214) 681-8346

EMAIL: daniels@blackwooddevelopments.com

CONTRACTOR : PARAGON CONSTRUCTION CRAIG BARROW PHONE: (972) 571-7905 EMAIL: craig@buildparagon.com

2

DEFERRED SUBMITTALS

DEFERRED HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTAL: FIRE SUPPRESSION (SPRINKLER SYSTEM) SIGNAGE CIVIL DRAWINGS GRADING

ARCHITECT : INNOVATION AND DESIGN IN ARCHITECTURE, INC 218 THE PROMENADE NORTH LONG BEACH, CA 90802 CONTACT: MIGUEL HERNANDEZ PROJECT MANAGER PHONE: (562) 206-7720 EMAIL: miguel@idaexperience.com MEP ENGINEERING TEAM

RTM ASSOCIATES 7780 W 119TH STREET OVERLAND PARK, KS 66213 CONTACT: BRANDON FREY SENIOR ENGINEER PHONE: (913) 303-0034 EMAIL: brandon.frey@rtmassociates.com

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SHEET INDEX

SHEET NUMBER	SHEET NAME	CURRENT REVISION DATE	CUR
0-GENERAL			
	COVER SHEET	3/14/19	2
	GENERAL NOTES		
G2.00	ACCESS/EGRESS PLAN & CODE COMPLIANCE	3/14/19	2
	ENLARGED RESTROOM & ACCESSIBILITY DETAILS	3/14/19	2
G3.00	DOOR & WINDOW SCHEDULES	3/14/19	2
G4.0	RESPONSIBILITY MATRIX		
1-DEMOLITION			
	DEMOLITION PLAN	3/14/19	2
2-ARCHITECTURA			
		3/14/19	1
	CONSTRUCTION PLAN - DIMENSIONED	3/14/19	2
	CONSTRUCTION PLAN - NOTED REFLECTED CEILING PLANS	3/14/19 3/14/19	2
	ROOF PLAN	5/14/19	
	FINISH PLAN & SCHEDULES	3/14/19	2
	EXTERIOR ELEVATIONS	3/14/19	2
	INTERIOR ELEVATION		
	BUILDING SECTIONS	3/14/19	2
	BUILDING SECTIONS	3/14/19	2
	WALL SECTIONS	3/14/19	2
A7.00	WALL TYPES & SCHEDULE	3/14/19	2
A7.01	GENERAL FRAMING DETAILS		
A7.10	CEILING DETAILS		
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	STRUCTURAL NOTES AND SPECIAL INSPECTIONS		
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	BUILDING SECTIONS SECTIONS & DETAILS		
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	MECH ENERGY COMPLIANCE		
	MECH ENERGY COMPLIANCE		
	FLOOR PLAN MECHANICAL		
	MECHANICAL PLAN SCHEDULE		
	MECHANICAL HOOD AND FAN DETAILS		
M3.1	MECHANICAL HOOD AND FAN DETAILS		
M3.2	MECHANICAL HOOD AND FAN DETAILS		
M3.3	MECHANICAL HOOD AND FAN DETAILS		
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5-ELECTRICAL			
	ELECTRICAL SYMBOLS, ABBREVIATIONS & ENERGY CODE COMPLIANCE		
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6-PLUMBING	ELECTRICAL SPECIFICATIONS		
	PLUMBING WASTE VENT PLAN		
	PLUMBING WASTE VENT PLAN		_
	PLOMBING DETAILS PLAMBING WASTE & GAS PLAN		
	PLUMBING DETAILS		
	PLUMBING RISERS		
	PLUMBING SCHEDULES		+
		1	1

DOCUMENTS FOR DEFERRED SUBMITTALS ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL SHALL NOT BE INSTALLED UNTIL THE

TENANT IMPROVEMENT

BRYAN ST T.I.

4800 BRYAN ST, DALLAS TX, 75204

CONSTRUCTION 03/14/19

ISSUE FOR: ISSUE DATE:



THE CONSTRUCTION CONTRACT INCLUDES THE EXECUTED, SIGNED AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR, AND THE CONSTRUCTION DOCUMENTS, WHICH INCLUDES THE DRAWINGS AND THE SPECIFICATIONS.

BY EXECUTION OF THE CONSTRUCTION CONTRACT, THE CONTRACTOR REPRESENTS THAT HE OR SHE HAS (1) READ AND UNDERSTANDS THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS, (2) VISITED THE PROJECT-SITE, (3) BECOME FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED, (4) CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS, AND (5) THAT HE OR SHE WILL COMPLY WITH ALL REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS.

THE INTENT OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE CONSTRUCTION WORK - AND TO PROVIDE (FURNISH AND INSTALL) ALL PRODUCTS, MATERIALS, EQUIPMENT OR ACCESSORIES REQUIRED FOR PROPER OPERATION, IN ACCORDANCE WITH THEIR MANUFACTURER'S REQUIREMENTS.

THE CONTRACT DOCUMENTS ARE COMPLEMENTARY - WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. WHILE PREPARED WITH DUE CARE AND DILIGENCE, PERFECTION IS NOT POSSIBLE. DESIGN AND CONSTRUCTION ARE COMPLEX - EVERY POSSIBLE CONDITION OR CONTINGENCY CANNOT BE ANTICIPATED OR FULLY INDICATED WITHIN THE DOCUMENTS.

CAREFULLY STUDY AND COMPARE THE VARIOUS DRAWINGS (INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL) AND OTHER CONTRACT DOCUMENTS WITH THE EXISTING CONDITIONS AT THE PROJECT-SITE BEFORE STARTING CONSTRUCTION. REPORT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED FOR CLARIFICATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR REPAIR OR CORRECTION COSTS IF WORK IS EXECUTED WITH KNOWLEDGE THAT IT INVOLVES AN ERROR, INCONSISTENCY OR OMISSION - WITHOUT THE ABOVE NOTICE.

IN THE EVENT OF CONFLICT OR AMBIGUITY WITHIN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR WILL BE DEEMED TO HAVE AGREED TO PROVIDE THE GREATER QUANTITY AND / OR BETTER QUALITY OF MATERIALS AND / OR WORK. OMISSIONS IN THE DESCRIPTION OF THE WORK DO NOT RELIEVE THE CONTRACTOR FROM PROVIDING A COMPLETE PROJECT.

THE CONTRACTOR SHALL FULLY ACQUAINT HIM/HERSELF WITH THE CONDITIONS AND REQUIREMENTS OF THE DRAWINGS AND ACCOMPANYING SPECIFICATIONS, INCLUDING OTHER PARTS OF THE PROPOSED CONTRACT DOCUMENTS, AND FULLY UNDERSTAND THE CONDITIONS, DIFFICULTIES AND RESTRICTIONS COMPLETELY, BEFORE EXECUTING THE WORK. IT IS UNDERSTOOD THAT OMISSIONS FROM THE BID, DUE TO FAILURE OF THE CONTRACTOR TO FULLY ACQUAINT HIMSELF WITH THE CONSTRUCTION DOCUMENTS WILL NOT ENTITLE HIM TO ADDITIONAL CONSIDERATION AND/OR COMPENSATION. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.

SHOULD THE CONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM THE CONSTRUCTION DOCUMENTS, OR BE IN DOUBT AS TO THE MEANING AND INTENTION OF ANY ITEMS OR REQUIREMENTS, THEY SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

THE ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND PARAGRAPHS AND THE ARRANGEMENT OF THE DRAWINGS ARE NOT INTENDED TO CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR TO ESTABLISH THE LIMITS AND EXTENT OF WORK TO BE PERFORMED BY A PARTICULAR TRADE. THE G.C. ALONE IS RESPONSIBLE FOR THE COMPLETION OF THE ENTIRE WORK AS DRAWN AND SPECIFIED, COMPLETE IN PLACE AND IN FUNCTIONAL OR OPERATING CONDITION. THE DIVISION OF THE SPECIFICATIONS INTO SECTIONS AND PARAGRAPHS AND ORGANIZATION OF THE DRAWINGS IS FOR CONVENIENCE ONLY AND NOT FOR THE PURPOSE OF LIMITING OR RESTRAINING PERFORMANCE OF ANY PORTION OF THE WORK TO ANY PARTICULAR TRADE.

ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE G.C. SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL THE TRADES.

NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. ANY STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS (IF REQUIRED) ARE SUPPLEMENTARY TO

THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHIT AND THE CONSULTING ENGINEERS' DRAWINGS THAT WOULD CAUSE AN IMPROPER INSTALLATION, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER OR ARCHITEC

ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.

WHERE A TYPICAL CONDITION IS DETAILED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.

THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES AT THE SITE. PROTECT THEM FROM DAMAGE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.

THE CONTRACTOR IS TO PROVIDE TEMPORARY FACILITIES AS REQUIRED BY APPLICABLE CODE, LOCAL AUTHORITIES OR JURISDICTIONAL ORDINANCE. PRIOR TO COMMENCING THE WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD, COMPARE THOSE MEASUREMENTS TO THE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT OF RECORD. DRAWINGS SHALL NOT BE SCALED OFF FOR MEASUREMENT.

THE CONTRACTOR SHALL PROVIDE ALL SHORING, BARRICADING AND BRACING NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF THE BUILDING AND THE HEALTH OF THE PUBLIC AND ALL WHO ENTER THE BUILDING DURING COMPLETION OF THE SCOPE OF WORK DEFINED BY THIS ARCHITECTURAL DOCUMENTATION SET.

ALL WORK SHALL COMPLY WITH LOCAL BUILDING AUTHORITIES, CODES, REGULATIONS, ORDINANCES AND STATUTES, STATE, FEDERAL CODE AND OTHER JURISDICTIONAL AUTHORITIES, AND LATEST REVISIONS THEREOF. MODIFICATIONS REQUIRED BY THE ABOVE AND AUTHORITY SHALL BE MADE WITHOUT ADDITIONAL CHARGE TO THE OWNER.

ALL EMERGENCY BUILDING EXITS REQUIRED BY CODE, SHALL BE OPERABLE AND UNOBSTRUCTED DURING CONSTRUCTION PERIOD. FIRE EXTINGUISHER CABINETS TO BE FURNISHED AND INSTALLED BY THE G.C. ARE TO BE IN COMPLIANCE

WITH CITY AND APPLICABLE FIRE CODES. BOTH PLACEMENT AND QUANTITY OF FIRE EXTINGUISHERS TO BE DETERMINED BY THE FIRE MARSHALL AND COMPLY WITH ALL N.F.P.A. REQUIREMENTS. G.C. TO COORDINATE INSTALLATION.

THE CONTRACTOR SHALL REVIEW THE LOCATIONS OF ALL FIRE LIFE SAFETY DEVICES WITH THE FIRE INSPECTOR AND THE OWNER REPRESENTATIVE FOR ON-SITE APPROVAL PRIOR TO INSTALLATION. INTERIOR FINISHES SHALL COMPLY WITH LOCAL CODES.

THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACKING HANGERS, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED PLUMBING, MECHANICAL, ELECTRICAL, OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.

FIRE-RESISTIVE WALLS AND PARTITIONS MAY HAVE OPENINGS FOR STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES IN AREA, PROVIDED THE AGGREGATE AREA OF SUCH OPENINGS IS NOT MORE THAN 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF WALL OR PARTITION AREA. "OUTLET BOXES" ON OPPOSITE SIDES OF WALLS AND PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24 INCHES.

INTERIOR WALL AND CEILING FINISH FLAME-SPREAD RATING SHALL BE AS REQUIRED BY LOCAL CODES. PENETRATIONS IN WALLS, FLOORS OR ROOF REQUIRING PROTECTED OPENINGS SHALL BE FIRE-STOPPED IN ACCORDANCE WITH LOCAL CODES.

ALL WIRING WITHIN CONCEALED SPACES SHALL COMPLY WITH LOCAL CODES.

ALL DOOR SIZES SHOWN ARE OPENING SIZES. ALLOWANCE FOR THRESHOLDS (1/2" MIN), ETC. SHALL BE DEDUCTED. FRAMES SHALL BE REINFORCED WHERE REQUIRED FOR CLOSURES, STOPS AND HARDWARE. ALL DISCIPLINES REQUIRED TO PROVIDE SHOP DRAWINGS AND OR SAMPLES OF FINISHES, TO SUBMIT TO THE CONTRACTOR PRIOR TO START, WHO WILL FORWARD TO ARCHITECT AND OWNER FOR COMMENTS, FOR APPROVAL OR RE-SUBMITTAL.

THE SECURITY SYSTEMS ARE TO BE PROVIDED AND INSTALLED BY OTHERS. G.C. SHALL BE RESPONSIBLE FOR COORDINATION WITH OWNER'S SECURITY SYSTEMS CONTRACTOR. GC TO REPLACE WORK OR PORTIONS OF THE WORK, NOT CONFORMING TO SPECIFIED REQUIREMENTS IN

THE OPINION OF OWNER AND OR ARCHITECT. ALL ITEMS TO BE SUPPLIED AND INSTALLED (TO A FULLY FINISHED LEVEL) BY G.C. - G.C. TO PROVIDE POWER AS REQUIRED.

DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE DAILY CLEANUP OF THE JOBSITE AND IT'S SURROUNDING AREA AND REMOVE ALL CONSTRUCTION DEBRIS FOR DISPOSAL.

OF THE WORK. NEW FIRE ALARM SYSTEM IS TO BE INCLUDED UNDER A DESIGN-BUILD CONTRACT AND SUBMITTED BY

ELECTRICAL DWGS. AND SPECIFICATIONS.)

PROJECT - EXCEPT AS NOTED OTHERWISE.

ITEMS TO BE INSTALLED LATER. OFFICIALS WILL APPLY.

POINTS AT NO ADDITIONAL COST TO THE OWNER. PROVIDE SUBCONTRACTORS WITH A FULL-SET OF THE CONSTRUCTION DOCUMENTS TO ENSURE

OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION.

FURNISHED PRODUCTS, AS APPLICABLE.

THEIR OPERATIONS. COORDINATE, RECEIVE AT SITE, VERIFY RECEIPT, HANDLE, STORE ON-SITE (IF REQUIRED), PROTECT AND INSTALL OWNER-FURNISHED PRODUCTS, AND PROVIDE SERVICE CONNECTIONS AS APPLICABLE. NOTIFY THE OWNER WITHIN FIVE (5) DAYS OF RECEIPT OF ANY ITEMS THAT ARE MISSING, DAMAGED OR OTHERWISE DEFECTIVE. LACK OF NOTIFICATION WILL BE CONSIDERED PRESUMPTIVE PROOF THAT ALL ITEMS DID ARRIVE UNDAMAGED AND IN PROPER QUANTITIES, AND ANY REPLACEMENT OR REPAIRS NECESSARY WILL THEN BE THE RESPONSIBILITY OF THE CONTRACTOR.

OWNER'S SATISFACTION.

COORDINATION WITH LANDLORD ACKNOWLEDGE RECEIPT TO THE OWNER.

THEM SUFFICIENT NOTICE BEFORE STARTING WORK. TEMPORARY FACILITIES, UTILITIES & CONTROLS

CONSTRUCTION.

EXTINGUISHERS PER AHJ REQUIREMENTS.

<u>GENERAL PRODUCT REQUIREMENTS</u>

WITH VENTILATION TO AVOID CONDENSATION.

DAMAGED AND DEFECTIVE ITEMS.

AND PERFORMANCE

GENERAL EXECUTION OF THE WORK

PENETRATIONS OF FINISHED SURFACES.

COORDINATION WITH ADJACENT CONSTRUCTION

ELEMENTS OR FINISHES.

RESTORE ALL AREAS OF EXISTING LANDSCAPING (INCLUDING SPRINKLER SYSTEMS) DISTURBED DURING CONSTRUCTION TO ITS ORIGINAL CONDITION.

THE G.C SHALL COORDINATE PARKING, MATERIAL DELIVERY, MATERIAL STAGING AND CONSTRUCTION DUMPSTER LOCATIONS W/ LANDLORD AND/OR LANDLORD'S TENANT PRIOR TO BEGINNING CONSTRUCTION. MAINTAIN ALL PEDESTRIAN WALKWAYS OPEN DURING CONSTRUCTION WHEN PROJECT IS LOCATED WITHIN AN EXISTING OCCUPIED DEVELOPMENT. COORDINATE ALL SHARED UTILITIES, FIRE SPRINKLER SYSTEM SHUT OFFS, ETC. W/ LANDLORD AND/OR LANDLORD'S TENANT PRIOR TO BEGINNING

THE GENERAL CONTRACTOR FOR SEPARATE REVIEW & PERMIT AS REQUIRED BY THE LOCAL BUILDING OR FIRE DEPARTMENT. COORDINATE WITH THE ELECTRICAL DWGS AND SPECIFICATIONS. (MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM AS REQUIRED BY THE CODE IS TO BE INCLUDED UNDER A DESIGN-BUILD CONTRACT AND SUBMITTED BY THE GENERAL CONTRACTOR FOR SEPARATE REVIEW & PERMIT AS REQUIRED BY THE LOCAL BUILDING OR FIRE DEPARTMENT. COORDINATE WITH THE

KEYNOTE NUMBERING MAY NOT COMPLY WITH SPECIFICATION SECTIONS, AND NOT ALL KEYNOTE NUMBERS ARE USED. REFER TO KEYED DRAWINGS FOR USED KEYNOTES. GENERAL SCOPE OF WORK PERFORM ALL CONSTRUCTION WORK INDICATED OR OTHERWISE REQUIRED FOR COMPLETION OF THE

SCHEDULE AND COORDINATE THE WORK OF THE COMPLETE PROJECT TO ASSURE AN EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF ALL ELEMENTS - WITH PROVISIONS FOR ACCOMMODATING

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. PROVIDE ALL REQUIRED NOTICES FOR INSPECTIONS AND APPROVALS OF THE WORK BY THE AUTHORITY HAVING JURISDICTION (AHJ). THE MOST RESTRICTIVE CODE REQUIREMENTS AS INTERPRETED BY LOCAL

VERIFY LOCATIONS OF EXISTING UTILITY SERVICE CONNECTIONS SERVING THE PROJECT BEFORE STARTING CONSTRUCTION. LOCATIONS OF EXISTING UTILITIES NOTED ARE APPROXIMATE, AND MAY BE BASED ON UN-VERIFIED INFORMATION. PROVIDE ALL CONNECTIONS REQUIRED AT UTILITY CONNECTION

COORDINATION BETWEEN ALL TRADES AND EACH SUBCONTRACTOR. ALL CONSTRUCTION WORK MUST BE OF GOOD QUALITY - FREE FROM DEFECTS AND IN ACCORDANCE WITH REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS - OR THE WORK MAY BE CONSIDERED DEFECTIVE - AND SUBJECT TO CORRECTION OR REPLACEMENT BY THE CONTRACTOR WITHIN A PERIOD

COORDINATION WITH SEPARATE CONTRACTORS COORDINATE WITH THE OWNER'S SEPARATE CONTRACTORS OR SUPPLIERS FOR WORK INDICATED AS BEING OWNER-FURNISHED & CONTRACTOR INSTALLED (OFCI), OR NOT-IN-CONTRACT (NIC). PROVIDE SCHEDULED DATES WHEN THE PROJECT WILL BE READY FOR DELIVERY OR INSTALLATION OF OWNER

COORDINATE THE WORK OF THIS PROJECT WITH OTHER CONTRACTORS AT SEPARATE CONSTRUCTION PROJECTS WITHIN THE SAME DEVELOPMENT, SO THAT THIS WORK WILL NOT INTERFERE WITH OR DELAY

REPAIR DAMAGE TO OWNER-FURNISHED PRODUCTS CAUSED BY CONSTRUCTION OPERATIONS TO THE

OBTAIN AND COMPLY WITH THE LANDLORD'S CONSTRUCTION RULES & REGULATIONS WHICH ARE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS BY REFERENCE. COMPLY WITH LANDLORD'S APPROVED DRAWINGS OF THIS PROJECT, IF APPLICABLE. MAINTAIN PRINTED COPIES AT THE SITE AND

PARTICIPATE IN A PRE-CONSTRUCTION MEETING WITH THE LANDLORD'S REPRESENTATIVE AND PROVIDE

PROVIDE BARRIERS, FENCES AND OTHER CONTROLS TO PREVENT PUBLIC ENTRY TO CONSTRUCTION AREAS, AND TO PROTECT CONSTRUCTION WORKERS AND THE PUBLIC FROM HAZARDS OF

PROVIDE PROTECTION OF CONSTRUCTION MATERIALS FROM LOSS, DAMAGE, FIRE OR THEFT, AND PROTECT EXISTING CONSTRUCTION FROM DAMAGE BY CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY FIRE-PREVENTION MEASURES AND PROCEDURES INCLUDING FIRE-

PROVIDE DUMPSTERS AND COLLECT WASTE DAILY. DISPOSE OF MATERIAL IN A LAWFUL MANNER. PLACE DUMPSTER IN LOCATION APPROVED BY OWNER OR LANDLORD, AS APPLICABLE.

STORE PRODUCTS PER MANUFACTURER'S INSTRUCTIONS, PROTECTED FROM DAMAGE OR ABUSE, AND

APPLICATION OF A MATERIAL OR EQUIPMENT ITEM TO WORK INSTALLED BY OTHERS CONSTITUTES ACCEPTANCE OF THAT WORK AND ASSUMPTION OF RESPONSIBILITY FOR SATISFACTORY INSTALLATION

INSPECT EACH ITEM OF MATERIAL OR EQUIPMENT IMMEDIATELY PRIOR TO INSTALLATION. REJECT

COORDINATION WITH FIXTURES, FURNISHINGS & EQUIPMENT (FF&E) REVIEW THE OWNER'S SEPARATE CASEWORK/FIXTURES, FURNISHINGS, EQUIPMENT, & SIGNAGE DRAWINGS FOR UNIT SIZES, WEIGHTS, SERVICE-CONNECTIONS AND CLEARANCES REQUIRED - WHETHER 7. DIVISION 10 - SPECIALTIES: FURNISHED OR INSTALLED BY THE CONTRACTOR OR OTHERS. VERIFY THAT REQUIRED ROUGH-INS, CONNECTIONS AND CLEARANCES WILL BE PROVIDED. PROVIDE OPENINGS AND DELIVERY ACCESS FOR FF&E ITEMS, AND PROVIDE STAGING SPACE FOR THEIR INSTALLATION. REPORT DISCREPANCIES OR OMISSIONS OF EQUIPMENT REQUIREMENTS PRIOR TO INSTALLATION. PROVIDE ALL HVAC, PLUMBING, GAS OR ELECTRIC SERVICE CONNECTIONS TO CASEWORK / FIXTURES, SIGNAGE, OR EQUIPMENT INDICATED (WHETHER UNITS ARE INSTALLED BY CONTRACTOR OR BY OTHERS)

ESTABLISH AND MAINTAIN DURABLE MARKERS TO LOCATE ALL ELEMENTS OF THE WORK, INCLUDING BUT NOT LIMITED TO PARTITIONS, CASEWORK, FIXTURES, EQUIPMENT AND LIGHT-FIXTURES, AND THEIR RELATED MECHANICAL, ELECTRICAL AND PLUMBING CONNECTIONS.

AT PROJECTIONS OF FINISHED SURFACES, INCLUDING PILASTERS OR THICKENED WALLS, RETURN ALL EXPOSED SURFACE FINISHES BACK TO THE PRIMARY SURFACE EVEN IF NOT SPECIFICALLY NOTED. PERFORM ALL CUTTING, PATCHING AND FITTING TO ACCOMMODATE CONSTRUCTION WORK AND TO ACHIEVE THE INTENT OF THE CONSTRUCTION DOCUMENTS. CUT & PATCH PARTITIONS FOR INSTALLATION

OF PLUMBING OR ELECTRICAL SERVICES AND FOR INSTALLATION OF WALL BLOCKING, IF NECESSARY. PROVIDE ESCUTCHEONS, GROMMETS AND SIMILAR SURFACE CLOSURE OR FINISHED TRIMS AT EXPOSED BRACE PARTITIONS, SUSPEND CEILINGS OR SOFFITS, AND BRACE PLATFORMS, SUSPENDED ITEMS OR

SIMILAR CONSTRUCTION ONLY TO STRUCTURAL ELEMENTS ABOVE - EVEN IF NOT SPECIFICALLY NOTED. DO NOT ANCHOR TO ROOF DECK, PLUMBING / SPRINKLER PIPES, DUCTWORK, ELECTRICAL CONDUIT OR SIMILAR ELEMENTS. ATTACHMENT AT TOP CHORD OF JOIST OR FLANGE OF BEAM ONLY.

IMIT WORK TO OCCUR WITHIN THE PROJECT SITE, OR WITHIN OTHER AREAS DESIGNATED OR APPROVED FOR USE BY THE LANDLORD. CONNECT TO EXISTING UTILITY SERVICES BEYOND THE PROJECT-SITE IN THE MOST EXPEDITIOUS MANNER POSSIBLE WITH MINIMAL DISTURBANCE OF EXISTING

IUST BEFORE OWNER OCCUPANCY, CLEAN ALL SURFACES INCLUDING FIXTURES AND EQUIPMENT FOR THE OWNER'S USE AND OPERATION. POLISH GLASS AND PLUMBING FIXTURES TO BE WITHOUT NOTICEABLE STREAKS. VACUUM CLEAN FLOORS AND DAMP WIPE WALLS, FIXTURES AND EQUIPMENT TO BE DUST-FREE WITHOUT STAINS, FILMS AND OTHER DISTRACTING SUBSTANCES.

CLEAN THE PROJECT SITE OF RUBBISH, LITTER AND OTHER FOREIGN SUBSTANCES, BROOM CLEAN PAVED AREAS AND REMOVE STAINS, SPILLS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS THAT ARE NEITHER PAVED NOR PLANTED, TO A SMOOTH EVEN-TEXTURED SURFACE.

JRN-OVER / CLOSE-OUT REQUIREMENT SET ALL TIME CLOCKS. THERMOSTATS AND SIMILAR DEVICES TO THE CURRENT LOCAL TIME. PROVIDE A PRINTED LIST OF NAMES, ADDRESSES AND PHONE NUMBERS OF ALL SUB-CONTRACTORS AND MATERIAL SUPPLIERS USED. ARRANGE FOR ALL INSPECTIONS AND FURNISH OWNER WITH CERTIFICATE OF OCCUPANCY.

INSTRUCT OWNER'S PERSONNEL IN PROPER OPERATION AND MAINTENANCE OF OPERATIONAL SYSTEMS, INCLUDING HVAC SYSTEMS AND ELECTRICAL SYSTEMS AS APPLICABLE

SUBMIT OPERATION AND MAINTENANCE DATA TO INCLUDE EMERGENCY INSTRUCTIONS, SPARE PARTS LISTS, PRODUCT WARRANTIES, WIRING DIAGRAMS, INSPECTION PROCEDURES, AND APPLICABLE SHOP DRAWINGS AND PRODUCT DATA.

SUBMIT AS-BUILT MARKED-UP DRAWINGS INDICATING ANY CHANGES MADE AND WITH DIMENSIONED LOCATIONS OF CONCEALED WORK AND LEAVE A COPY AT THE PROJECT

<u>GENERAL DRAWING REFERENCES</u> REFER TO GENERAL NOTES SHEETS FOR EACH PROFESSIONAL DISCIPLINE FOR ALL OTHER CONSTRUCTION REQUIREMENTS NOT LISTED BELOW. **DIVISION 4 - MASONRY**

1.1. PROVIDE MASONRY CONTROL-JOINTS AT 24 FT SPACING MAXIMUM (EVEN IF NOT NOTED), AND WHERE NOTED ON THE DRAWINGS. DIVISION 5 - METAL:

2.1. PROVIDE .042 INCH (18 GA) COLD-FORMED METAL FRAMING AT 16 INCH OC AT EXTERIOR FRAMED WALLS MINIMUM, OR GREATER AS NOTED ON STRUCTURAL DRAWINGS. DIVISION 6 - WOOD:

3.1. PROVIDE PRESERVATIVE-TREATED WOOD WHEN WOOD IS IN DIRECT CONTACT WITH CONCRETE OR MASONRY

3.2. PROVIDE FIRE-RETARDANT TREATED PLYWOOD BACKING AT ALL ELECTRICAL PHONE AND SECURITY SYSTEM PANELS. 3.3. PROVIDE CONCEALED WOOD BLOCKING, BRACING OR NAILERS FOR SECURE ANCHORAGE OF ALL SHELVES, RUNNING TRIM, RAILINGS, SUSPENDED ITEMS, DOOR-STOPS, GRAB-BARS, AND OTHER SIMILAR WOODWORK, HARDWARE, SPECIALTIES,

ACCESSORIES, FIXTURES OR EQUIPMENT. 3.4. CUT TO FIT ALL WOOD TRIM OR OTHER PREFINISHED TRIM UNITS AND FINISH ALL EXPOSED SURFACES TO MATCH ADJACENT FINISHED MATERIALS. INSTALL WOODWORK WITH A MINIMUM NUMBER OF JOINTS. COPE ALL RETURNS, MITER ALL CORNERS AND USE SCARF-JOINTS AT END-TO-END CONNECTIONS (BUTT JOINTS ARE NOT ACCEPTABLE). REFINISH ALL EXPOSED CUTS AND DAMAGED WOODWORK.

3.5. ANCHOR WOOD BLOCKING TO METAL STUD FRAMING W/ #12 TEK SCREWS @ 16" OC MAX - ANCHOR BLOCKING TO CMU'S OR CONCRETE WITH 1/4" TAPCONS AT MAXIMUM 16" OC. STAGGER FASTENERS WHEN BLOCKING IS WIDER THAN 6" NOMINAL. DIVISION 7 - THERMAL MOISTURE:

4.1. VERIFY THAT ALL EXTERIOR FINISHED GRADES ADJACENT TO EXTERIOR WALL ARE BELOW THE FINISHED FLOOR ELEVATION. IF NOT, PROVIDE WATERPROOF MEMBRANE WITH PROTECTION COURSE OVER EITHER SMOOTH-SURFACED MASONRY OR CAST-IN-PLACE CONCRETE TURNED-UP FROM THE FLOOR SLAB.

4.2. PROVIDE MIN 3-1/2" BATT INSULATION ON CEILINGS ABOVE AND WITHIN PARTITIONS AROUND AND BETWEEN ALL TOILET ROOMS TYPICALLY 4.3. SEAL ALL EXTERIOR BUILDING JOINTS AT BOTH THE OUTSIDE AND INSIDE

SURFACES, AND OTHER OPENINGS AGAINST MOISTURE AND AIR-INFILTRATION. AT JOINTS AROUND STOREFRONT/CURTAIN WALL SYSTEMS, PROVIDE SHIM-SPACE AND SEALANT INSIDE AND OUTSIDE WITH BACKER-ROD.

4.4. PROVIDE SEALANT ALL-AROUND: DOOR OR WINDOW FRAMES, COUNTERTOPS & BACK-SPLASHES, WALL-MOUNTED FIXTURES OR EQUIPMENT (INCLUDING LAVS OR SINKS) TO ADJACENT WALL SURFACES, AND OTHER SIMILAR LOCATIONS. 5. DIVISION 8 - OPENINGS:

5.1. DOOR AND WINDOW DIMENSIONS NOTED ARE NOMINAL - COORDINATE WITH FIELD-CONDITIONS AND VERIFY WITH MANUFACTURERS BEFORE FABRICATION. 5.2. HARDWARE MATERIALS: PROVIDE NON-FERROUS MATERIALS AT EXTERIOR LOCATIONS.

6. DIVISION 9 FINISHES:

6.1. DRYWALL CONTROL JOINTS: LOCATE ABOVE ONE SIDES OF ALL DOOR FRAMES (MIN), AND AT 30 FT MAX UNINTERRUPTED SURFACE SPACING AND AS NOTED. PROVIDE 5/8" THICK GLASS-MAT GYPSUM BACKER-BOARD AT ALL PARTITIONS W/ TILE FINISH

PROVIDE BACK-TO-BACK DOUBLED .0312" (20 GA) METAL STUDS WHERE WALL-BLOCKING IS PROVIDED FOR SUPPORT OF GRAB-BARS OR SHELVING.

6.3. DRYWALL HEADERS: PROVIDE FRAMING @ 16" OC SUSPENDED FROM STRUCTURE ABV W/ 1 LAYER 5/8" GYP BD ON EXPOSED SIDE(S) AND BOTTOM SURFACE.

6.4. PAINT OR STAIN FINISH ALL EXPOSED SURFACES OF CONSTRUCTION UNLESS NOTED OTHERWISE OR IF SURFACE IS PRE-FINISHED. PROVIDE PAINT FINISH MIN AT ALL SURFACES NOT OTHERWISE INDICATED TO RECEIVE OTHER FINISH. FINISH EXPOSED EDGES OR SURFACES OF CUT WOOD OR PREFINISHED TRIM TO MATCH ADJACENT SURFACES.

7.1. AT "ASSEMBLY" OCCUPANCIES PROVIDE "MAXIMUM OCCUPANCY" SIGN IN A CONSPICUOUS LOCATION AS APPROVED BY AHJ.

7.2. ACCESSIBLE DOOR SIGN W/ RAISED LETTERS, PICTORIAL-SYMBOL & BRAILLE PLATE READING "MEN", "WOMEN", "RESTROOM" OR AS APPROPRIATE TO USE/TITLE OF ROOM -MOUNT 9" FROM STRIKE EDGE OF DOOR & 60 INCHES AFF TO SIGN CENTERLINES.

7.3. TOWEL-DISPENSER AND WASTE RECEPTACLE AT EACH LAVATORY OR HAND SINK -PROVIDE WALL BLOCKING IF NECESSARY FOR SECURE ATTACHMENT DIVISION 11 - EQUIPMENT:

PROVIDE WATER-SERVICE SHUTOFF-VALVE W/ BACK-FLOW PREVENTER (DOWNSTREAM OF VALVE) AT EA HOT- OR COLD-WATER CONNECTION TO EQUIPMENT (EXCEPT AT SINKS).

8.2. PROVIDE SHUTOFF VALVES (STOPS), SUPPLIES AND TRAPS AT ALL LAVS OR SINKS DIVISION 21 - FIRE SUPPRESSION SYSTEM NOTES:

9.1. SUBMIT SPRINKLER-SYSTEM DESIGN DRAWINGS TO AHJ AND LANDLORD (WHEN APPLICABLE) AND OBTAIN THEIR APPROVAL BEFORE STARTING WORK. 9.2. PROVIDE SEMI-CONCEALED TYPE SPRINKLER HEADS IN PUBLIC VIEW AREAS. PROVIDE STANDARD SURFACE-MTD SPRINKLER HEADS IN BACK AREAS NOT IN PUBLIC VIEW, UNLESS OTHERWISE NOTED.

- 10. DIVISION 32 SITE IMPROVEMENTS:
- 10.1. MAXIMUM ALLOWABLE SLOPE OF NEW PAVEMENT: 4.9% (1:21).
- 10.2. MAXIMUM ALLOWABLE CROSS-SLOPE OF NEW PAVEMENT: 2% (1:48).

10.3. MINIMUM SLOPE OF EXTERIOR PAVEMENT (WITHIN 10 FEET OF BUILDING) 2% DRAINING AWAY FROM BUILDING.

WHETHER SPECIFICALLY IDENTIFIED OR NOT THE FOLLOWING NOTES SHALL APPLY TO ALL RELEVANT DETAILS, CONDITIONS AND LOCATIONS FOR THE PROJECT IDENTIFIED HEREIN. 11. THE GENERAL CONTRACTOR MUST ENGAGE A SEPARATE REGISTERED

WATERPROOFING CONSULTANT AS A PART OF THE CONSTRUCTION TEAM TO EITHER INSTALL, DIRECT OR INSPECT ALL WATERPROOFING ASPECTS OF THE BUILDING PRIOR TO COVER-UP. THE WATERPROOFING CONSULTANT SHALL TEST, INSPECT AND VISUALLY DOCUMENT ALL UNIQUE DETAILS. GC TO IMPLEMENT CONSULTANTS RECOMMENDATIONS. WEATHERPROOFING, SEALANT, CAULKING, ETC.

13. MATERIAL TRANSITIONS: 13.1. ALL EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS SHALL RECEIVE SEALANT; JOINTS EXCEEDING 1/2" IN DEPTH SHALL RECEIVE BACKER ROD AND SEALANT.

TO DRAWINGS, NOTES AND SPECIFICATIONS. 13.3. LIQUID APPLIED WEATHER BARRIER (LAWB) - ALL JOINTS TO FLASHING MATERIALS, SHEATHING JOINTS AND SUBSTITUTE JOINTS ARE TO BE TAPED AND REINFORCED WITH DETAIL MESH, FILLER, AND RECEIVE ANOTHER COAT OF LAWB PER PRODUCT RECOMMENDATIONS. 13.4. FLASHING INSTALLED OVER LAWB ARE TO BE COUNTER FLASHED AND MESH TAPED & RECOATED WITH LAWB PER MANUFACTURES RECOMMENDATIONS.

14. EXTERIOR WAINSCOTING:

SHOULD BE HELD OFF OF FINISHED GRADE MIN. 1/2".

15. PREPARE WINDOW / DOOR ROUGH OPENING PREPARATION: WEATHER BARRIER.

15.2. DOUBLE WRAP SILL AND RETURN UP JAMB 4" 15.3. SEAL ALL SILL JAMB AND HEAD CORNERS. 16. SILL CONDITION:

IN CONTINUOUS BED OF NON-SILICONE SEALANT.

17. JAMB CONDITION: EXTERIOR.

WINDOW/DOOR FRAME AND EXTERIOR FINISH. 18. HEAD CONDITION:

18.1. PROVIDE GALVANIZED METAL FLASHING EXTENDING OVER WINDOW/DOOR FRAME. PROVIDE BACKER ROD AND SEALANT BETWEEN FLASHING AND WINDOW FRAME. 19. PARAPET CAP FLASHING

20. ROOF PENETRATIONS

COLLAR MANUFACTURER'S SPECIFICATIONS.

FIRE DEPARTMENT NOTES: YOUR OCFA INSPECTOR DIRECTLY OR OCFA INSPECTION SCHEDULING AT (714) 573-6150 FOR ASSISTANCE.

PERMIT THE VIOLATION OF ANY CODE OR LAW.

ARCHITECTURAL PLANS.

OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.

PLACEMENT IS SUBJECT TO APPROVAL.

OR SEPARATED. CFC 304.3

DOOR STOPS OR OTHERWISE PROPPED OPEN. SQUARE FEET.

THE BASE BID SHALL INCLUDE ALL NECESSARY AND REQUIRED FLASHING, COUNTER-FLASHING, WEATHERPROOFING, SEALANT, CAULKING, ETC., WHETHER SHOWN, DETAILED, NOTED OR NOT. THE INTEND OF THESE WEATHERPROOFING NOTES IS TO ENSURE THAT THE GENERAL CONTRACTOR IS AWARE OF THE NECESSITY OF PROVIDING FULL WEATHERPROOFING OVER THE ENTIRE EXTERIOR OF THE BUILDING, BEHIND ALL EXTERIOR FINISHES AND BETWEEN ALL DISSIMILAR MATERIALS PER THE INTENT OF THE FOLLOWING NOTES AND DETAILS. INDUSTRY STANDARD DETAILS SHALL BE FOLLOWED IF IN DOUBT AT ALL LOCATIONS. NOTE THAT NO CHANGE ORDER SHALL BE CONSIDERED FOR PROVIDING ADDITIONAL FLASHING, COUNTER-FLASHING,

13.2. PROVIDE A CONTINUOUS SEALED WEATHER BARRIER OVER ALL EXTERIOR SHEATHING OR BACKER BOARD. WEATHER BARRIER SHALL BE EITHER LIQUID APPLIED OR SHEETING TYPE - REFER

14.1. PROVIDE GALVANIZED METAL FLASHING SET IN CONTINUOUS BED OF SEALANT OVER FWBM AND SHEATHING. THE TOP OF METAL FLASHING SHALL BE COUNTER FLASHED. 14.2. CASING BEADS, SCREEDS, OR BASE METAL TRIMS MUST PROVIDE WEEPING ACTION. FINISH

14.3. JOINT BETWEEN MASONRY MATERIALS & SIDEWALKS TO BE ¼" AND FILLED WITH GROUT AND PROVIDE 2" WIDE WEEPS TO ALLOW MOISTURE TO MIGRATE OUT OF SYSTEM.

15.1. PREPARE ROUGH OPENINGS REINFORCING AND WRAPPING INSIDE CORNERS WITH EXTERIOR

16.1. PROVIDE SILL PAN FLASHING WITH END DAMS AT ALL SILL OPENINGS. SET SILL PAN FLASHING

17.1. COUNTER FLASH OVER END DAM JOINT AT JAMB/SILL CONNECTION TO DIRECT WATER TO

17.2. PROVIDE CONTINUOUS BACKER ROD AND SEALANT AT ALL VERTICAL JOINTS BETWEEN

19.1. WRAP TERMINATION (TOP, FRONT AND BACKSIDES) OF PARAPET WALL WITH FLEXIBLE RUBBERIZED SELF-ADHESIVE, SELF-SEALING, WATER BARRIER MEMBRANE (FWBM), APPLY FWBM OVER SHEATHING, CONTINUOUSLY OVER SUBSTRATE TO BACK OF PARAPET WALL SHEATHING. LAP FWBM OVER VERTICAL WEATHER BARRIER TO ENSURE PROPER FLASHING.

20.1. ALL ROOF PENETRATIONS SHALL BE SEALED PER ROOF MANUFACTURE'S AND FLASHING OBTAIN COPY OF "LIGHTING DESIGN PACKAGE" (BY OTHERS) FROM OWNER & ARCHITECT FOR

BIDDING & CONSTRUCTION. REFER TO THIS PACKAGE FOR LIGHT FIXTURE LOCATIONS, CUT SHEETS, & SPECIFICATIONS. NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN "LIGHTING DESIGN PACKAGE" & THIS SET OF DRAWINGS.

ALL DIMENSIONS ARE TO EXTERIOR FACE, SUBSTRATE OR MASONRY, UNLESS NOTES OTHERWISE. DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

1. FOR ASSISTANCE WITH FIRE-RELATED PLAN REVIEW ISSUES OR TECHNICAL QUESTIONS, PLEASE CALL (714) 573-6108. FOR FIRE-RELATED INSPECTION QUESTIONS OR ISSUES, PLEASE CONTACT

2. THE PROJECT SHALL COMPLY WITH THE CURRENTLY ADOPTED CALIFORNIA BUILDING CODE, CALIFORNIA FIRE CODE, AND OTHER CODES, STANDARDS, REGULATIONS AND REQUIREMENTS AS ENFORCED BY THE ORANGE COUNTY FIRE AUTHORITY. APPROVAL OF THESE PLANS SHALL NOT

3. FOR PROJECTS INVOLVING NEW STRUCTURES, ADDITIONS TO EXISTING STRUCTURES, INSTALLATION OF GATES/WALLS/FENCES, OR ALTERATION OF VEHICULAR ACCESS, A FIRE MASTER PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE OCFA PRIOR TO SUBMITTAL OF ARCHITECTURAL PLANS. AN APPROVED FIRE MASTER PLAN SHALL BE SUBMITTED WITH THE

4. ALL WEATHER FIRE ACCESS ROADS SHALL BE APPROVED BY THE OCFA AND BE IN PLACE BEFORE ANY COMBUSTIBLE MATERIALS ARE PLACED ON THE SITE. ACCESS ROADS SHALL BE MAINTAINED CLEAR OF OBSTRUCTIONS DURING AND AFTER CONSTRUCTION. 5. ADDRESS NUMBERS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS, BE A MINIMUM SIX INCHES HIGH, CONTRAST WITH THEIR BACKGROUND, AND BE PLAINLY VISIBLE FROM THE ROADWAY THE BUILDING IS ADDRESSED ON OR AS OTHERWISE ALLOWED BY OCFA GUIDELINE B-09. 6. BUILDINGS UNDER CONSTRUCTION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. NO SMOKING OR COOKING IS ALLOWED IN STRUCTURES WHERE COMBUSTIBLE MATERIALS ARE EXPOSED OR WITHIN 25' OF COMBUSTIBLE MATERIALS STORAGE AREAS. CUTTING, WELDING, OR

7. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE CFC AND CCR TITLE 19. AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED DURING CONSTRUCTION ON EACH FLOOR AT EACH STAIRWAY, IN EACH STORAGE AND CONSTRUCTION SHED, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, OR WHERE SIMILAR HAZARDS ARE PRESENT. BEFORE FINAL OCCUPANCY. AT LEAST ONE 2A:10B:C EXTINGUISHER SHALL BE PROVIDED SO THAT NO POINT IS MORE THAN 75' TRAVEL DISTANCE FROM THE EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED ALONG THE PATH OF EGRESS TRAVEL AND IN A READILY VISIBLE AND ACCESSIBLE LOCATION, WITH THE BOTTOM OF THE EXTINGUISHER AT LEAST 4" ABOVE THE FLOOR. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED BY THE INSPECTOR AND FINAL

8. WALL, FLOOR AND CEILING FINISHES AND DECORATIVE MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC/CFC CHAPTER 8. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL. SUCH ITEMS SHALL BE APPROVED AND INSPECTED PRIOR TO INSTALLATION.

9. KNOX BOXES/KEY CABINETS SHALL BE PROVIDED FOR ALL POOL ENCLOSURES, GATES IN THE PATH OF FIREFIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND/OR ANNUNCIATORS, AND ANY OTHER STRUCTURES OR AREAS WHERE IMMEDIATE ACCESS IS REQUIRED OR IS UNDULY DIFFICULT. 10. DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN

BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON- OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED

11, EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN AISLES.

12. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. DOORS SHALL NOT BE PROVIDED WITH THUMB-TURN LOCKS OR DEADBOLTS THAT DO NOT UNLATCH IN TANDEM WITH THE NORMAL OPERATING LEVER. RATED DOORS SHALL BE SELF-CLOSING AND LATCHING; SUCH DOORS SHALL NOT BE EQUIPPED WITH 13. SPRINKLER AND ALARM SYSTEMS SHALL BE PROVIDED WHEN REQUIRED BY CBC/CFC CHAPTER 9

AND LOCAL ORDINANCE. IN STRUCTURES OF UNDETERMINED USE, THE MINIMUM FIRE SPRINKLER DESIGN DENSITY REQUIRED SHALL BE ORDINARY HAZARD (GROUP 2) WITH A DESIGN AREA OF 3000

FIRE DEPARTMENT NOTES CONTINUED:

14. EXISTING SPRINKLER AND ALARM SYSTEMS IN SPACES UNDERGOING REMODELING SHALL BE EVALUATED BY A LICENSED CONTRACTOR KNOWLEDGEABLE IN SUCH SYSTEMS TO DETERMINE WHETHER CHANGES WILL BE NECESSARY TO MAINTAIN THESE SYSTEMS IN CONFORMANCE WITH APPLICABLE STANDARDS. IF MODIFICATIONS ARE NECESSARY, PLANS SHALL BE SUBMITTED TO THE OCFA FOR REVIEW AND APPROVAL PRIOR TO MODIFICATION OF THE SYSTEM. SPRINKLER AND ALARM SYSTEMS SHALL BE SUPERVISED BY A UL-LISTED CENTRAL ALARM STATION. 15. WHERE COMMERCIAL-TYPE FOOD HEATING OR COOKING EQUIPMENT THAT

PRODUCES GREASE-LADEN VAPORS IS PRESENT, AN AUTOMATIC EXTINGUISHING SYSTEM SHALL BE PROVIDED AND SHALL COMPLY WITH CFC, CMC, AND NFPA 17A. REVIEW AND APPROVAL OF A HOOD AND DUCT EXTINGUISHING SYSTEM PLAN BY THE OCFA IS REQUIRED PRIOR TO INSTALLATION, MODIFICATION, REARRANGEMENT, OR USE OF COOKING EQUIPMENT.

16. HAZARDOUS MATERIALS EQUIPMENT, PROCESSES, STORAGE, DISPENSING, OR USE SHALL COMPLY WITH CBC AND CFC REGULATIONS AND SHALL BE REVIEWED AND APPROVED BY THE OCFA PRIOR TO SUCH MATERIALS OR EQUIPMENT BEING BROUGHT ON SITE.

17. STORAGE AREAS GREATER THAN 500 SQ.FT. WITH HIGH HAZARD MATERIALS STORED HIGHER THAN SIX FEET AND OTHER MATERIALS STORED HIGHER THAN TWELVE FEET ARE NOT PERMITTED WITHOUT FIRST SUBMITTING PLANS TO AND OBTAINING APPROVAL FROM THE OCFA.

18. A NEW HVAC UNIT EXCEEDING A 2,000 CFM CAPACITY SHALL BE PROVIDED WITH A DUCT SMOKE DETECTOR. THIS DETECTOR SHALL SHUT DOWN ONLY THE AFFECTED INDIVIDUAL HVAC UNIT UPON SMOKE DETECTION. THIS DETECTOR MUST ALSO BE INTERFACED TO AN EXISTING FIRE ALARM SYSTEM. THE DETECTOR SHALL ONLY PROVIDE A SUPERVISORY SIGNAL AT THE FIRE ALARM PANEL UPON SMOKE DETECTION.

STORM WATER POLLUTION PREVENTION NOTES

STORMWATER POLLUTION PREVENTION DEVICES AND PRACTICES SHALL BE INSTALLED AND/OR INSTITUTED AS NECESSARY TO ENSURE COMPLIANCE TO THE CITY OF IRVINE WATER QUALITY STANDARDS CONTAINED IN CHAPTER 3. WATER, OF DIVISION 8 OF TITLE 6 OF THE IRVINE MUNICIPAL CODE AND ANY EROSION CONTROL PLAN ASSOCIATED WITH THIS PROJECT. ALL SUCH DEVICES AND PRACTICES SHALL BE MAINTAINED, INSPECTED AND/OR MONITORED TO ENSURE ADEQUACY AND PROPER FUNCTION THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT.

COMPLIANCE TO THE WATER QUALITY STANDARDS AND ANY EROSION AND SEDIMENT CONTROL PLAN ASSOCIATED WITH THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING REQUIREMENTS:

1. AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL MEASURES (BMPs) SHALL BE IMPLEMENTED TO PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES.

2. SEDIMENTS AND OTHER POLLUTANTS SHALL BE RETAINED ON SITE UNTIL PROPERLY DISPOSED OF, AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.

3. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW. 4. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN

ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO SOIL.

5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTES.

6. TRASH AND CONSTRUCTION SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICULAR TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITS SHALL BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

8. STORMWATER POLLUTION PREVENTION DEVICES AND/OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS. <u>RECYCLING:</u>

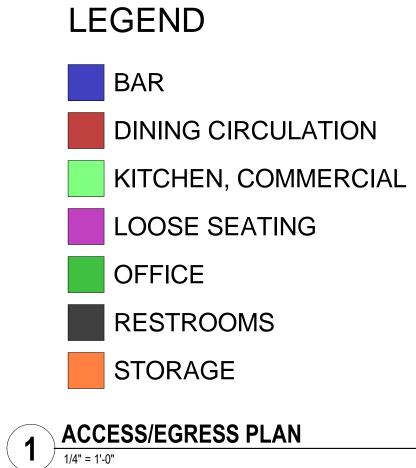
CONSTRUCTION WASTE MATERIAL SHALL BE RECYCLED PER APPROVED CONSTRUCTION WASTE REDUCTION COMPLIANCE REPORT.



БС	JILDIN	<u>G COI</u>	DE SU	<u>JMMA</u>	<u>RY</u>	
Name of Project:	FOR A	ALL COMME		DJECTS		
Address:	YANT ST. DALLA TAURANT	AS, TX 75204		Dhone #1 24	4 690 9429	
Owner or Authorized Owned By: Code Enforcement Ju	City	/County	Private	_ <u>Phone #: 21</u> State	4.080.8138	
YEAR EDITION BUILDING CODE:		5 INTERNATION	NAL BUILDING	CODE		
MECHANICAL COD PLUMBING: ELECTRICAL:	201 201	5 INTERNATION 5 INTERNATION 4 NATIONAL EL	AL PLUMBING	G CODE DE		
ENERGY: ACCESSIBILITY: FUEL & GAS:	201	5 INTERNATION 5 INTERNATION 5 INTERNATION	NAL BUILDING	CODE	NCODE	
		enovation (Exist	ing Bldg.) 🛛 U	pfit 🛛 Alteratio	on 🗌 Recons	truction
BUILDING DAT, Construction Type:	A I-A I III-B Mixed Construc	V-A	□ V-B	□ V-N		
Sprinklers: No Building Height: 15'-	□ Yes 0"	tion: 📕 No	□ Yes	Types:		
Mezzanine: No High Rise: No	□ Yes □ Yes					
Gross BUILDIN	G Area (sq. f	t.):				
ALLOWABLE A Primary Occupancy		□ A-1	A-2	□ A-3	□ A-4	□ A-5
	□ Business High-		Factory - Industrial	□ F-1	□ F-2	
	Hign-	□ H-1	□ H-2 □ I-2	□ H-3	□ H-4 □ I-4	□ H-5
	☐ Institutional ☐ I-3 Use Condition	□ I-1 □ 1	□ 1-2 □ 2	□ I-3 □ 3	□ 1-4 □ 4	□ 5
	☐ Mercantile ☐ Storage	□ Residential □ S-1	□ R-1 □ S-2	□ R-2 □ High-piled	□ R-3 Utility and □ Miscellane	□ R-4
	□ Parking Garage	□ Open	□ Enclosed	□ Repair		ouo
Secondary Occupanc Special Occupancy: _[·	3	508 5 🖂 508	6 🗆 508 7 🗂	508.8	
Emergency Lighting: Exit Signs: Fire Alarm: Smoke Detection Sys Panic Hardware: STRUCTURAL I METHOD OF COMPL REFER TO STRU ELECTRICAL S METHOD OF COMPL REFER TO ELEC MECHANICAL S	□ No ■ Y □ No ■ Y □ No ■ Y □ No ■ Y DESIGN IANCE: ICTURAL DRAWIN SYSTEM AND LIANCE: TRICAL DRAWIN SYSTEMS, SI LIANCE:	res res res res res EQUIPMEN IGS ERVICE SY	IT	D EQUIPMI	ENT	
Emergency Lighting: Exit Signs: Fire Alarm: Smoke Detection Sys: Panic Hardware: STRUCTURAL I METHOD OF COMPL REFER TO STRU ELECTRICAL S METHOD OF COMPL	INO NO NO NO NO NO NO NO NO NO NO NO NO N	res res res res res EQUIPMEN IGS ERVICE SY	IT		ENT	
Emergency Lighting: Exit Signs: Fire Alarm: Smoke Detection Syspanic Hardware: STRUCTURAL I METHOD OF COMPI REFER TO STRU ELECTRICAL S METHOD OF COMPI REFER TO ELEC METHOD OF COMPI REFER TO MECH ACCESSIBLE P METHOD OF COMPI REFER TO CIVIL	Inversion of the second	res res res res res EQUIPMEN IGS ERVICE SYS INGS	IT STEMS, AN			
ELECTRICAL S METHOD OF COMP REFER TO ELEC MECHANICAL S METHOD OF COMP REFER TO MECH ACCESSIBLE P METHOD OF COMP	Inversion of the second	res res res res res EQUIPMEN IGS ERVICE SY INGS SLEG RAVEL	IT STEMS, AN			

NAME	A
BAR	15
DINING CIRCULATION	78
KITCHEN, COMMERCIAL	67
LOOSE SEATING	75
OFFICE	50
RESTROOMS	18
STORAGE	17
Grand total	277
	\mathcal{N}
FLOOR, ROOM OR SPACE DESIG	GNATION
OCCUPIED SPACE	
ARRANGEMENT MEANS OF EGF 1015.2.1.2	ESS PER
COMMON PATH OF TRAVEL DIS	TANCE

INTERIOR REQUIRED EGRESS WIDTH (SECTION 1005): 65 Occupants x 0.2" = 13" - MIN. <u>34.0" required</u> (total)

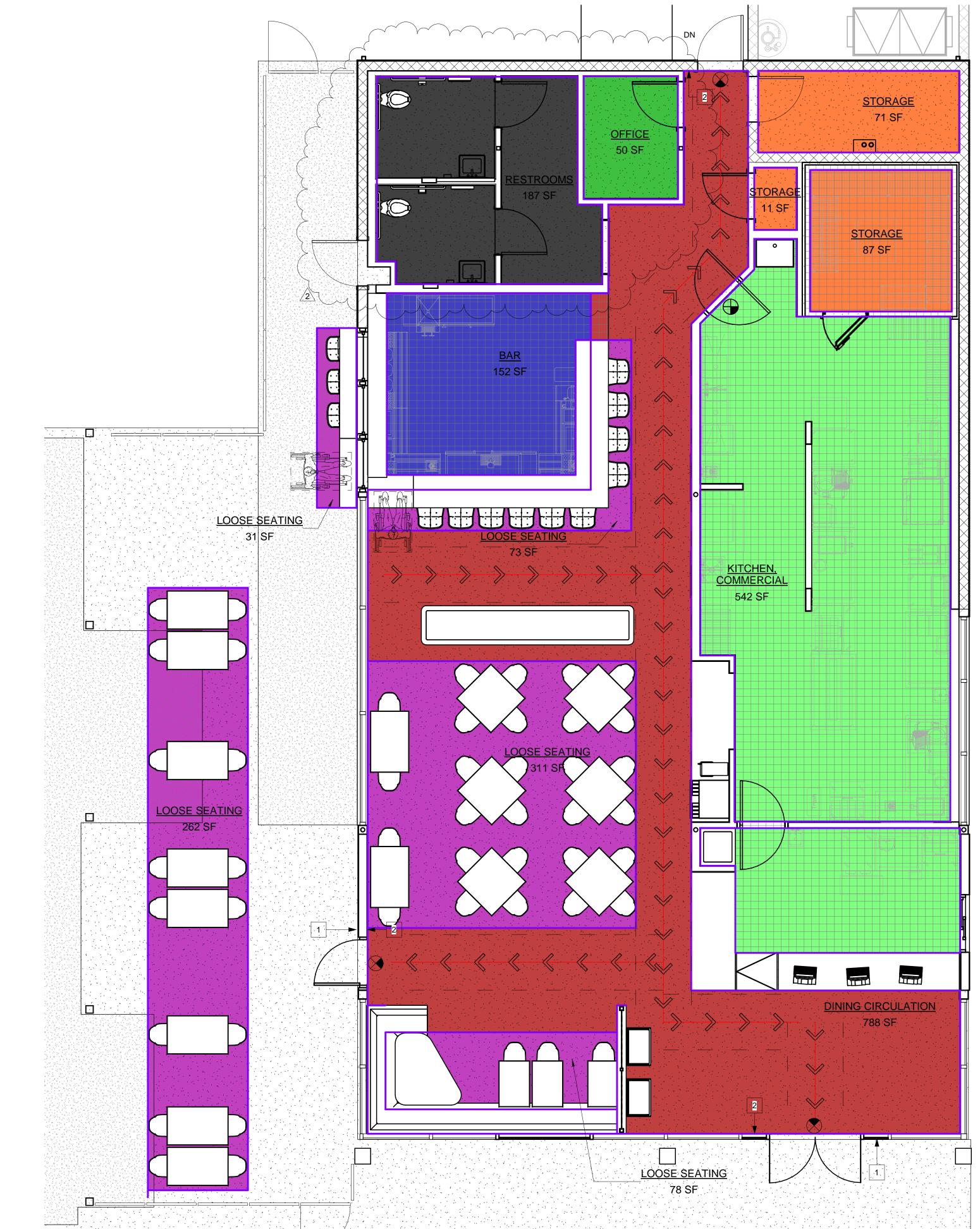


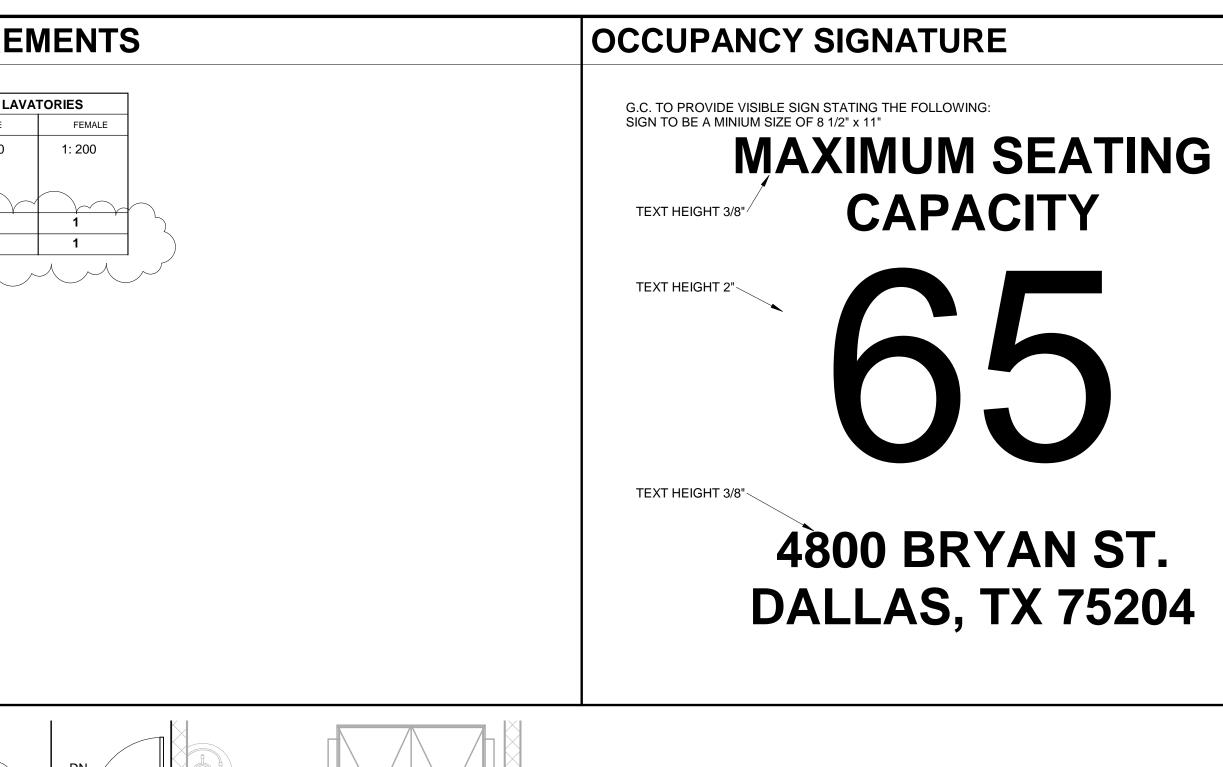
OCCUPANCY LOAD CALCULATIONS CUPANCY LOADS LOAD FACTOR OCCUPANT LOAD RFA 200 SF 100 SF 200 SF 15 SF 100 SF 100 SF 300 SF 65 TRAVEL DISTANCE MINIMUM NUMBER OF EXITS (TABLE 1021.1) SHOWN ON PLANS ALLOWABLE TRAVEL REQUIRED 1-500 DEAD END LIMIT OCCUPANT DISTANCE 2 3 250' 20 MAX OVERALL DIAGONAL DIMENSION OF AREA ACTUAL DISTANCE BETWEEN EXITS 80' - 2 " / 3 = (26' - 8" MIN. REQD.) 62' - 10" REQURIED ACTUAL DISTANCE < 75'-0" 75'-0" MAX.

EGRESS WIDTH PROVIDED: <u>TOTAL = 138 INCHES</u> EXIT 1: 70" CLEAR EXIT 2: 34" CLEAR EXIT 3: 34" CLEAR

PLUMBING FIXTURE REQUIREMENTS

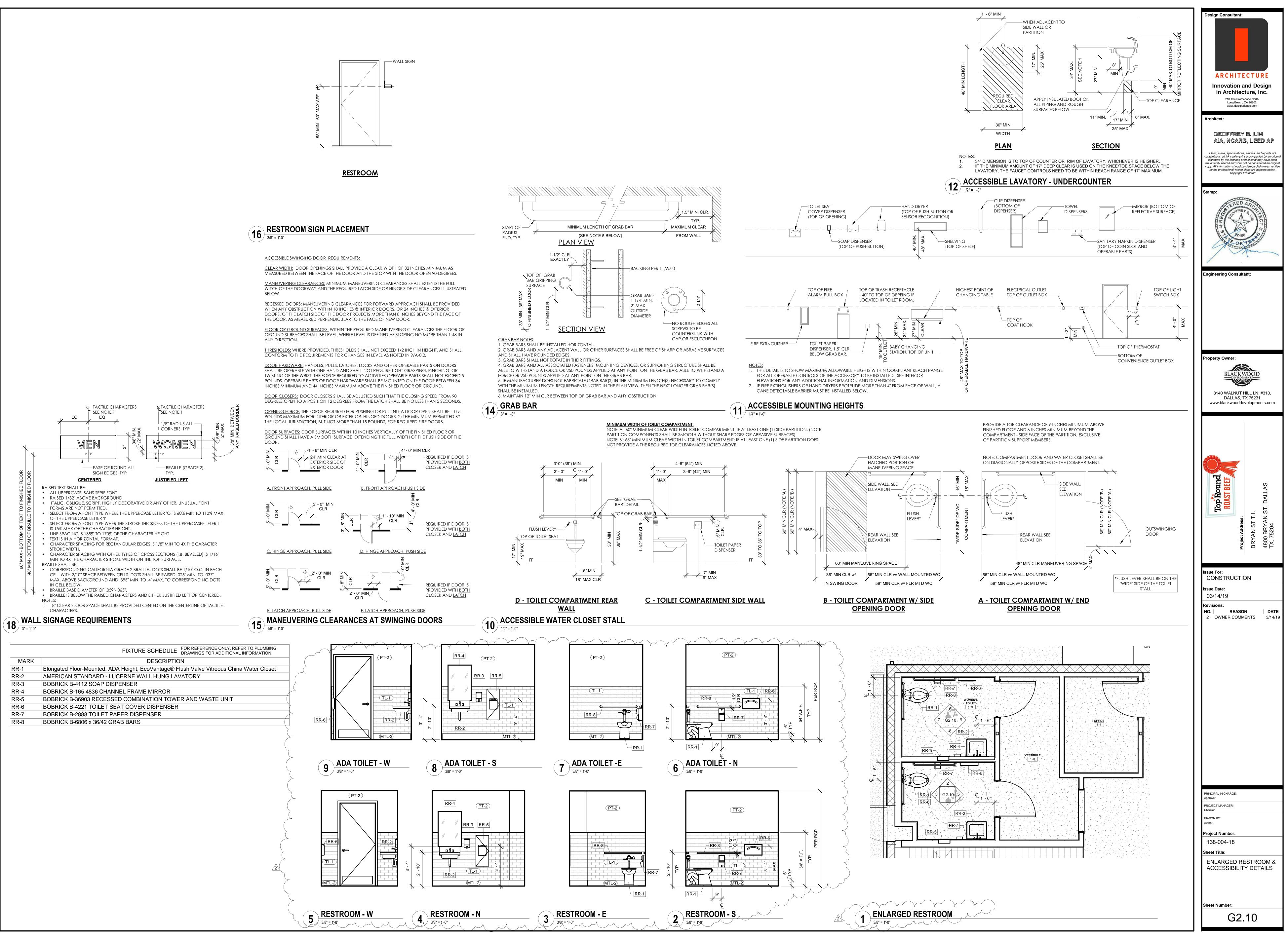
	OCCUPANCY	WATER C	CLOSETS	LA
	65 OCCUPANTS	MALE	FEMALE	MALE
	50% MALE / 50% FEMALE	1: 1-75	1: 1-75	1: 200
	33 MALE / 33 FEMALE			
\langle		\sim	$\overline{}$	
7	FIXTURES REQUIRED	1	1	1
7	FIXTURES REQUIRED FIXTURES PROVIDED	1	1	1

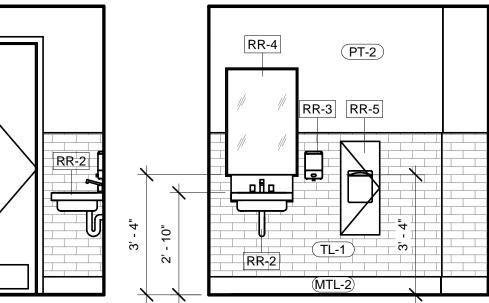


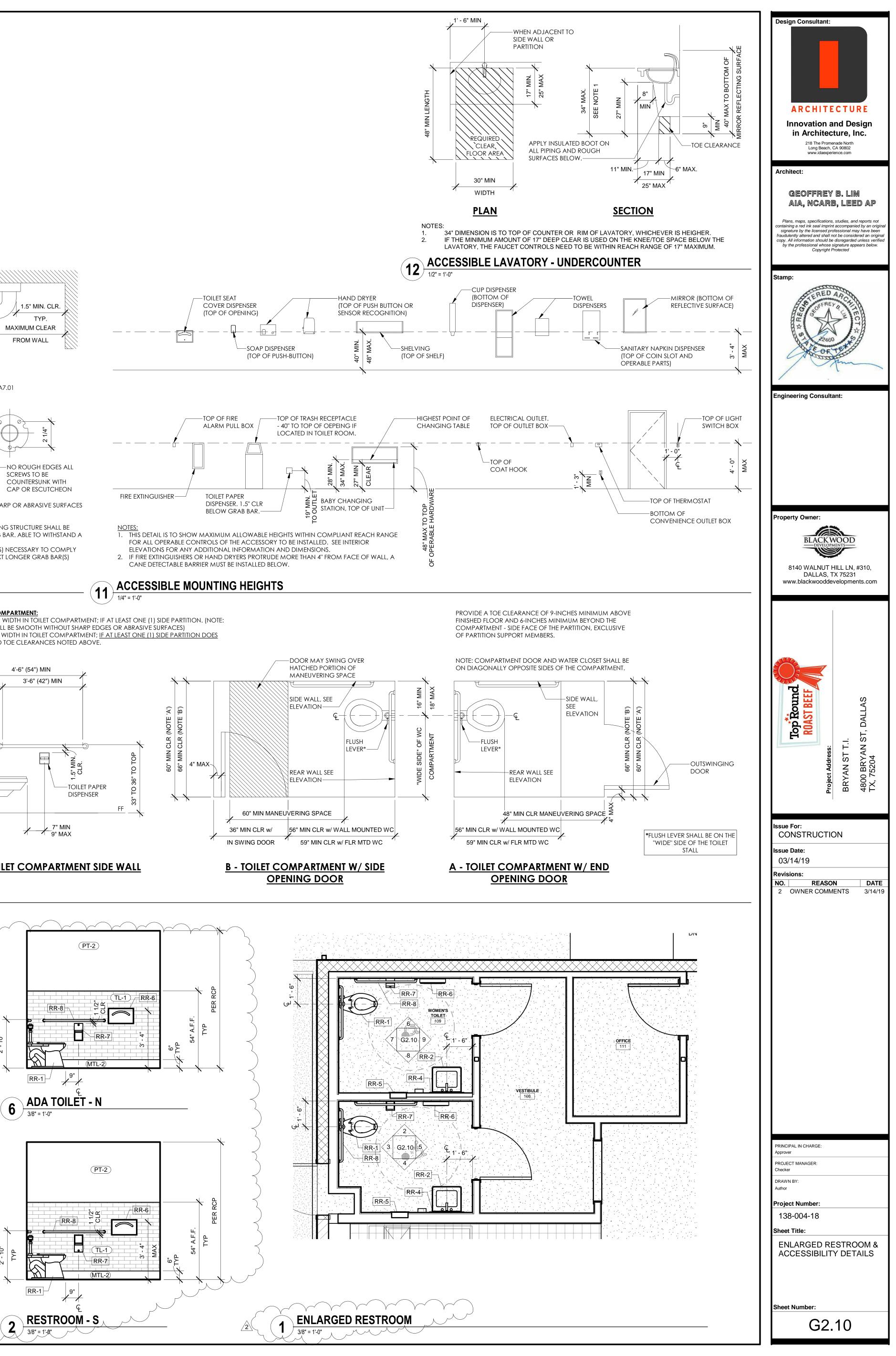


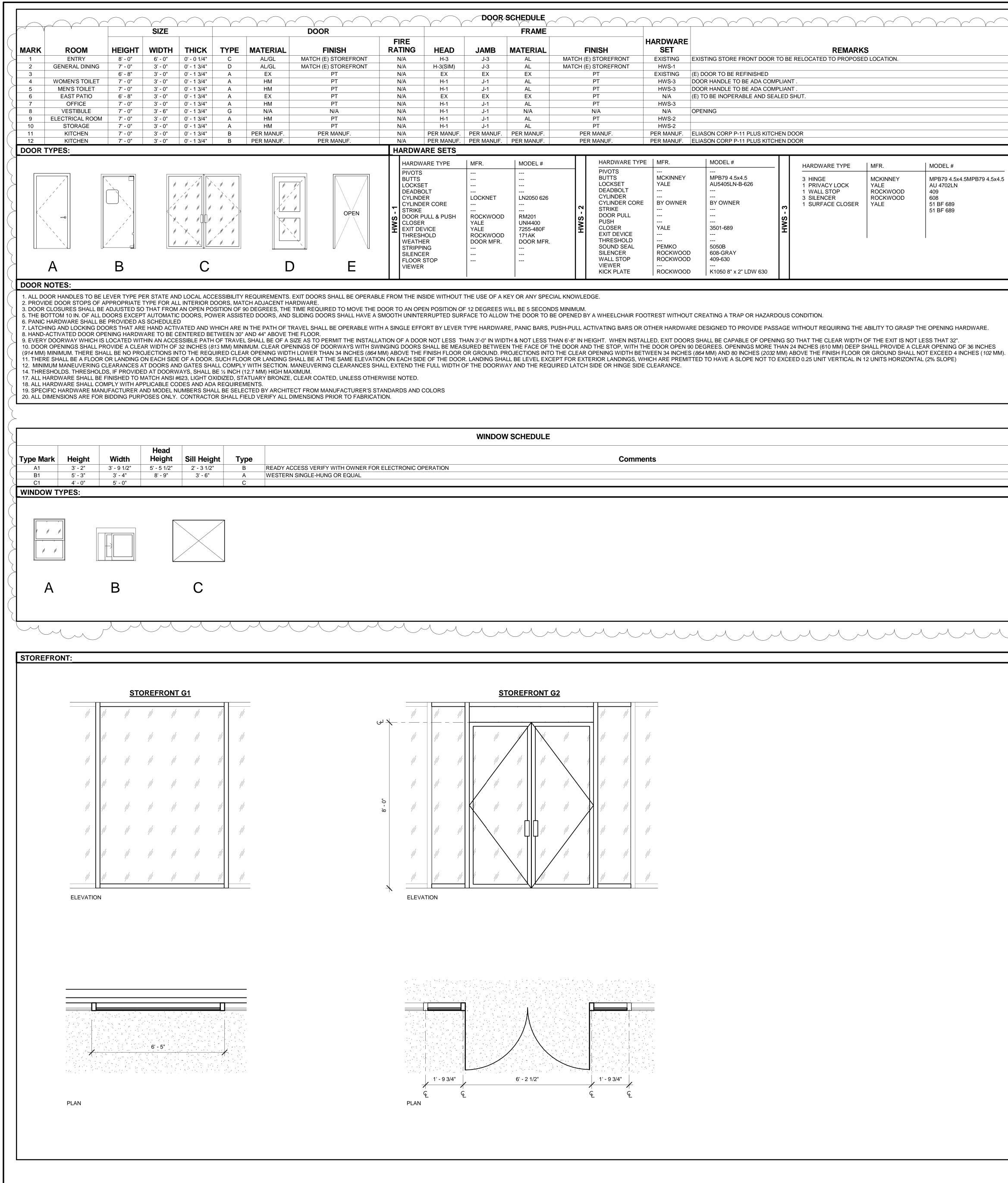
	KEYNOTES - ACCESS/EGRESS PLAN
NUMBER	NOTE
1	WHEELCHAIR ACCESSIBLE SIGN.
2	TACTILE 'EXIT' SIGN.



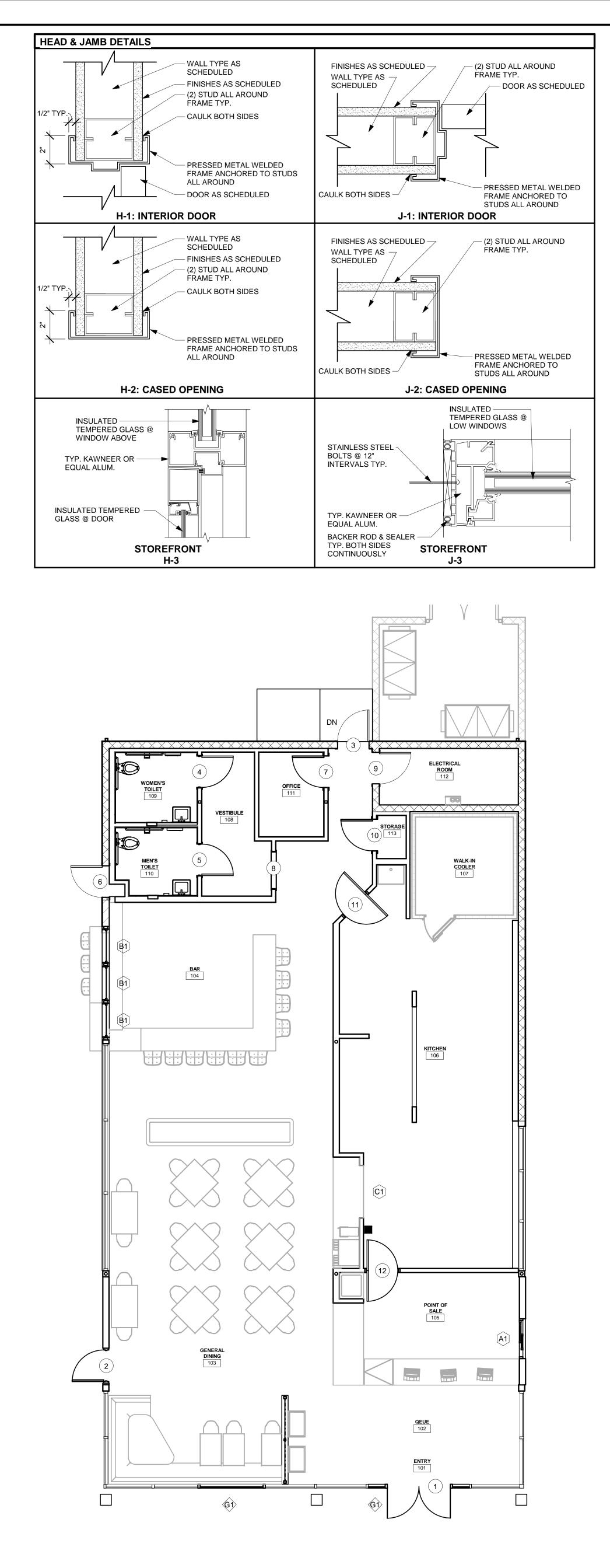






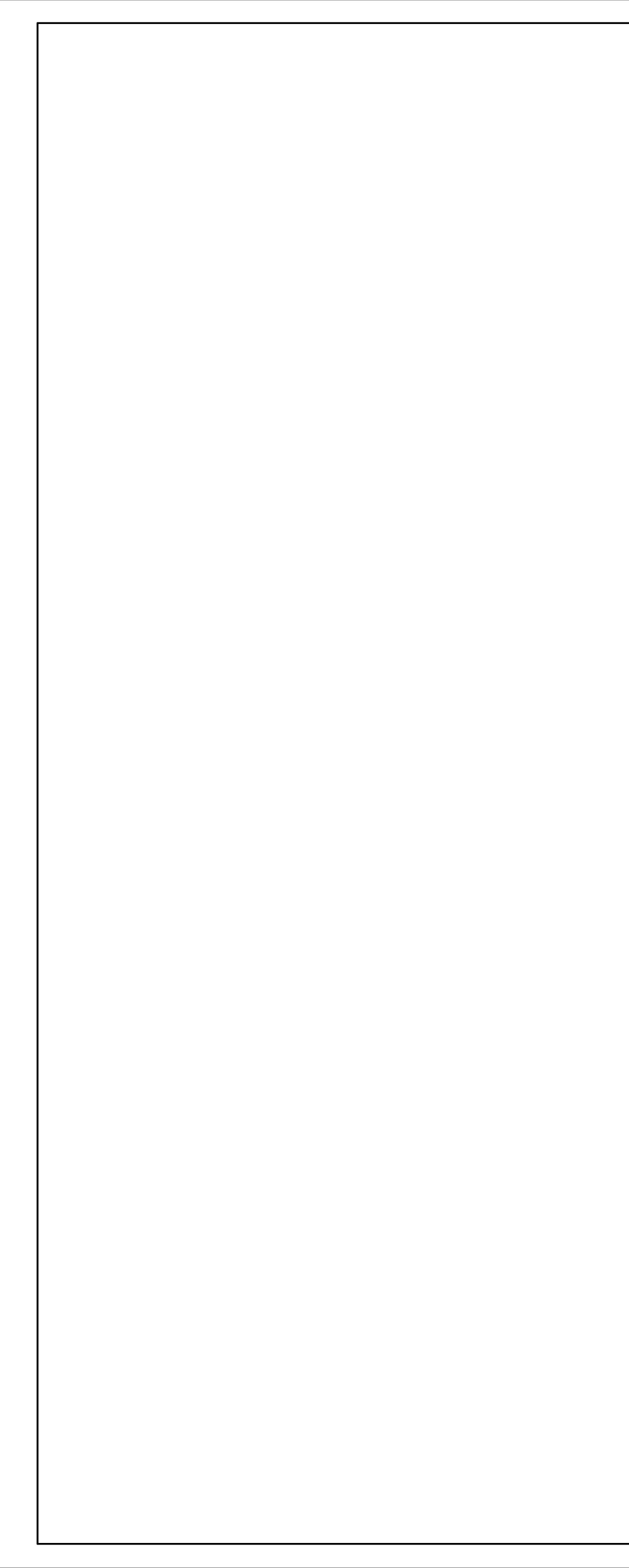


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JAMB	MATERIAL		FI	NISH	HARDWARE SET			REMARK	S	
J-3	AL	MATCH	H (E)	STOREFRONT	EXISTING	EXISTING STORE FRONT DOOF	R TO BE	RELOCATED TO PROPOSE	D LOCATION.	
J-3	AL	MATCH	H (E)	STOREFRONT	HWS-1					
EX	EX			PT	EXISTING	(E) DOOR TO BE REFINISHED				
J-1	AL			PT	HWS-3	DOOR HANDLE TO BE ADA COM	NPLIAN	Τ.		
J-1	AL			PT	HWS-3	DOOR HANDLE TO BE ADA COM	NPLIAN	Τ.		
EX	EX			PT	N/A	(E) TO BE INOPERABLE AND SE	ALED S	SHUT.		
J-1	AL			PT	HWS-3					
J-1	N/A			N/A	N/A	OPENING				
J-1	AL			PT	HWS-2					
J-1	AL			PT	HWS-2					
PER MANUF.	PER MANUF.			MANUF.		ELIASON CORP P-11 PLUS KITC				
PER MANUF.	PER MANUF.		PER	MANUF.	PER MANUF.	ELIASON CORP P-11 PLUS KITC	HEN D	OOR		
MFR.	MODEL #			HARDWARE TYP	E MFR.	MODEL #	_	HARDWARE TYPE	MFR.	MODEL #
 LOCKNET ROCKWOOD YALE YALE ROCKWOOD DOOR MFR. 	 LN2050 626 RM201 UNI4400 7255-480F 171AK DOOR MFR. 		HWS - 2	PIVOTS BUTTS LOCKSET DEADBOLT CYLINDER CYLINDER CORE STRIKE DOOR PULL PUSH CLOSER EXIT DEVICE THRESHOLD SOUND SEAL SILENCER WALL STOP VIEWER KICK PLATE	 MCKINNEY YALE BY OWNER YALE YALE PEMKO ROCKWOOD ROCKWOOD ROCKWOOD	409-630	HWS - 3	3 HINGE 1 PRIVACY LOCK 1 WALL STOP 3 SILENCER 1 SURFACE CLOSER	MCKINNEY YALE ROCKWOOD ROCKWOOD YALE	MPB79 4.5x4.5MPB79 4.5x4.5 AU 4702LN 409 608 51 BF 689 51 BF 689



1 DOOR & WINDOW KEY PLAN 3/16" = 1'-0"





RESPONSABILITY NOTES

ALL ITEMS AND INSTALLATION WHICH ARE SHOWN ON THE DRAWINGS AND DETAILS, BUT WHICH ARE NOT SPECIFICALLY LISTED ON THE MATRIX ARE TO BE FURNISHED AND INSTALLED BY THE G.C. UNLESS SPECIFICALLY NOTED OTHERWISE. THE CONTRACT DOCUMENTS (DRAWINGS AND SPECIFICATION) ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.

ALL CONSTRUCTION TO MEET THE REQUIREMENTS OF THE GOVERNING CODE AND LOCAL JURISDICTIONS AS LISTED IN THE BUILDING CODE SUMMARY.

CONSTRUCTION DOCUMENTS HAVE BEEN DEVELOPED TO ACHIEVE GENERAL COMPLIANCE WITH CURRENTLY APPLIED ACCESSIBILITY GUIDELINES. THE ARCHITECT AND ITS RETAINED CONSULTANTS ASSUME NO LIABILITY REGARDING DECISIONS OR AGREEMENTS, IMPLY ANY WARRANTY OR GUARANTEE REGARDING CHANGES IN OR DIFFERING INTERPRETATIONS OF ACCESSIBILITY GUIDELINES AS THEY APPLY TO THESE DOCUMENTS.

IT IS THE RESPONSIBILITY OF THE GC AND MILLWORKER TO SURVEY THE SPACE AND DETERMINE HIGH & LOW SPOTS ON THE CONCRETE FLOOR THAT NEED TO BE LEVELED. IT IS ALSO THE GC AND MILLWORKERS RESPONSIBILITY TO REVIEW THE THICKNESS OF THE FINISHED FLOOR MATERIALS TO BE SET AT A LEVEL POINT THROUGHOUT THE SPACE TO MAINTAIN THE 4' - 0" DIMENSION AFF TO THE TOP OF THE WOOD CAP AT THE WAINSCOT.

ALL TRADES REVIEW ALL SHEETS OF THE CONSTRUCTION DOCUMENTS FOR COORDINATION PURPOSES.

GC SHALL PROVIDE WRITTEN NOTICE FOR CLAIMS OF ADDITIONAL COST DUE TO REVISIONS TO THE CONSTRUCTION DOCUMENTS IN A TIMELY MANNER TO OWNER FOR REVIEW AND APPROVAL PRIOR TO EXECUTING THE WORK. CHANGE ORDERS MUST BE APPROVED IN ADVANCE OF ANY WORK DONE. IF NOT APPROVED GC ASSUMES ALL FINANCIAL RESPONSIBILITY.

DO NOT SCALE DRAWINGS. IF IN QUESTION OBTAIN CLARIFICATION FROM THE ARCHITECT. IF DIMENSIONS OR CONDITIONS SHOWN DIFFERS IN THE FIELD, GC TO NOTIFY ARCHITECT FOR RESOLUTION PRIOR TO ANY WORK IN THE AREA. GC ASSUMES RESPONSIBILITY FOR ANY PROBLEMS & COST (INCLUDING SCHEDULING) RELATED TO THE DISCREPANCY IF ARCHITECT IS NOT NOTIFIED IN A TIMELY MANNER

WHERE SPECIFIED MATERIAL, EQUIPMENT OR SPECIALTY ITEMS REQUIRE EXCESSIVE TIME THAT MAY CAUSE DELAY TO CONSTRUCTION SCHEDULE, CONTRACTOR SHALL NOTIFY ARCHITECT IN A TIMELY MANNER ARCHITECT WILL ADVISE IF ALTERNATES WILL BE ACCEPTED.

PARTITION ANGLES ARE PARALLEL, PERPENDICULAR OR 45 DEGREE ANGLES TO BUILDING PERIMETER UNLESS NOTED OTHERWISE.

CENTERLINE DIMENSIONS SHALL BE MEASURED FROM CENTERLINE OF ASSEMBLY, FIXTURE OR DEVICE. CENTERLINE INDICATION AT PARTITION ABUTTING BUILDING ELEMENTS (MULLIONS, COLUMNS OR PILASTERS, SHALL ALIGN CENTER OF PARTITION ASSEMBLY WITH CENTER OF ELEMENT.

ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED FROM THE FINISHED SURFACES.

GC TO COORDINATE & PROVIDE SOLID WOOD BLOCKING IN WALLS FOR MOUNTING ALL CABINETS, TOILET ACCESSORIES, TVS AND OTHER WALL MOUNTED ITEMS. FIRE SAFE ALL PENETRATIONS IN UL RATED PARTITIONS TO MAINTAIN / ACHIEVE LEVEL OF

PROTECTION REQUIRED FOR PARTITION TYPE. FIRE SAFE ALONG PERIMETER OF RATED PARTITIONS WHERE VOIDS OCCUR, SUCH AS FLOOR DECKING. PENETRATION OF PARTITIONS FOR MECHANICAL SYSTEMS OR STRUCTURAL SUPPORTS SHALL BE PROPERLY SEALED PER UL REQUIREMENTS. PENETRATIONS WITHIN RATED PARTITION ASSEMBLIES SHALL PROVIDE REQUIRED DAMPERING DEVICES SLEEVES AND FIRE PROOFING TO MAINTAIN APPROVED RATING.

ALL HARDWARE IS TO COMPLY WITH ANSI 117.1 THROUGH-OUT.

WHERE NEW PARTITION ALIGNS WITH FACE OF EXISTING PARTITIONS, REMOVE CORNER BEAD, TAPE & SPACKLE NEW PARTITION TO EXISTING FOR A SMOOTH TRANSITION. GC TO REFERENCE KITCHEN PLANS FOR ADDITIONAL WALL BLOCKING LOCATIONS. (IF APPLICABLE)

REFERENCE ELECTRICAL PLANS FOR LOCATIONS OF POWER IN HALF WALLS, POWER TO BE FEED FROM THE FLOOR.

REFERENCE PLUMBING PLANS FOR LOCATIONS OF SENSORS IN HALF WALLS THAT ARE ALSO POWERED FROM FLOOR.

NO RECEPTACLES, THERMOSTATS, FIRE SENSORS, ETC. ARE TO BE LOCATED IN THE CENTER OF WALLS AND / OR WHERE ACCESSORY ITEMS ARE SHOWN. WHERE INTERIOR WALLS ABUT EXISTING STOREFRONT, WALL IS TO BE CENTERED ON THE

MULLION UNLESS NOTED OTHERWISE AND CAPPED OFF WITH BREAK METAL "C" CHANNEL TO FINISH EDGES THAT MAY BE VISIBLE FROM EXTERIOR. BREAK METAL TO MATCH STOREFRONT.

PROVIDE REQUIRED ACCESS PANELS IN PARTITIONS FOR MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS. LOCATION OF ACCESS PANELS SHALL BE VERIFIED WITH ARCHITECT PRIOR TO CONSTRUCTION.

GC TO NOT DISTURB OR DISRUPT ANY STRUCTURAL OR DECORATIVE SHELL BUILDING ITEMS AND TO SECURE "TO DECK" ITEMS AT STRUCTURE IN LIEU OF ROOF DECK. ALL WET AREAS TO RECEIVE MOISTURE / MOLD RESISTANT TREATMENT & MATERIALS. PROVIDE LEVEL 4 GWB FINISH THROUGH-OUT

GC TO COORDINATE AND / OR RELOCATE DUCT WORK, SPRINKLER PIPING, ELECTRICAL CONDUIT, ETC. AS MAY BE REQUIRED TO COMPLY WITH THE DESIGN DRAWINGS. UPON COMPLETION OF PROJECT CONTRACTOR SHALL: a. MAKE INSPECTIONS

b. SUBMIT AN INITIAL CONSTRUCTION REVIEW (PUNCH) LIST TO ARCHITECT AND SCHEDULE FOR **ARCHITECTS CONSTRUCTION REVIEW / PUNCH LIST** c. PROVIDE PROJECT RECORD TO OWNER

d. PROVIDE EQUIPMENT WARRANTIES, OPERATION MANUALS, & CLOSEOUT DOCUMENTATION e. SCHEDULE DEMONSTRATIONS OF EQUIPMENT / SYSTEM OPERATION & SPECIAL MAINTENANCE f. FINAL CLEAN

GC SHALL COORDINATE W/ THE LANDLORDS GUIDELINES FOR THE USE OF THE SITE. A PRECONSTRUCTION MEETING BETWEEN GC, OWNER & LANDLORD MUST BE SCHEDULED PRIOR TO COMMENCING CONSTRUCTION. GC IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO COMMENCING WORK.

CONSTRUCTION BARRICADE TRASH REMOVAL CONCRETE SLAB CONCRETE FOOTING / REINFORCEME EXISTING CONCRETE DEMOLITION GENERAL CONSTRUCTION ITEM CONCRETE, A.B.C., VAPOR BARRIER CONCRETE, A.B.C., VAPOR BARRIER CONCRETE MASONRY UNIT (C.M.U.) EXTERIOR FRAMING STRUCTURAL STEEL ROOF FRAMING INTERIOR PARTITIONS GYPSUM BOARD BULKHEADS / SOFFIT GYPSUM BOARD BULKHEADS / SOFFIT GYPSUM BOARD CEILINGS SUSPENDED CEILINGS DOORS AND HARDWARE		FURNISH		ISH LANDLORD /	VELOPER					1	NOT APPLICABLE	Z	H.V.A.C. CURBS	FURNISH	INSTALL	FURNISH	INSTALL	FURNISH			INSTALL
ITEM CONCRETE, A.B.C., VAPOR BARRIER CONCRETE MASONRY UNIT (C.M.U.) EXTERIOR FRAMING STRUCTURAL STEEL ROOF FRAMING INTERIOR PARTITIONS GYPSUM BOARD BULKHEADS / SOFFIT GYPSUM BOARD BULKHEADS / SOFFIT GYPSUM BOARD CEILINGS SUSPENDED CEILINGS DOORS AND HARDWARE					VELOPER					•		1 3, 4 3, 4 3, 4	MAKE-UP AIR CURBS EXHAUST FAN CURBS ROOF PENETRATIONS EXHAUST LOUVER MECHANICAL STRUCTURAL SUPPORT								
CONCRETE MASONRY UNIT (C.M.U.) EXTERIOR FRAMING STRUCTURAL STEEL ROOF FRAMING INTERIOR PARTITIONS GYPSUM BOARD BULKHEADS / SOFFIT GYPSUM BOARD CEILINGS SUSPENDED CEILINGS DOORS AND HARDWARE			\leq	FURNISH	INSTALL	FURNISH GENERAI	INSTALL CONTRACTOR	FURNISH SPECIFIED		EXISTING	NOT APPLICABLE		H.V.A.C. UNITS MAKE-UP AIR UNITS EXHAUST FAN UNITS DUCTWORK DISTRIBUTION FIRE DAMPERS DIFFUSERS THERMOSTATS EXHAUST HOODS								
ROOF FRAMING INTERIOR PARTITIONS GYPSUM BOARD BULKHEADS / SOFFIT GYPSUM BOARD CEILINGS SUSPENDED CEILINGS DOORS AND HARDWARE												2, 3, 4 2, 3, 4	ANSUL / FIRE SUPPRESSION SYSTEM GAS SHUTOFF VALVE INTERCONNECTION CERTIFIED BALANCE REPORT	N				•			•
ACCESS PANELS	10											2, 4	ELECTRICAL	1 OWNED		LNDLORD /		GENERAL			VENDOR
INSULATION FIRE PROOFING SOUND PROOFING PAINTING TILE BAR AREA CEILING STRUCTURE												3, 4	TRANSFORMER ELECTRICAL METER ELECTRICAL PANELS	FURNISH	INSTALL	FURNISH	INSTALL	•		FURNISH	INSTALL
DIEWALL STOREFRONT WINDOWS STOREFRONT GLAZING METAL CLADDING LIGHT GAUGE FRAMING / FURRING PLYWOOD SHEATHING CONCRETE STENCIL FINISH												3, 4	ELECTRICAL SUB-PANELS ELECTRICAL DISCONNECT SWITCHES ELECTRICAL DISTRIBUTION ELECTRICAL WIRING TRANSFOMRER PAD TENANT SERVICE CONDUCTORS TENANT SERVICE CONDUIT ELECTRICAL SWITCHES - ALL ELECTRICAL RECEPTACLES - ALL								
													TELEPHONE SYSTEM CONDUITS TELEPHONE TERMINAL BOARD DIMMERS GENERAL LIGHT FIXTURES CUSTOM LIGHT FIXTURES EXIT / EMERGENCY LIGHT FIXTURES P.O.S. CONDUITS EXHAUST HOOD INDICATOR LIGHTS EXHAUST HOOD SWITCHING								
		VISH OWNER		VISH LANDLORD /		GENER	ALL CONTRACTOR		ALL VENDOR	TING	NOT APPLICABLE		EXHAUST HOOD LIGHTS KITCHEN EQUIPMENT FINAL CONNECT AUDIO / VIDEO CONDUIT ELECTRICAL FOR SIGNAGE SECURITY CONDUIT						•		
P.O.S. COUNTER & STATION DINING TABLE TOPS & BASES CHAIR BANQUETTE BOOTH COMMUNAL TABLE COMMUNAL BENCH		FURNISH	INSTALL	FURNISH	INSTALL	FURNISH	INSTALL			EXISTING	NOT	6 6 6 6 6 6	LIFE SAFETY ITEM	FURNISH	INSTALL CUTLEN	FURNISH LNDLORD /	INSTALL DEVELOP.	FURNISH GENERAL	INSTALL CONTRACTOR	FURNISH SPECIFIED	
DINING COUNTER PICK UP / BEVERAGE COUNTER TRASH / TRAY HIGH CHAIR STORAGE FIXTURE												6 6 6	SMOKE DETECTORS STROBE LIGHTS SYSTEM SPEAKERS CONDUIT FOR ALL ABOVE WIRING FOR ALL ABOVE FIRE EXTINGUISHERS FIRE EXTINGUISHER CABINETS FIRE SPRINKLER SYSTEM FIRE SPRINKLER SYSTEM DESIGN FIRE SPRINKLER SYSTEM PERMITS FIRE ALARM PANEL								
PLUMBING ITEM		FURNISH		FURNISH	ISTALL	URNISH GENERAL	INSTALL CONTRACTOR	FURNISH KITCHEN	INSTALL VENDOR	EXISTING	NOT APPLICABLE		SPECIALTY ITEM	FURNISH		FURNISH LNDLORD /	INSTALL DEVELOP.	FURNISH GENERAL		FURNISH SPECIFIED	INSTALL VENDOR
PIPING INSTALLATION WASTE SERVICE CONNECTION HOT / COLD WATER LINES GAS PIPING TO EQUIPMENT WATER METER WATER HEATER WATER HEATER DRAIN PAN							 • •					4 4 3 3	SECURITY SYSTEM WIRING AND EQUIP TELEPHONE SYSTEM & WIRING P.O.S. SYSTEM WIRING AND EQUIPMENT AUDIO SYSTEMS VIDEO SYSTEMS/TELEVISIONS/MENU PAGING SYSTEM WIRELESS INTERNET								
WATER HEATER RESTRAINT KITCHEN EQUIPMENT HAND SINKS KITCHEN EQUIPMENT SINKS KITCHEN EQUIPMENT FAUCETS EQUIPMENT WATER FILTERS FLOOR SINKS												4	KITCHEN ITEM	FURNISH	INSTALL		DEVELO	FURNISH GENERAL	INSTALL CONT.	FURNISH KITCHEN	INSTALL VENDOR
FLOOR DRAINS MOP SINK RESTROOM TOILET FIXTURES RESTROOM SINKS / LAVATORIES GREASE INTERCEPTOR WATER SERVICE GAS METER AND SERVICE													KITCHEN EQUIPMENT WALK-IN COOLER / FREEZER WALK-IN BEER COOLER STAINLESS STEEL EQUIPMENT STAINLESS STEEL SHELVING STAINLESS STEEL PANELS				=				
													FIBER REINFORCED PLASTIC PANELS REFRIGERATION COMPRESSORS KITCHEN POS EQUIPMENT STAINLESS STEEL CORNERGUARDS EQUIP STARTUP TEST & CALIBRATION CHECK IN ALL EQUIPMENT								
													COKE MACHINE BEER SYSTEM WINE SYSTEM								

RESPONSIBILITY SCHEDULE NUMBERED NOTES:

1. REFER TO LEASE AGREEMENT AND LANDLORD'S CONSTRUCTION HANDBOOK FOR SUPPLY AND INSTALLATION RESPONSIBILITIES AND INFORMATION 2. NOT USED

3. SEE APPLICABLE PLAN FOR DETAILED INFORMATION

4. NOT USED

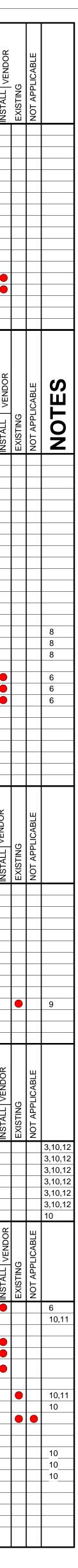
5. NOT USED

6. GC TO COORDINATE WITH VENDORS FOR ORDERING, SHIPMENTS, DELIVERY AND INSTALLATIONS AS APPLICABLE TO EACH ITEM. TOP ROUND TO PAY FOR ITEMS DIRECTLY THRU NATIONAL ACCOUNT AGREEMENTS

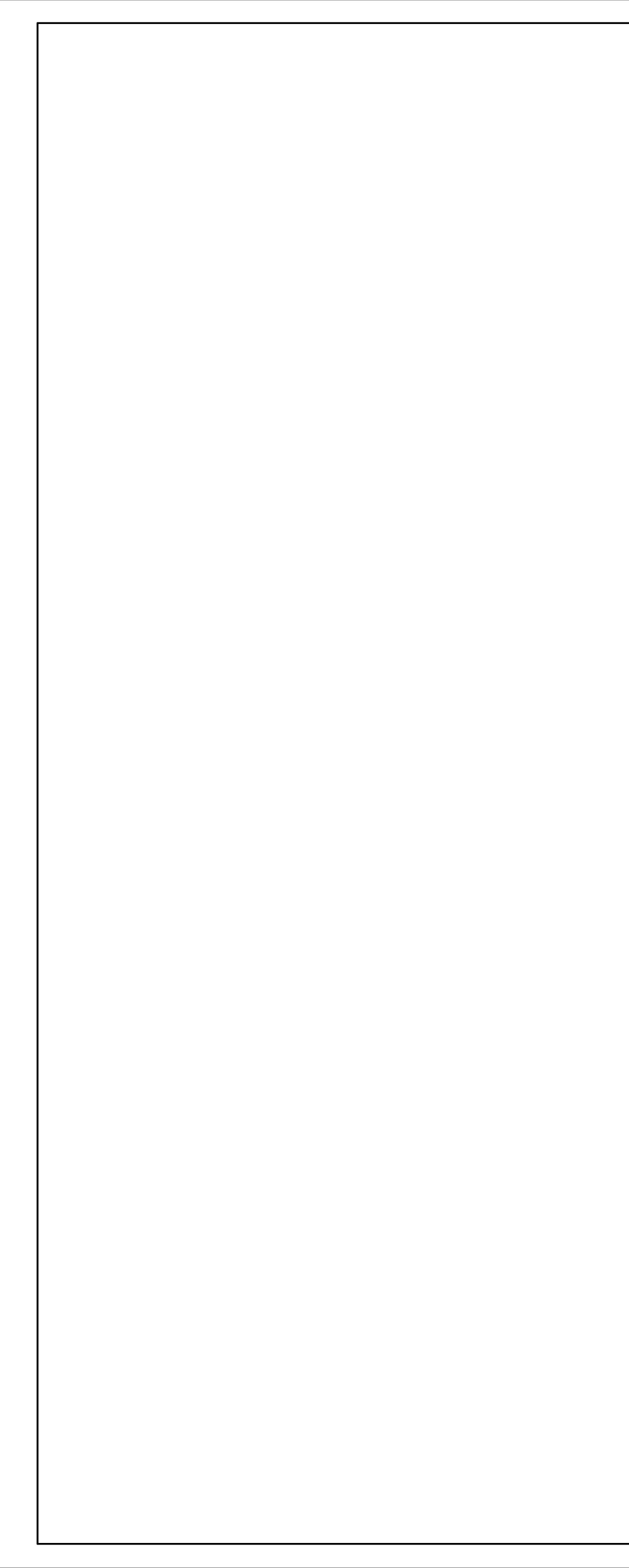
7. G.C. TO VERIFY THAT EXISTING SITE CONDITIONS ACCOMODATES NEW DESIGN

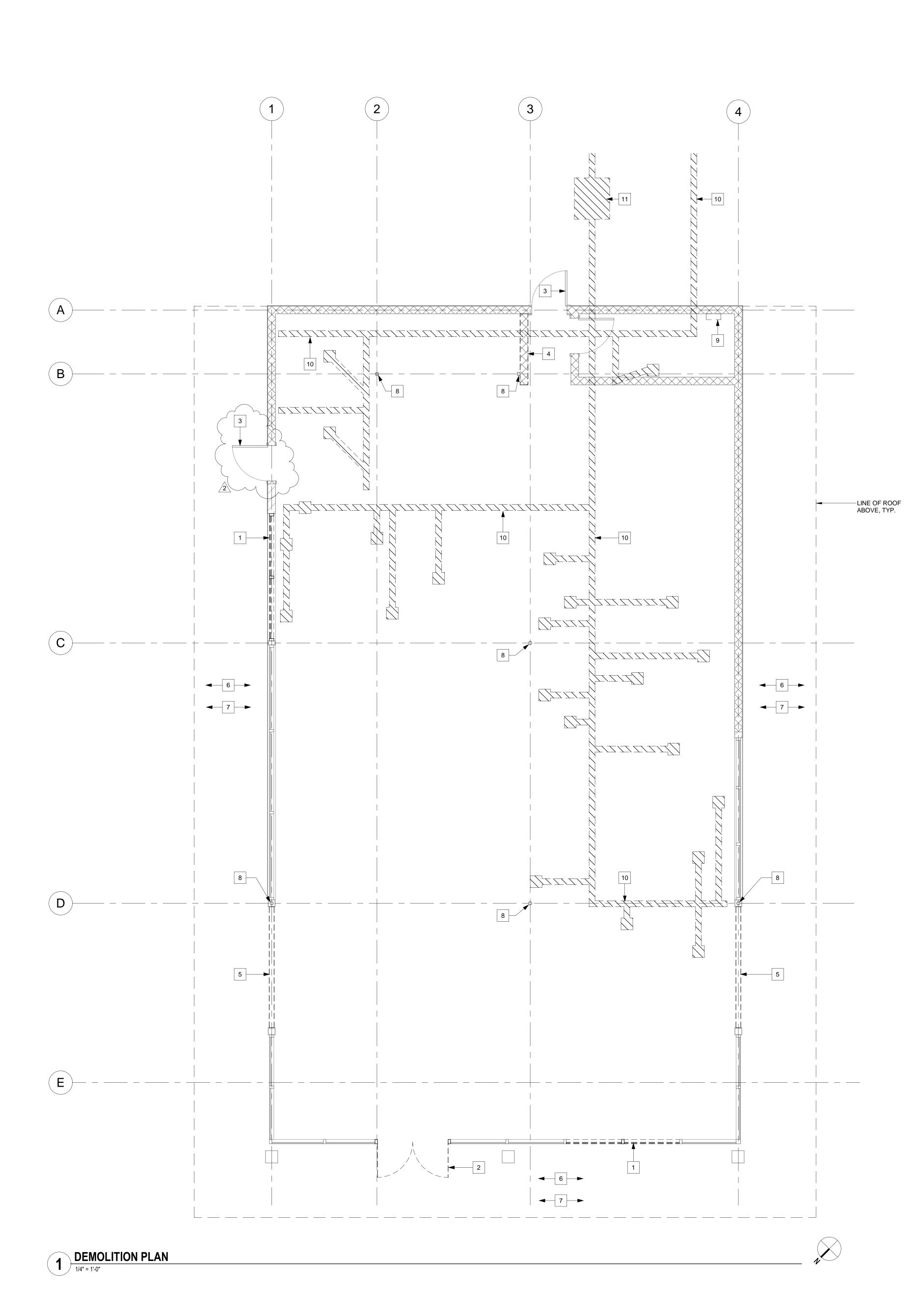
8. GC TO COORDINATE WITH VENDORS FOR ORDERING, SHIPMENTS, AND DELIVERY AS APPLICABLE TO EACH ITEM. TOP ROUND TO PAY FOR ITEMS DIRECTLY THRU NATIONAL ACCOUNT AGREEMENTS, G.C. TO INSTALL 9. G.C. TO MODIFY (E) FIRE SUPPRESSION SYSTEM IF REQUIRED PER FIRE MARSHALL.

10. G.C. TO COORDINATE SCHEDULE



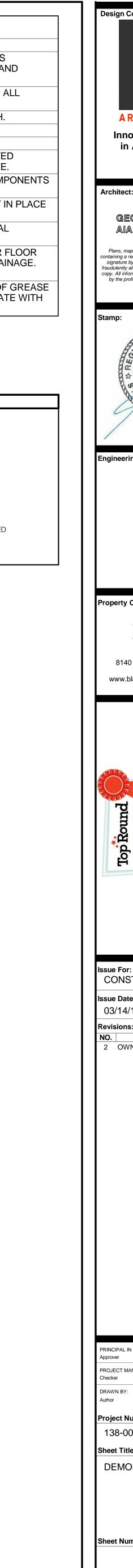




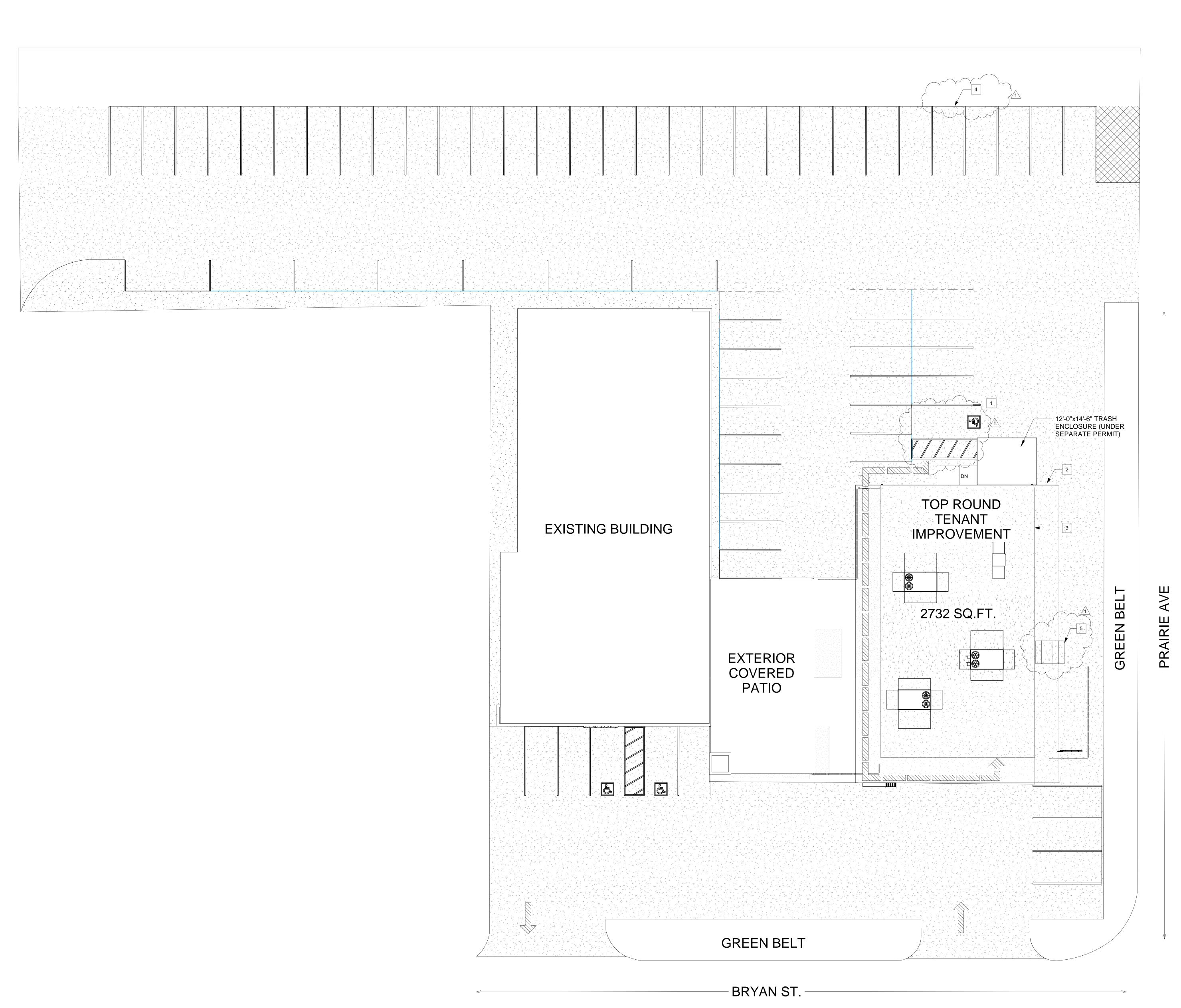


	KEYNOTES - DEMO PLAN
NUMBER	NOTE
1	DEMOLISH PART OF STOREFRONT SYSTEM AS REQUIRED. COORDINATE WITH FLOOR PLAN ANI STOREFRONT DRAWINGS.
2	DEMOLISH DOUBLE STOREFRONT DOOR AND AL ASSOCIATED COMPONENTS COMPLETE.
3	DOOR TO REMAIN. PREPARE FOR NEW FINISH.
4	C.M.U. WALL TO BE DEMOLISHED COMPLETE.
5	WALL TO BE DEMOLISHED COMPLETE.
6	EXTERIOR T-BAR CEILING AND ALL ASSOCIATED COMPONENTS TO BE DEMOLISHED COMPLETE.
7	EXTERIOR LIGHTS AND ALL ASSOCIATED COMPO TO BE DEMOLISHED COMPLETE.
8	STRUCTURAL COLUMN TO REMAIN, PROTECT IN DURING CONSTRUCTION.
9	REMOVE ELECTRICAL PANEL, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
10	SAW CUT SLAB ON GRADE AS REQUIRED FOR FL SINKS, FLOOR DRAINS, AND ASSOCIATED DRAIN COORDINATE WITH PLUMBING DRAWINGS.
11	SAW BUT AS REQUIRED FOR INSTALLATION OF O INTERCEPTOR AND SAMPLE WELL. COORDINATE PLUMBING DRAWINGS.

WALL LEGEND	
	C.M.U. WALL TO REMAIN
	BRICK WALL TO REMAIN
	C.M.U. WALL TO BE DEMOLISHED
	MASONRY STONE UNIT WALL TO BE DEMOLISHED

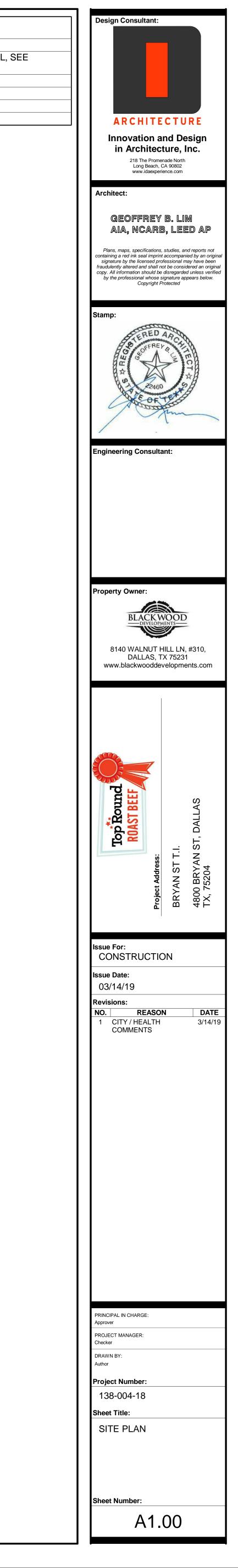


Design Consultant: ARCHITE Innovation a in Architec: ²¹⁸ The Prome Long Beach, (www.idaexperi	Ind Design ture, Inc. anade North CA 90802
Architect: GEOFFREY AIA, NCARE Plans, maps, specifications, containing a red ink seal imprint signature by the licensed pro fraudulently altered and shall m copy. All information should be by the professional whose s Copyright P	B, LEED AP , studies, and reports not t accompanied by an original ofessional may have been to the considered an original e disregarded unless verified signature appears below.
Stamp:	CT A
Engineering Consulta	an::
Property Owner: BLACKY DEVELOPH 8140 WALNUT H DALLAS, T www.blackwooddev	HILL LN, #310, X 75231
Top Round Reference of the second sec	BRYAN ST T.I. 4800 BRYAN ST, DALLAS TX, 75204
ssue For: CONSTRUCTIO ssue Date: 03/14/19 Revisions: NO. REASO 2 OWNER COMM	N DATE
PRINCIPAL IN CHARGE: Approver PROJECT MANAGER: Checker DRAWN BY: Author Project Number: 138-004-18 Sheet Title: DEMOLITION F	PLAN
Sheet Number: D1.	00

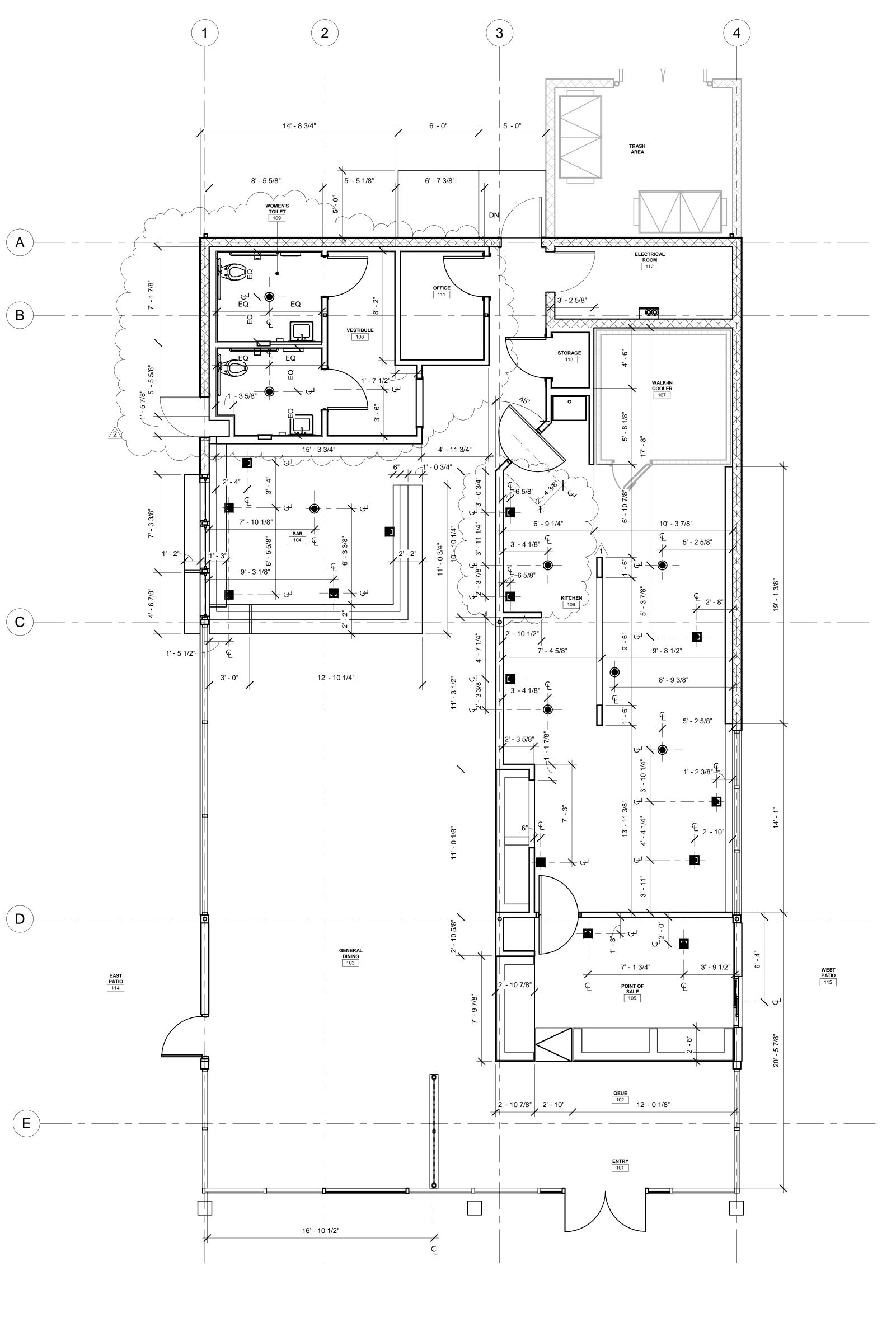


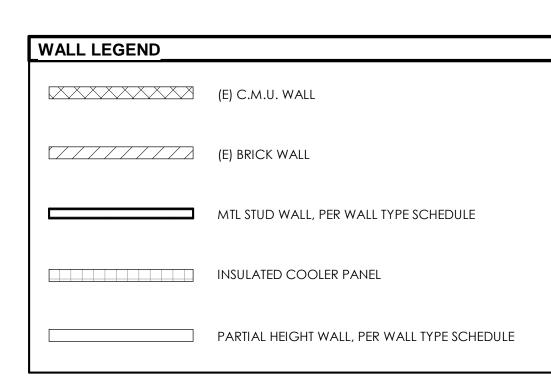
SITE PLAN 1" = 10'-0"

	KEYNOTES - SITE PLAN
NUMBER	NOTE
1	GREASE INTERCEPTOR AND SAMPLE WELL PLUMBING DRAWINGS.
2	(E) GAS METER LOCATION.
3	LINE OF WALL BELOW.
4	(E) PRIVACY SCREENING.
5	5 STALL BIKE RACK BY LANDLORD.

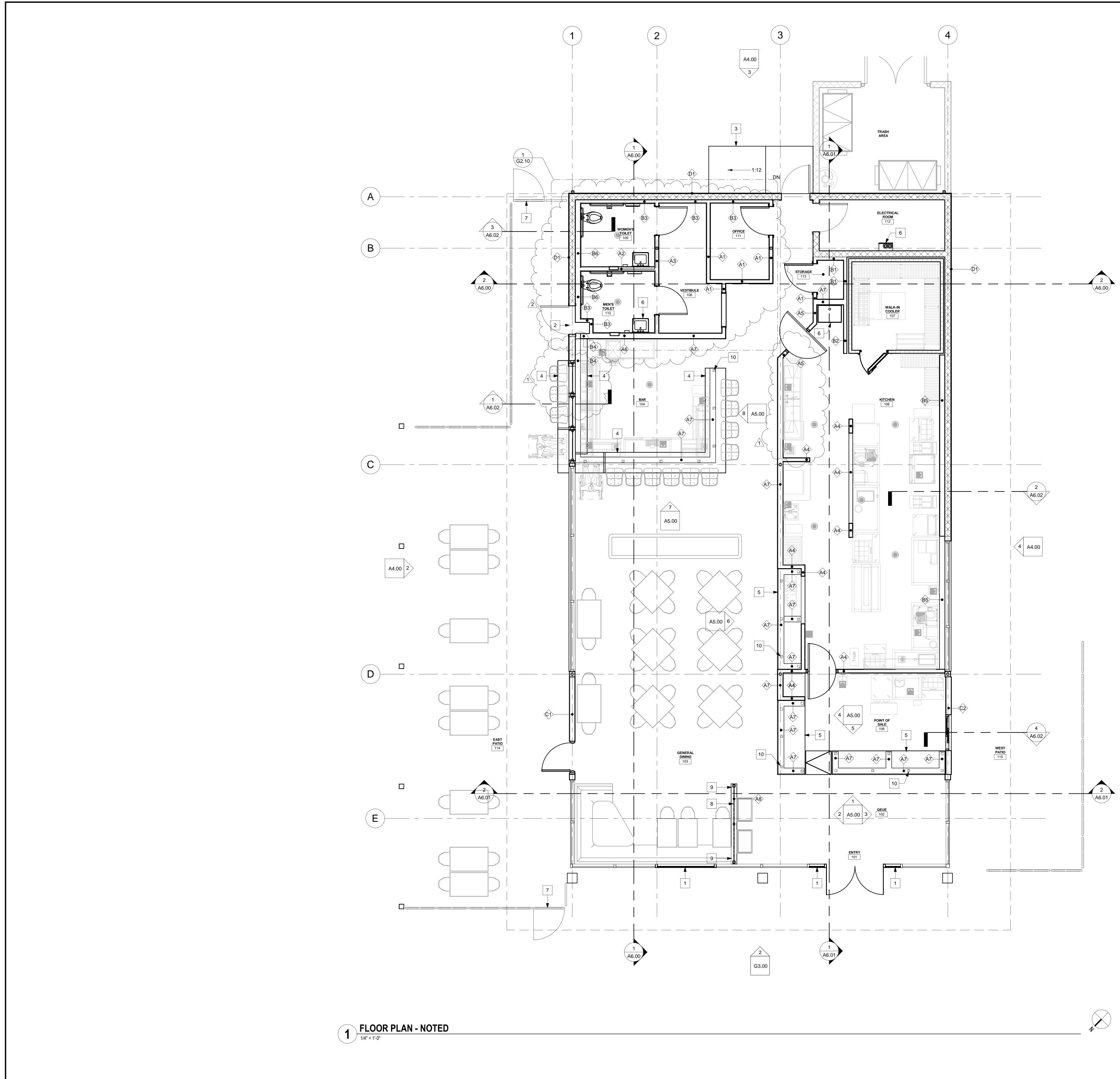


1 FLOOR PLAN -DIMENSIONED



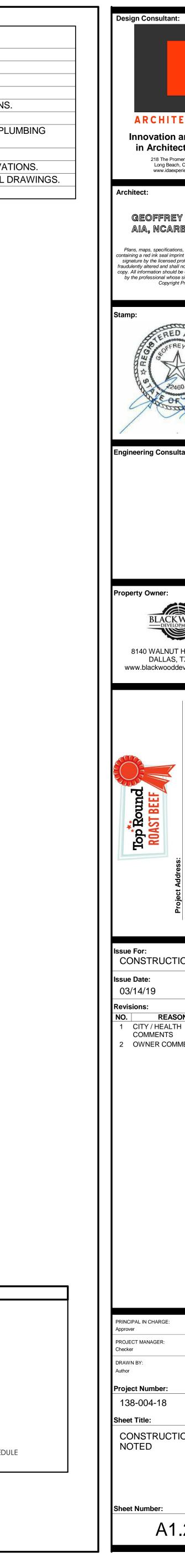




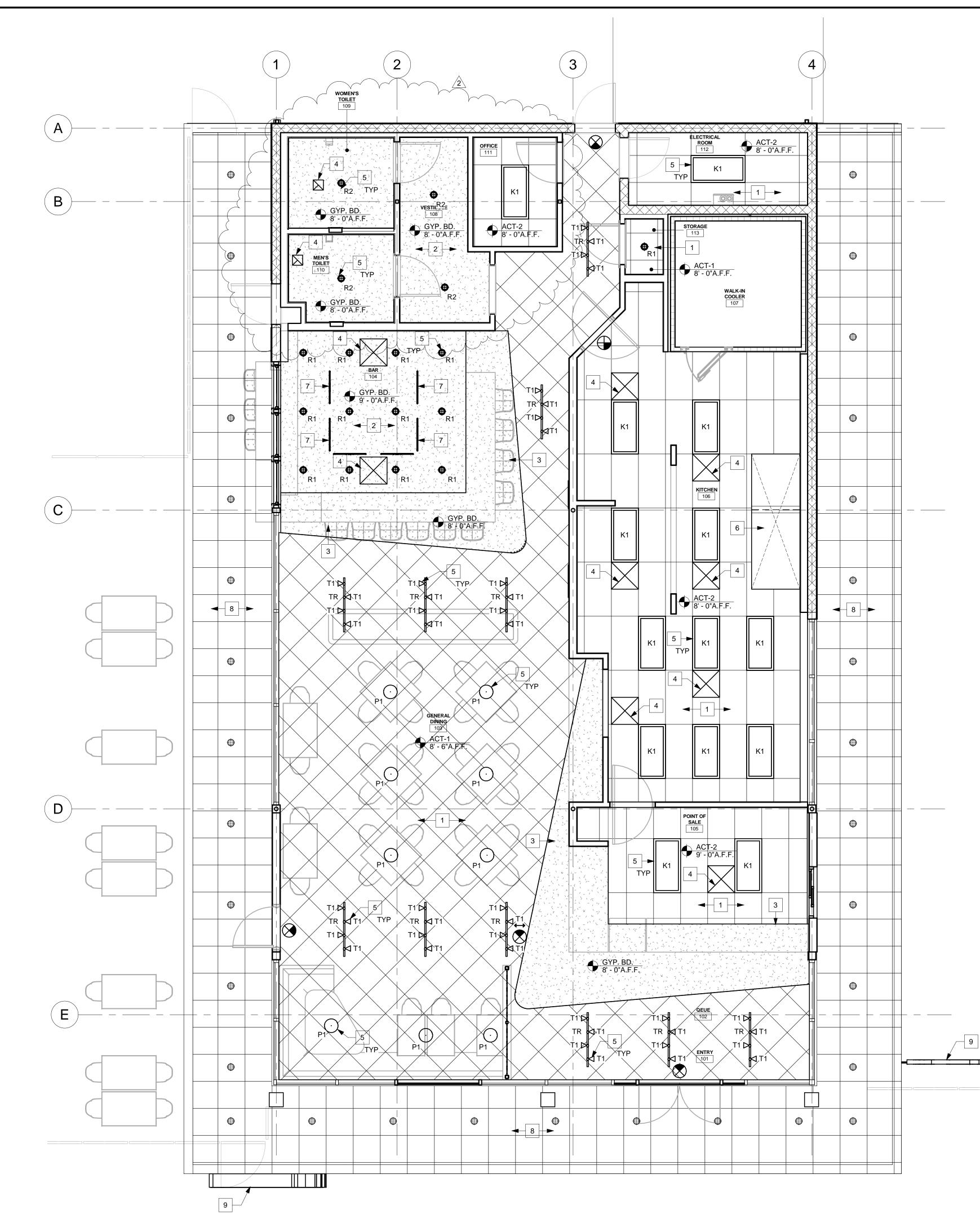


	KEYNOTES - FLOOR PLAN
NUMBER	NOTE
1	INFILL STOREFRONT SYSTEM.
2	INFILL C.M.U. OPENING.
3	ADA RAMP.
4	BAR COUNTER, SEE INTERIOR ELEVATIONS.
5	CASEWORK, SEE INTERIOR ELEVATIONS.
6	PLUMBING FIXTURE, COORDINATE WITH PLUME DRAWINGS.
7	GATE, SEE EXTERIOR ELEVATIONS.
8	DECORATIVE PANEL, SEE INTERIOR ELEVATION
9	STEEL POST SUPPORT, SEE STRUCTURAL DRA
10	TUBE STEEL SUPPORT, SEE 13/A7.01

WALL LEGEND	
	(E) C.M.U. WALL
	(E) BRICK WALL
	MTL STUD WALL, PER WALL TYPE SCHEDULE
	INSULATED COOLER PANEL
	PARTIAL HEIGHT WALL, PER WALL TYPE SCHEDU

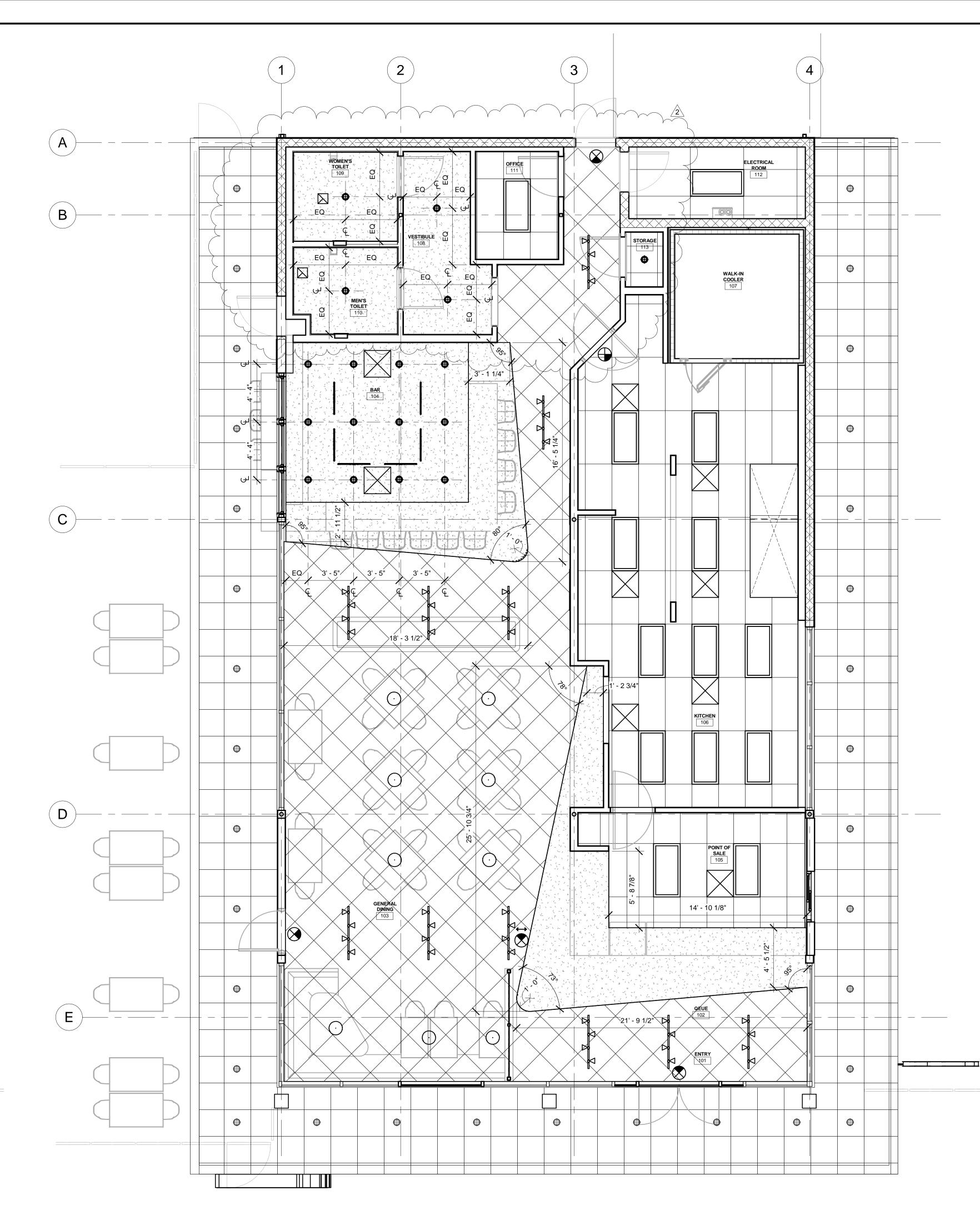






2 REFLECTED CEILING PLAN - NOTED

	KEYNOTES - RCP
NUMBER	NOTE
1	SUSPENDED T-BAR CEILING PER FINISH SCHEDULE. SEE 1/A7.10
2	SUSPENDED GYPSUM BOARD CEILING, SEE FINISH SCHEDULE. SEE 6/A7.10
3	GYPSUMB BOARD SOFFIT.
4	MECHANICAL REGISTER, COORDINATE WITH MECHANICAL DRAWINGS.
5	LIGHT FIXTURE, COORDINATE WITH ELECTRICAL DRAWINGS.
6	HOOD VENT.
7	SUSPENDED TELEVISION.
8	(E) 2X2 SUSPENDED CEILING.
9	SIGNAGE, SEE EXTERIOR ELEVATIONS.





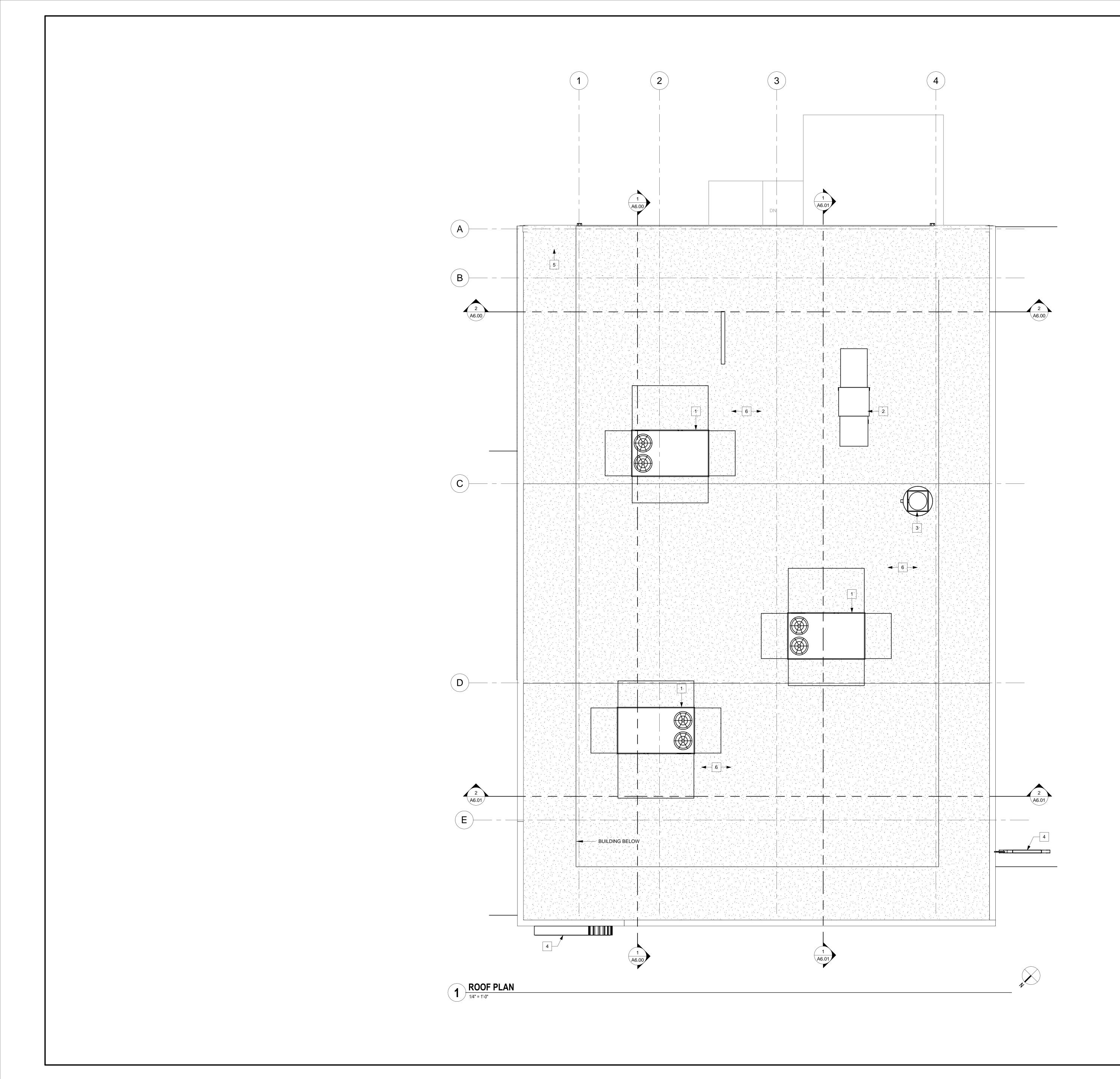
1 REFLECTED CEILING PLAN - DIMENSIONED

			LIGHT FIXTURE SCHED	ULE FOR REFERENCE ONLY, REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
MARK	COUNT	MANUFACTURER	MODEL	DESCRIPTION
K1	14	LSI INDUSTRIES	ELFP24-LED-35-UE	ELFP SERIES RECESSED EDGE LIT 2X4 LED FLAT PANEL UNIT (SFP-24)
P1	9	PROGRESS LIGHTING	P4402-29	FROSTED GLOBE PENDANT
R1	13	PROGRESS LIGHTING	P8080-28/30K9-AC1-L06	RECESSED DOWNLIGHT, WHITE TRIM AND INTERIOR
R2	4	NORA	NHIC-6LMRAT HEAD: NLEDC 661 30 HZW	RECESSED DOWNLIGHT, WHITE TRIM AND INTERIOR, WET LISTED
T1	44	AMERLUX	I-HORNET 15W LED E BT CTB 120 WF 3000 -DIM	TRACK LIGHTING, WHITE
TR	11	AMERLUX		TRACK, SMALL 4'-0"

EFLECTED CEILING PLAN LEGEND FOR REFERENCE ONLY, REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. AIR SUPPLY REGISTER RECESSED FIXTURE \oplus \bigcirc PENDANT FIXTURE AIR RETURN REGISTER AIR EXHAUST REGISTER 2X4 FIXTURE TRACK FIXTURE () 1t FIXTURE TAG SEE SCHEDULE $\overleftarrow{}$ EXIT SIGN & DIRECTION \leftrightarrow



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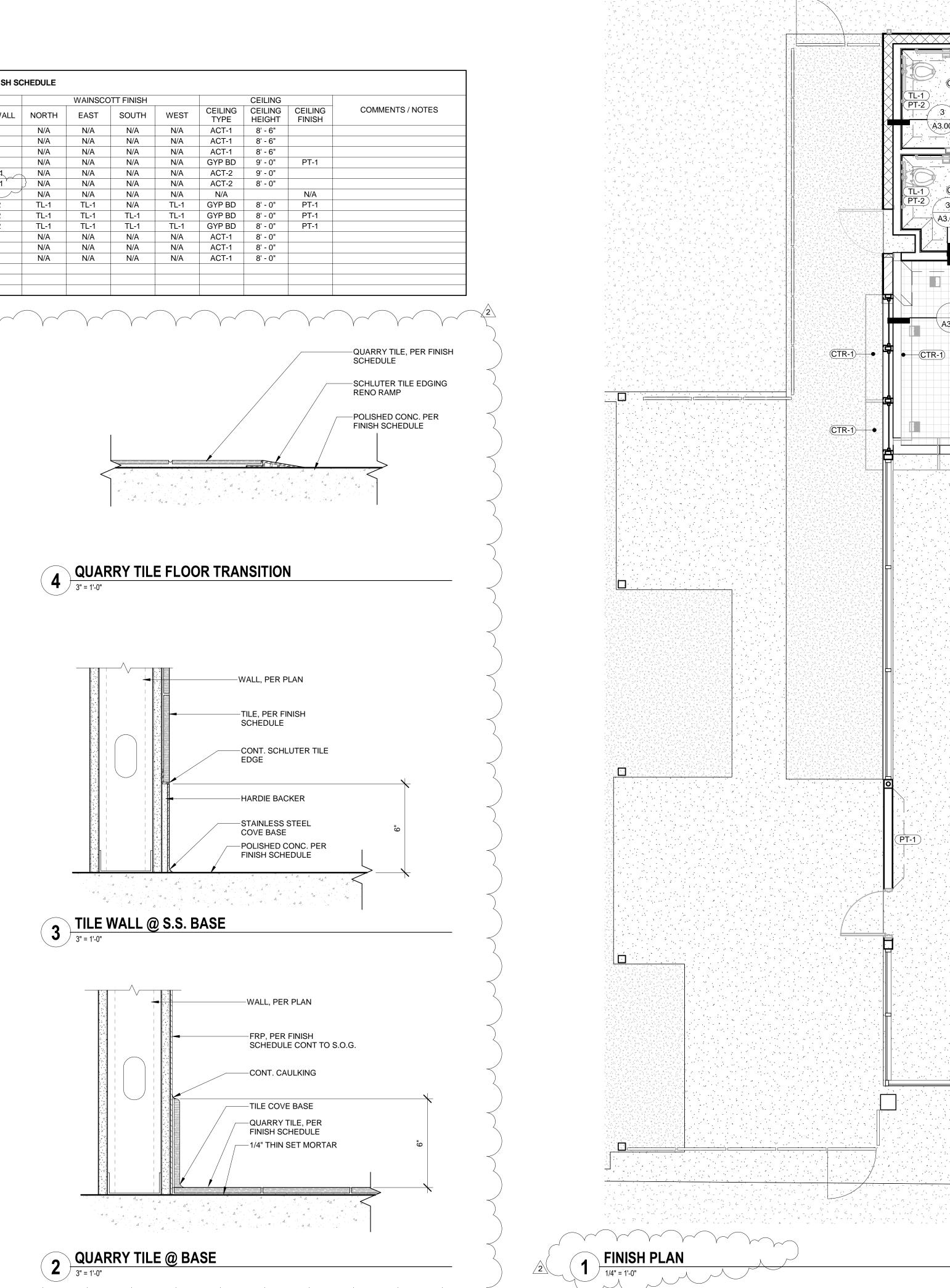


	KEYNOTES - ROOF PLAN
NUMBER	NOTE
1	RETURN AIR UNIT, COORDINATE WITH MECHANI DRAWINGS.
2	MAKE UP AIR UNIT, COORDINATE WITH MECHAN DRAWINGS.
3	CAPTIVE AIR, COORDINATE WITH MECHANICAL DRAWINGS.
4	SIGNAGE, SEE EXTERIOR ELEVATIONS.
5	EXHAUST PIPE, COORDINATE WITH MECHANICA DRAWINGS.
6	PATCH AND REPAIR ROOFING THROUGHOUT AS REQUIRED AFTER INSTALLATION OF MECHANIC, EQUIPMENT.



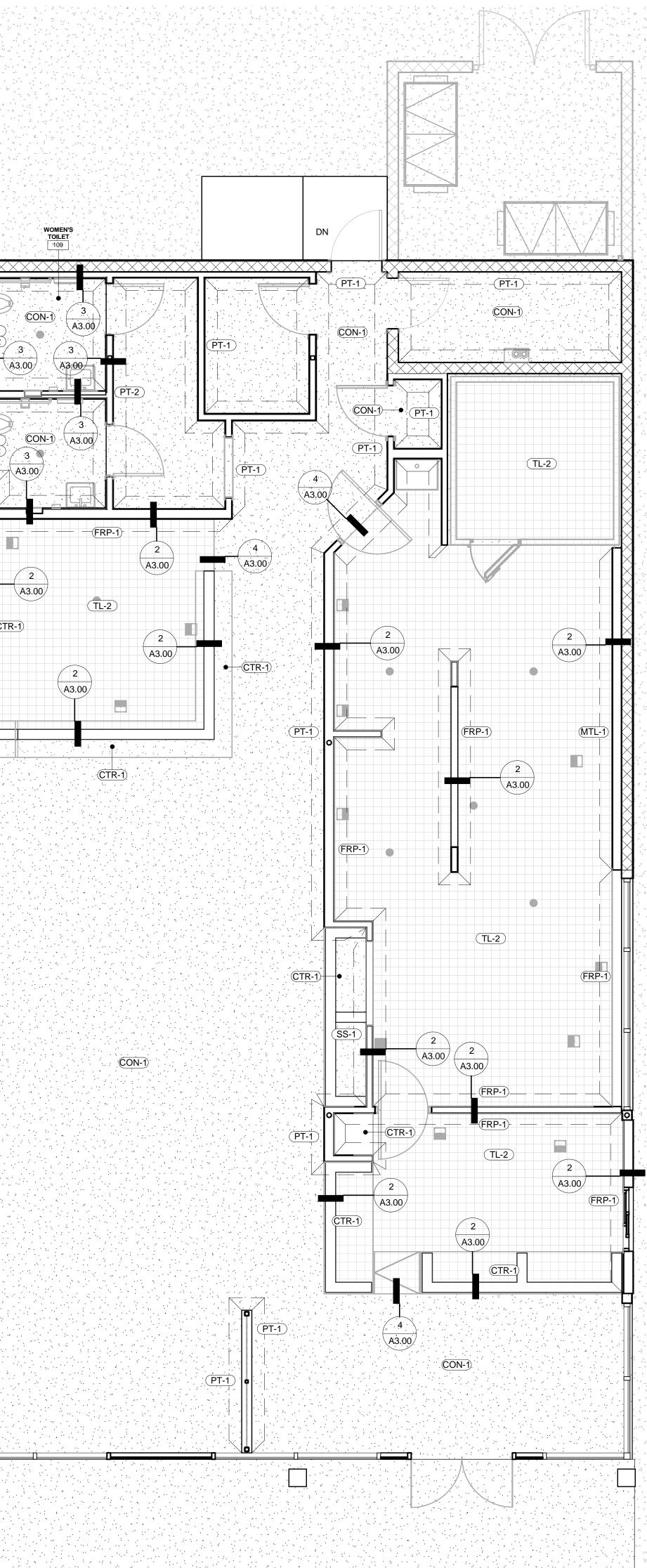
			MATERIA	LS & FINISH SCHEDUL	E	
				COLOR		
MARK	MANUFACTURER	MODEL/COLLECTION	SIZE/THICKNESS	NAME	FINISH	
ACT-1	U.S.G.	ECLIPSE PANELS, ITEM #76575		BLACK	MATTE	GRID PROFILE USG DXLA, PAINT GRID AND PANELS WITH PT-4
ACT-2	U.S.G.	CLIMAPLUS_VINYL, ITEM #3210		WHITE		GRID PROFILE USG DXLA
CON-1	REDRHINO					POLISHED CONCRETE
CTR-1			1/2 IN	URBAN GRAY		
EX					\mathcal{T}	EXISTING FINISH TO REMAIN
FRP-1	MARLITE	P100 / PEBBLED WHITE				KITCHEN, OFFICE, AND EMPLOYEE RESTROOM WALL FINISH
GL-1	TO MATCH (E)					
MTL-1		STAINLESS STEEL				STAINLESS STEEL CONTRACTOR TO MANUFACTURE AND INSTALL
PL-1	FORMICA	LAMINATE		BLACK WALNUT	MATTE	CODE: 58
PT-1	BENJAMIN MOORE	BM PM-19		WHITE DOVE	SEMI GLOSS	
PT-2	BENJAMIN MOORE	BM 2051-70		CRYSTAL BLUE	SEMI GLOSS	
PT-3	BENJAMIN MOORE	BM 2001-10		RUBY RED	GLOSS	
PT-4	BENJAMIN MOORE	BM 2132-10		BLACK	SEMI GLOSS	
TL-1	DALTILE	MODERN DIMENSIONS	4-1/4X12-7/8	ARTIC WHITE	SEMI GLOSS	PROVIDE QUARTER ROUND TRIM AT WAINSCOTT TRANSITION. INS
TL-2	DALTILE	QUÁRRÝ TILÉ, 0Q42	6X6	ARID GRAY		
2				· · 〈-、,- ·,- · · ·		

							R	ROOM FINISH SC	HEDULE					
			BA	SE		WALL FINISH			WAINSCOTT FINISH					
ROOM #	ROOM NAME	FLOOR FINISH	BASE	HEIGHT	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	NORTH	EAST	SOUTH	WEST	CE	
101	ENTRY	CON-1	N/A	N/A	GL-1	N/A	N/A	N/A	N/A	N/A	N/A	N/A	A	
102	QEUE	CON-1	N/A	N/A	GL-1	PT-1	N/A	GL-1	N/A	N/A	N/A	N/A	A	
103	GENERAL DINING	CON-1	VNL-1	4"	GL-1	GL-1/PT-1	N/A	PT-1	N/A	N/A	N/A	N/A	A	
104	BAR	TL-2	TL-2	4"	N/A	GL-1/PT-1	PT-1	N/A	N/A	N/A	N/A	N/A	G`	
105	POINT OF SALE	TL-2	TL-2	4"	N/A	FRP-1	FRP-1	FRP-1	N/A	N/A	N/A	N/A	A	
106	KITCHEN	TL-2	TL-2	N/A	2 FRP-1	FRP-1	FRP-1	MŢĹ-1	} N/A	N/A	N/A	N/A	A	
107	WALK-IN COOLER	CON-1	N/A	N/A	NXA /	M/A	NA	N/A	N/A	N/A	N/A	N/A		
108	VESTIBULE	CON-1	MTL-1	6"	PT-2	PT-2	PT-2	PT-2	TL-1	TL-1	N/A	TL-1	G١	
109	WOMEN'S TOILET	CON-1	MTL-1	6"	PT-2	PT-2	PT-2	PT-2	TL-1	TL-1	TL-1	TL-1	G١	
110	MEN'S TOILET	CON-1	MTL-1	6"	PT-2	PT-2	PT-2	PT-2	TL-1	TL-1	TL-1	TL-1	G	
111	OFFICE	CON-1	VNL-1	4"	PT-1	PT-1	PT-1	PT-1	N/A	N/A	N/A	N/A	A	
112	ELECTRICAL ROOM	CON-1	N/A	N/A	PT-1	PT-1	PT-1	PT-1	N/A	N/A	N/A	N/A	A	
113	STORAGE	CON-1	VNL-1	4"	PT-1	PT-1	PT-1	PT-1	N/A	N/A	N/A	N/A	A	
114	EAST PATIO													
115	WEST PATIO													
N.I.C.	TRASH AREA													



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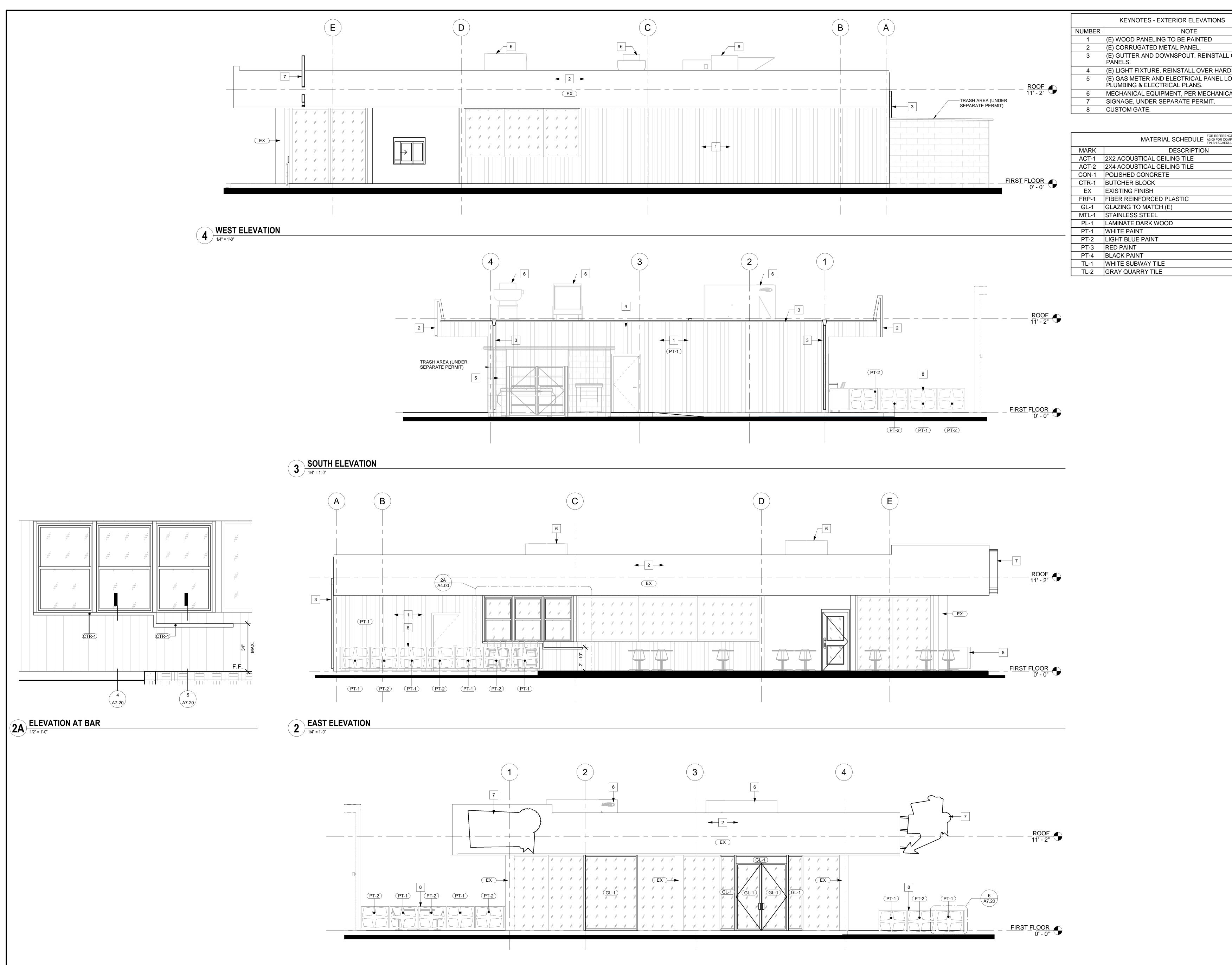
RANSITION. INSTALL TILE IN RUNNING BOND PATTERN.



COMMENTS/REMARKS

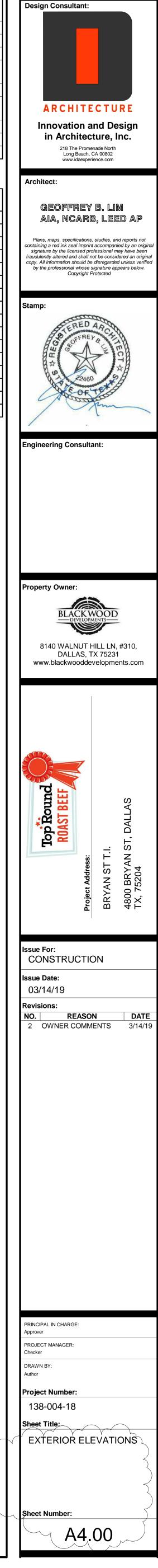


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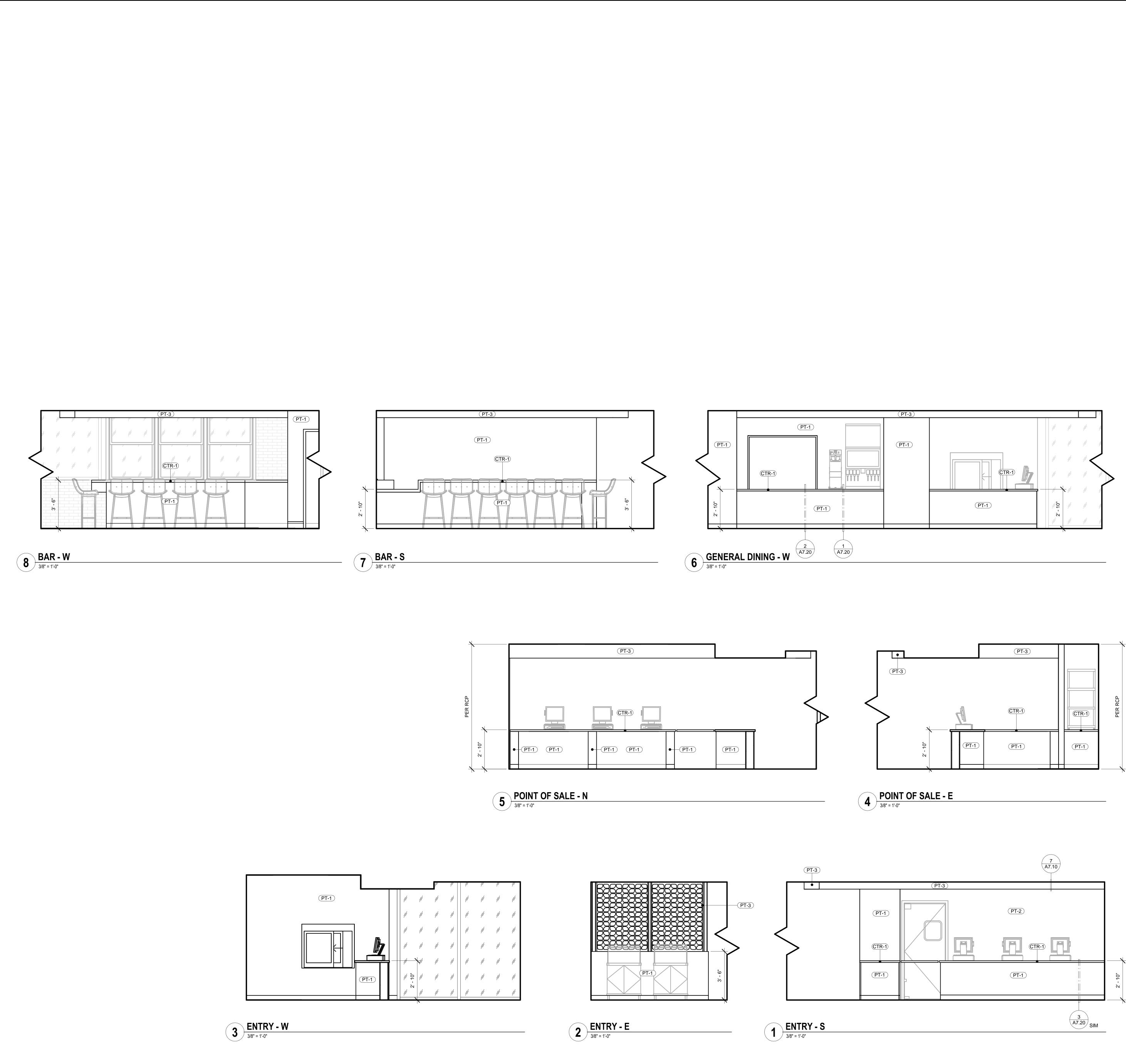


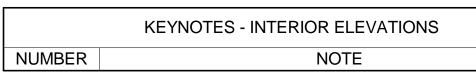
1 NORTH ELEVATION

. OVER HARDIE
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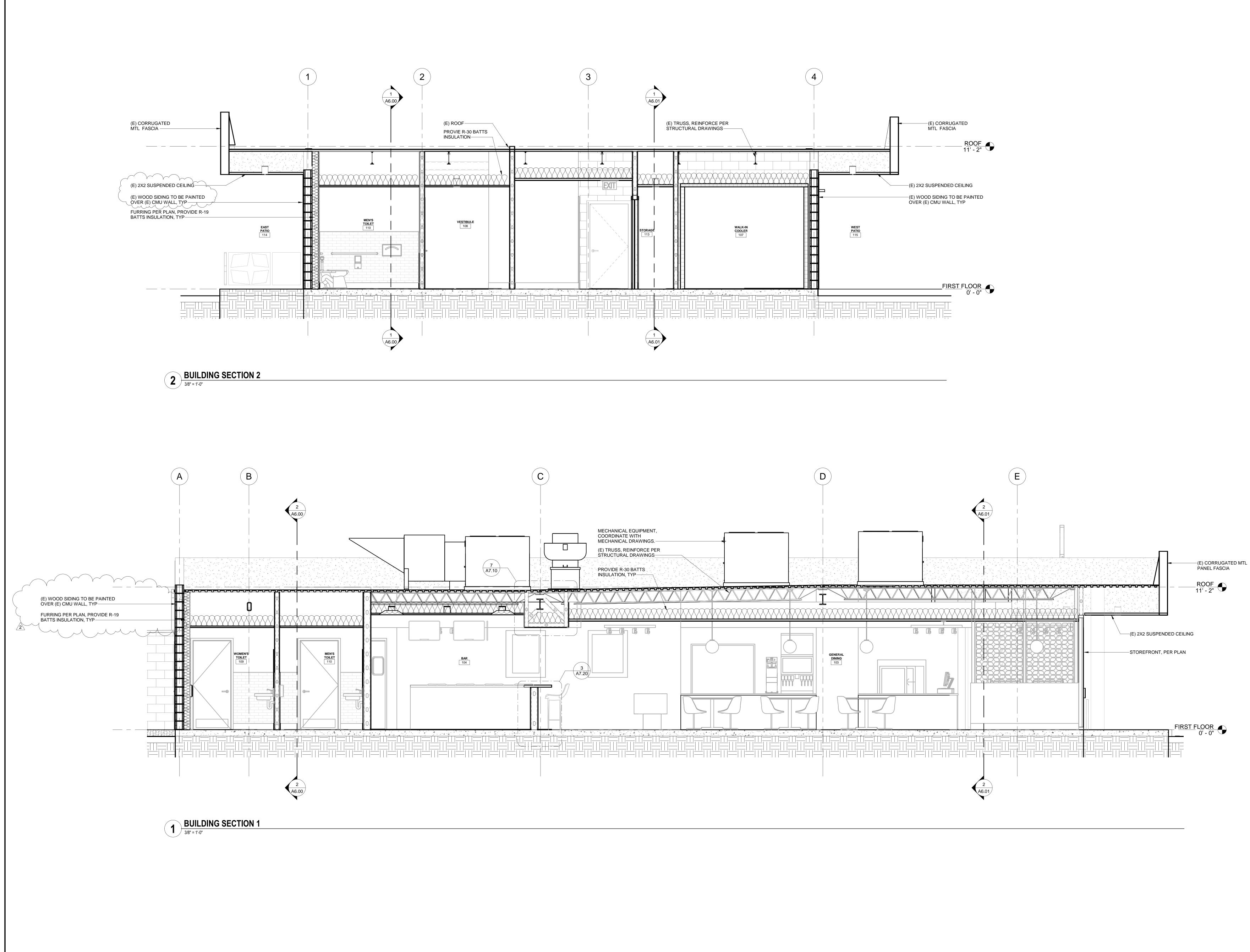




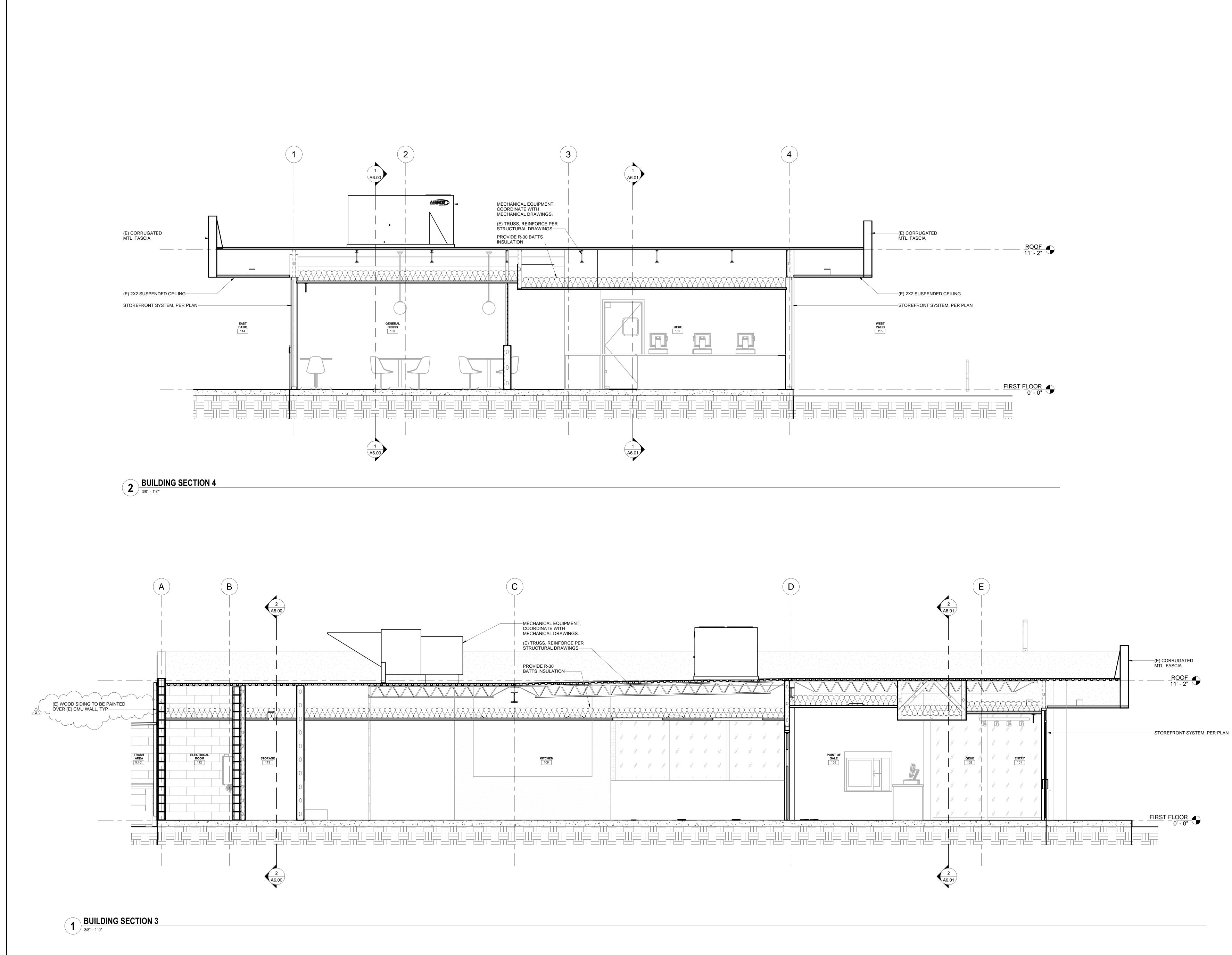


	MATERIAL SCHEDULE
MARK	DESCRIPTION
ACT-1	2X2 ACOUSTICAL CEILING TILE
ACT-2	2X4 ACOUSTICAL CEILING TILE
CON-1	POLISHED CONCRETE
CTR-1	BUTCHER BLOCK
EX	EXISTING FINISH
FRP-1	FIBER REINFORCED PLASTIC
GL-1	GLAZING TO MATCH (E)
MTL-1	STAINLESS STEEL
PL-1	LAMINATE DARK WOOD
PT-1	WHITE PAINT
PT-2	LIGHT BLUE PAINT
PT-3	RED PAINT
PT-4	BLACK PAINT
TL-1	WHITE SUBWAY TILE
TL-2	GRAY QUARRY TILE

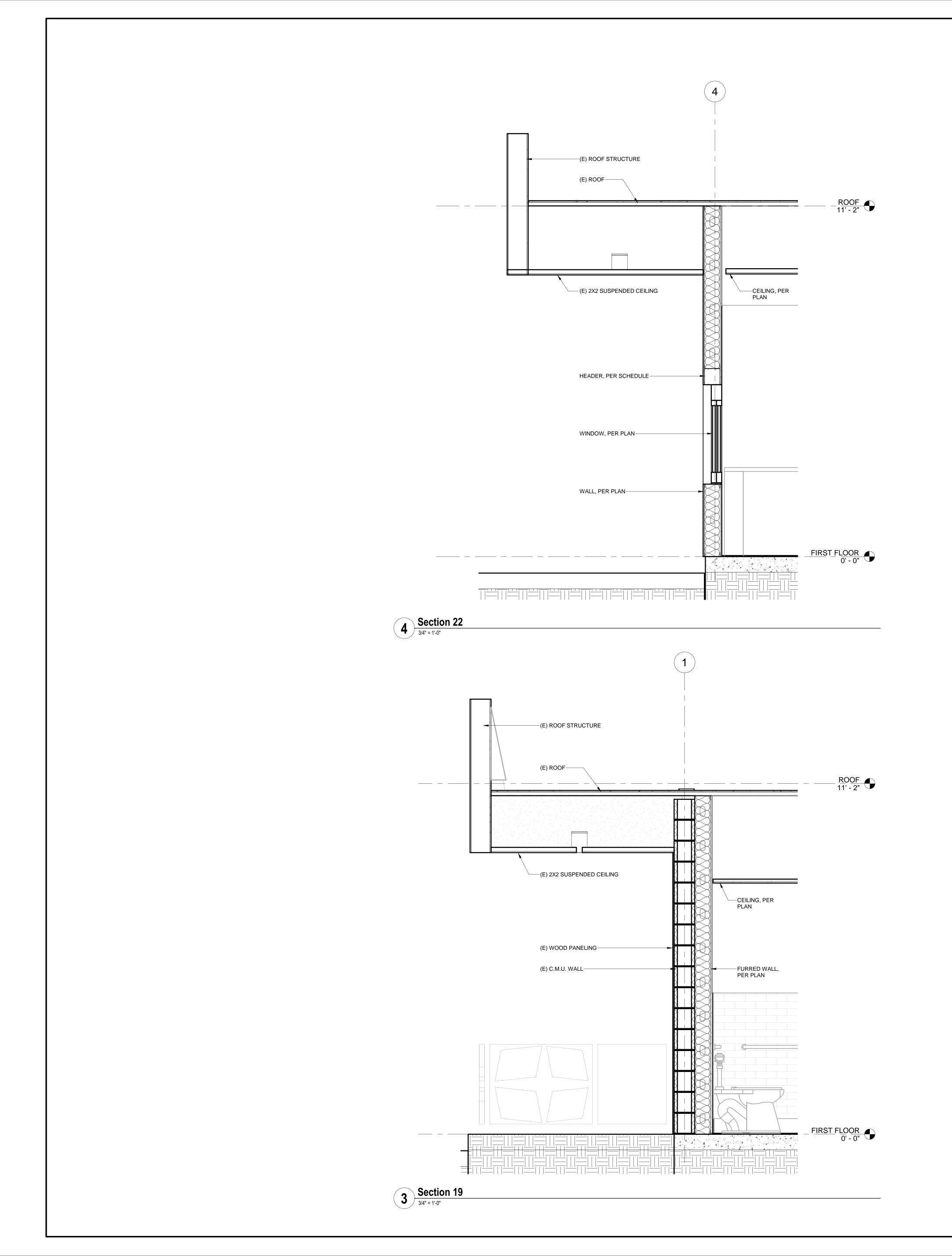


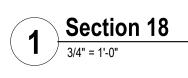


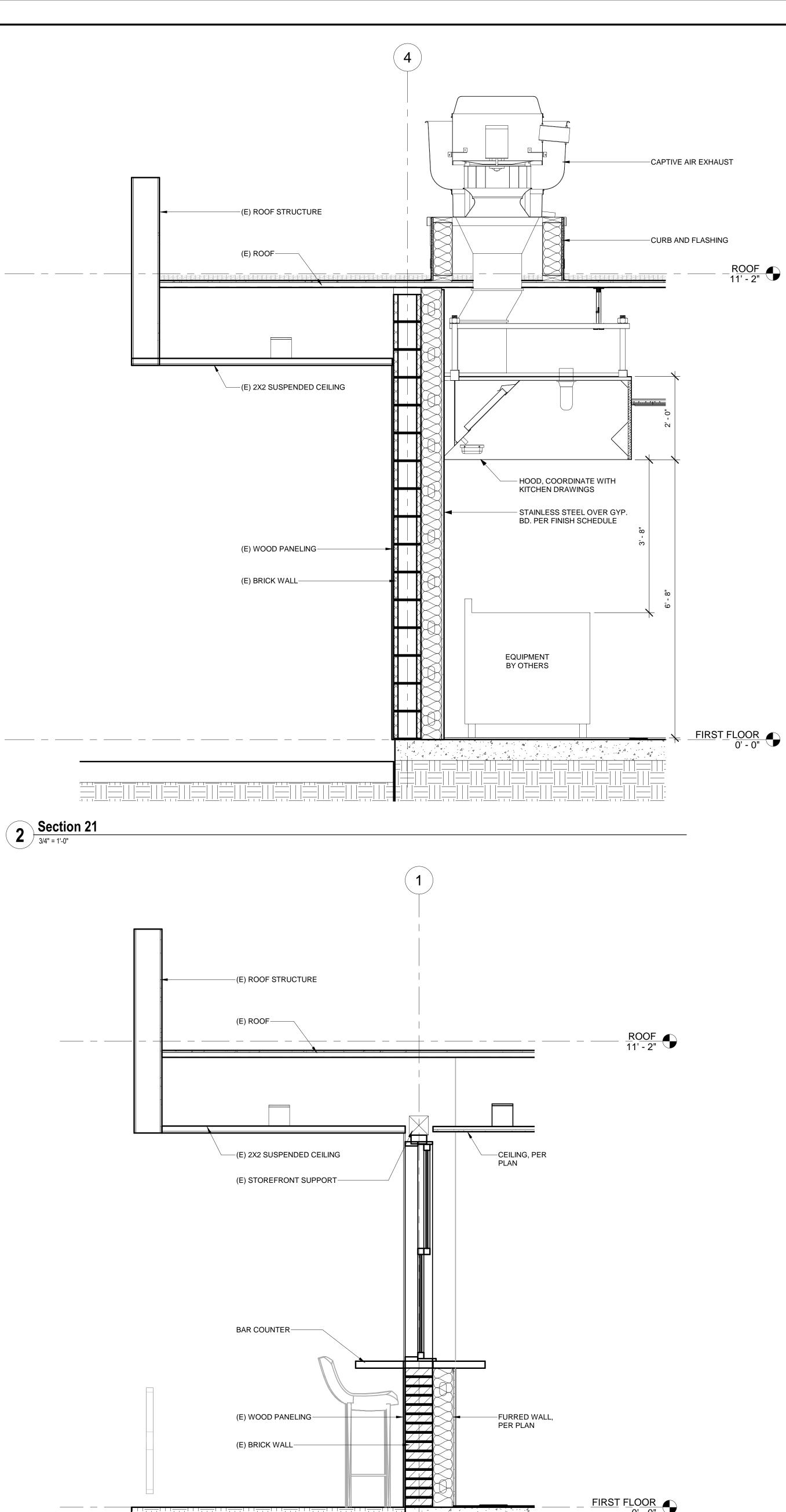


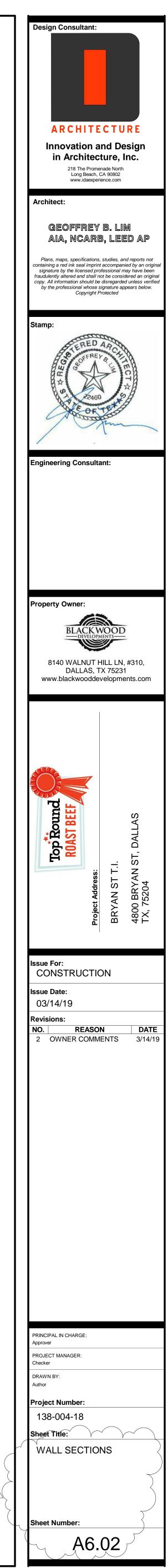




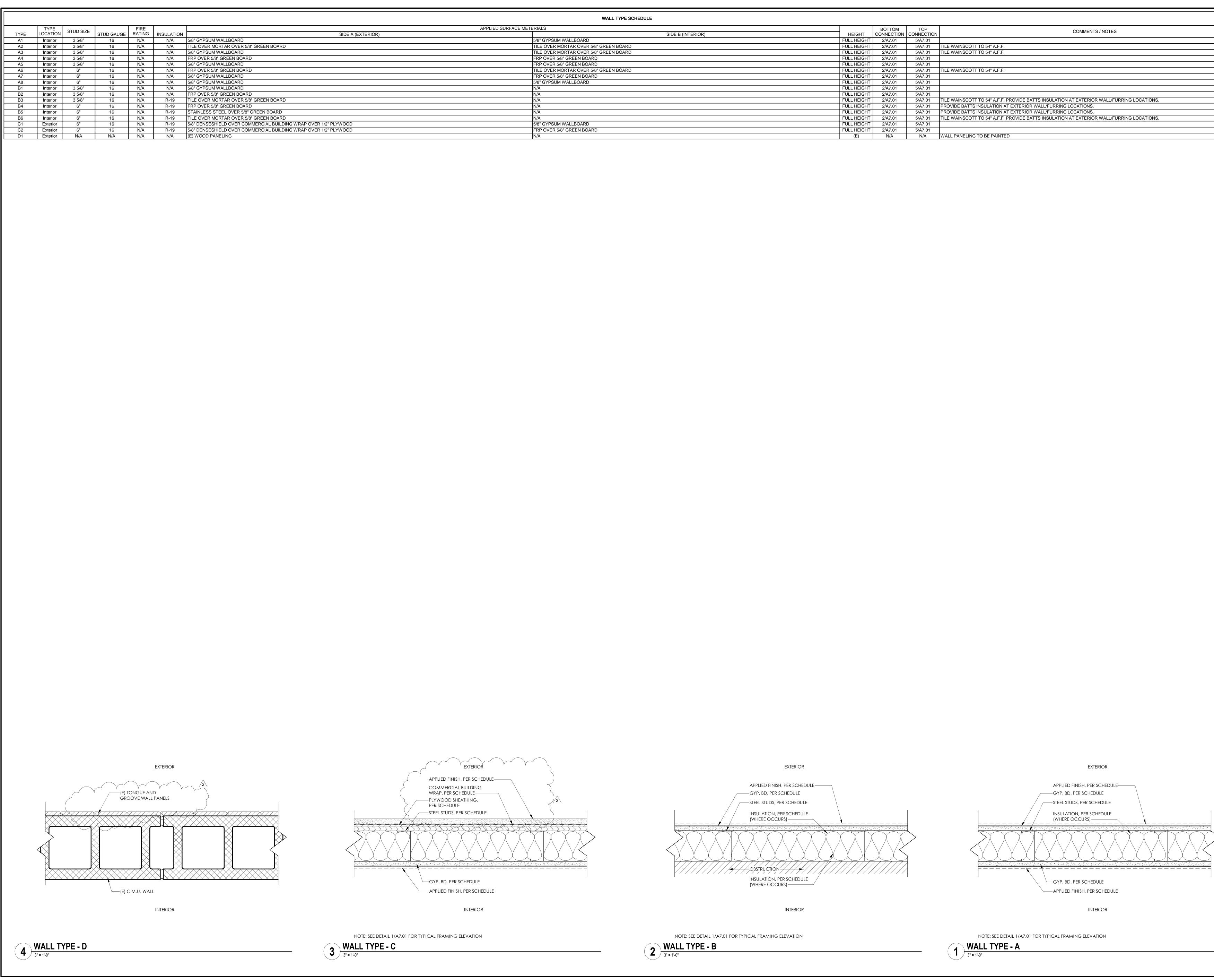








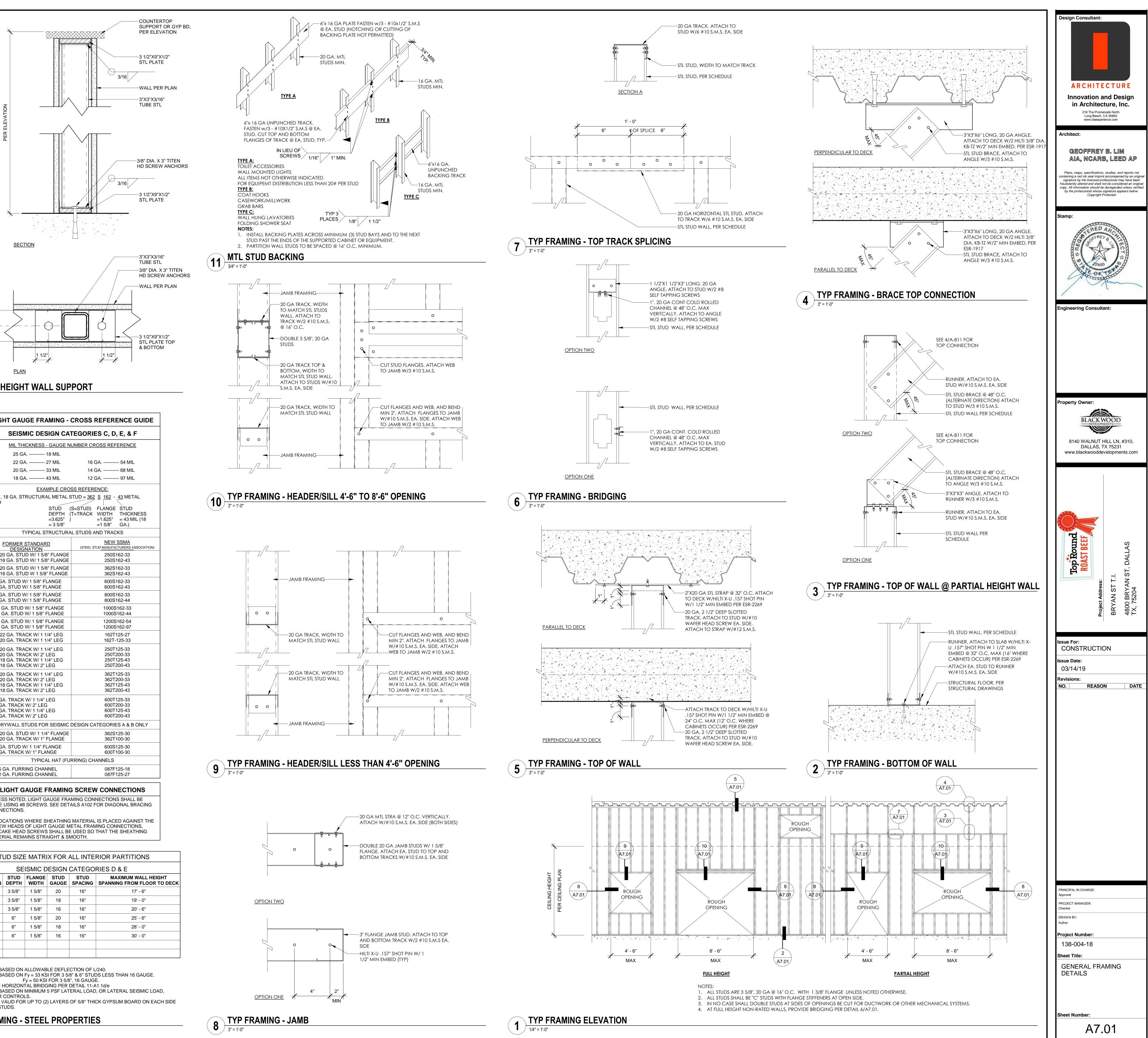
FIRST FLOOR 0' - 0"

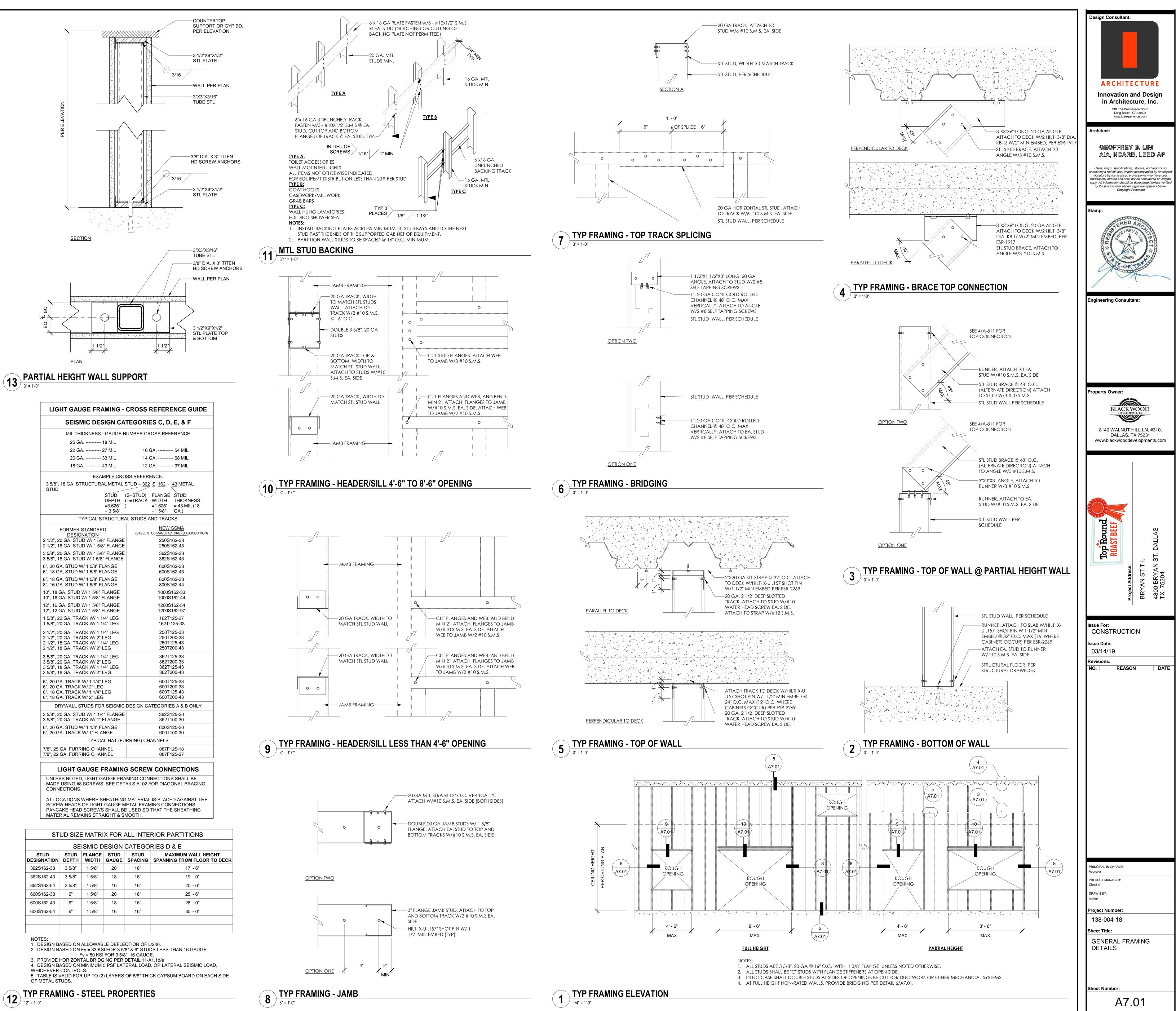


	WALL TYPE SCHEDULE				
APPLIED SURFACE METE	RIALS				
R)	SIDE B (INTERIOR)				
	5/8" GYPSUM WALLBOARD				
	TILE OVER MORTAR OVER 5/8" GREEN BOARD				
	TILE OVER MORTAR OVER 5/8" GREEN BOARD				
	FRP OVER 5/8" GREEN BOARD				
	FRP OVER 5/8" GREEN BOARD				
	TILE OVER MORTAR OVER 5/8" GREEN BOARD				
	FRP OVER 5/8" GREEN BOARD				
	5/8" GYPSUM WALLBOARD				
	N/A				
	5/8" GYPSUM WALLBOARD				
	FRP OVER 5/8" GREEN BOARD				
	N/A				

	ТОР	воттом		
COMMENTS / NOTES	CONNECTION		HEIGHT	
	5/A7.01	2/A7.01	FULL HEIGHT	
ILE WAINSCOTT TO 54" A.F.F.	5/A7.01	2/A7.01	FULL HEIGHT	
ILE WAINSCOTT TO 54" A.F.F.	5/A7.01	2/A7.01	FULL HEIGHT	
	5/A7.01	2/A7.01	FULL HEIGHT	
	5/A7.01	2/A7.01	FULL HEIGHT	
ILE WAINSCOTT TO 54" A.F.F.	5/A7.01	2/A7.01	FULL HEIGHT	
	5/A7.01	2/A7.01	FULL HEIGHT	
	5/A7.01	2/A7.01	FULL HEIGHT	
	5/A7.01	2/A7.01	FULL HEIGHT	
	5/A7.01	2/A7.01	FULL HEIGHT	
ILE WAINSCOTT TO 54" A.F.F. PROVIDE BATTS INSULATION AT EXTERIOR WALL/FURRING LOCATIONS.	5/A7.01	2/A7.01	FULL HEIGHT	
ROVIDE BATTS INSULATION AT EXTERIOR WALL/FURRING LOCATIONS.	5/A7.01	2/A7.01	FULL HEIGHT	
ROVIDE BATTS INSULATION AT EXTERIOR WALL/FURRING LOCATIONS.	5/A7.01	2/A7.01	FULL HEIGHT	
ILE WAINSCOTT TO 54" A.F.F. PROVIDE BATTS INSULATION AT EXTERIOR WALL/FURRING LOCATIONS.	5/A7.01	2/A7.01	FULL HEIGHT	
	5/A7.01	2/A7.01	FULL HEIGHT	
	5/A7.01	2/A7.01	FULL HEIGHT	
VALL PANELING TO BE PAINTED	N/A	N/A	(E)	





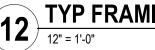


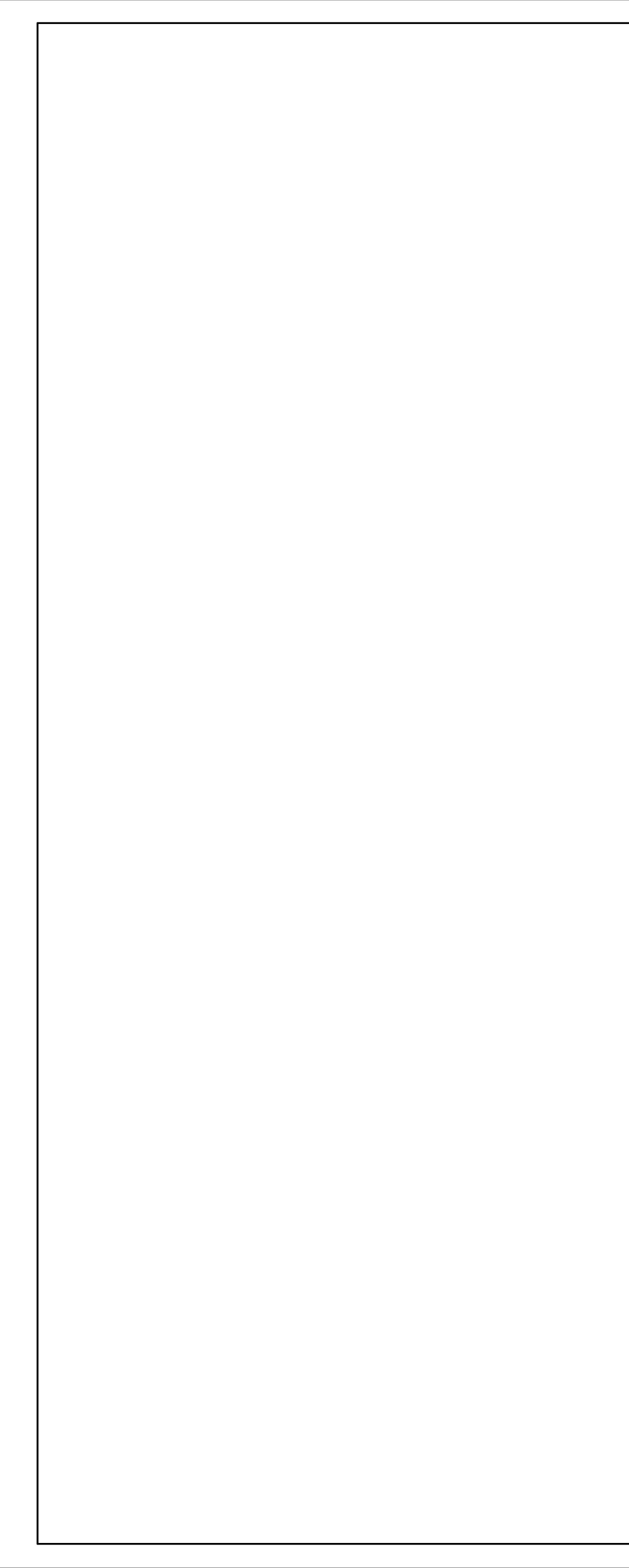
13 PARTIAL HEIGHT WALL SUPPORT

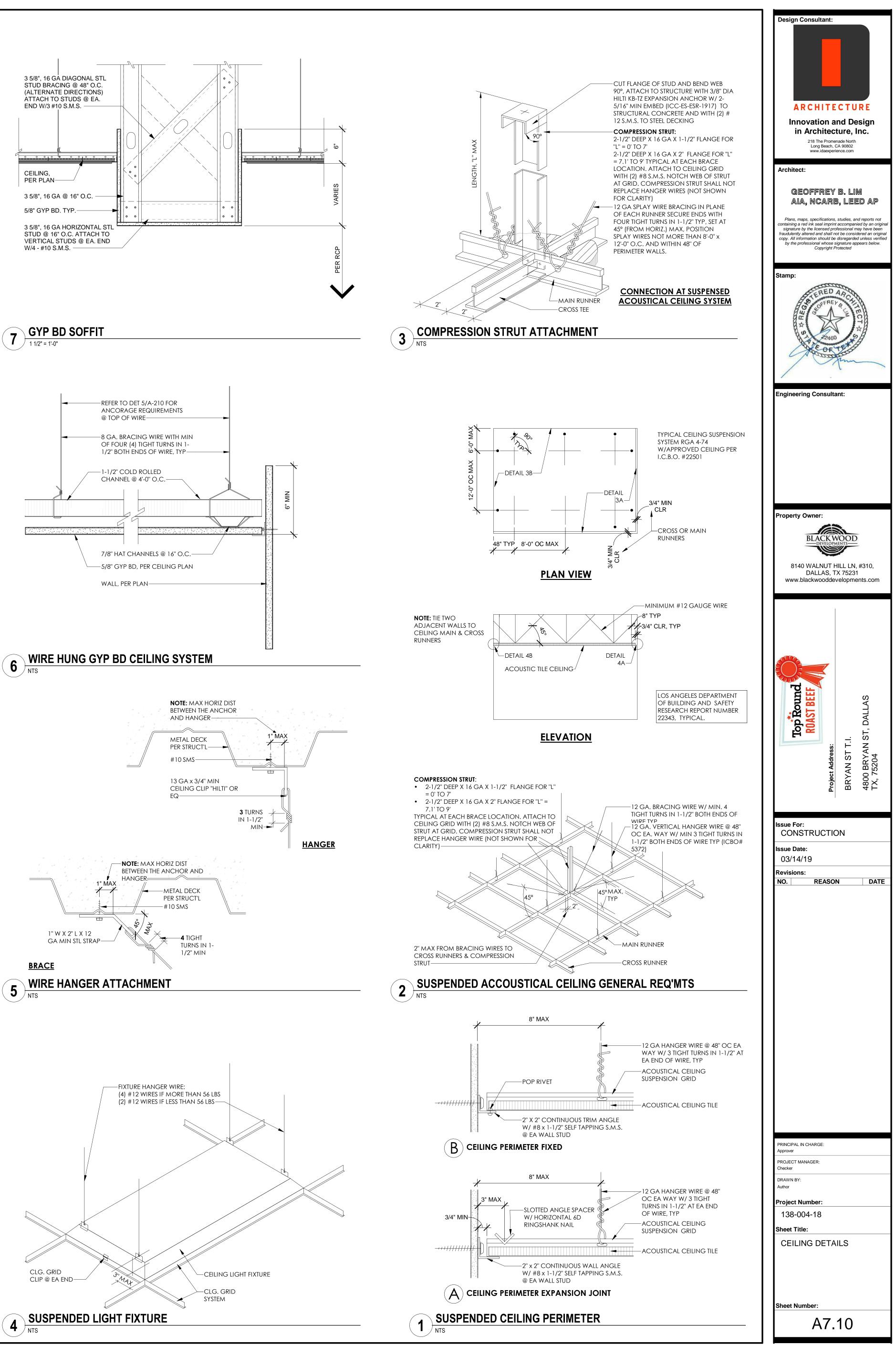
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	18 GA	4 4	13 MIL	12 (3A
				OSS REFERE	
3 5/8", STUD	18 GA. ST	RUCTURA	LMETAL	STUD = <u>362</u>	<u>S</u> <u>16</u>
5100			STUD	(S=STUD)	FLAN
			DEPTH	(T=TRACK	
			=3.625" = 3 5/8")	=1.62
	Т	YPICAL ST		AL STUDS A	
	FORMER	STANDAR			NE
	DESIG	NATION		(STEEL ST	
		ID W/ 1 5/8			25
		ID W/ 1 5/8 ID W/ 1 5/8			25
		ID W/ 1 5/8 ID W 1 5/8'			36 36
		V/ 1 5/8" FL			60
		V/ 1 5/8" FL			60
,		V/ 1 5/8" FL V/ 1 5/8" FL			80 80
		W/ 1 5/8" F			10
		W/ 1 5/8" F			10
		W/ 1 5/8" F W/ 1 5/8" F			12 12
1 5/8", 2	2 GA. TRA	CK W/ 1 1/	/4" LEG		16 16
		CK W/ 1 1			25
2 1/2", 2	0 GA. TRA	CK W/ 2" L	EG		25
		CK W/ 1 1/ CK W/ 2" L			25 25
		CK W/ 1 1			36
3 5/8", 1	8 GA. TRA	CK W/ 2" L CK W/ 1 1/	/4" LEG		36 36
3 5/8", 1	8 GA. TRA	CK W/ 2" L	EG		36
		W/ 1 1/4" L			60
		W/ 2" LEG W/ 1 1/4" L			60 60
		W/ 2" LEG			60
DF	RYWALL S	TUDS FOF	R SEISMIC	DESIGN CA	TEGC
		ID W/ 1 1/4			36
		CK W/ 1" F			36
		V/ 1 1/4" FL W/ 1" FLA			60 60
, 0				JRRING) CH	
7/8", 25	GA. FURR	ING CHAN	INEL		08
7/8", 22	GA. FURR	ING CHAN	INEL		08
				G SCREW	
MADE		SCREWS		AMING CONI AILS A102 F	
					וס די
				G MATERIAL 1ETAL FRAM	
PANC/	AKE HEAD		SHALL BI	E USED SO	
IVIA I EI					
~~					
SI					
					RIES
rud Nation	STUD DEPTH	FLANGE WIDTH	STUD GAUGE	STUD SPACING	SPA
162-33	3 5/8"	1 5/8"	20	16"	

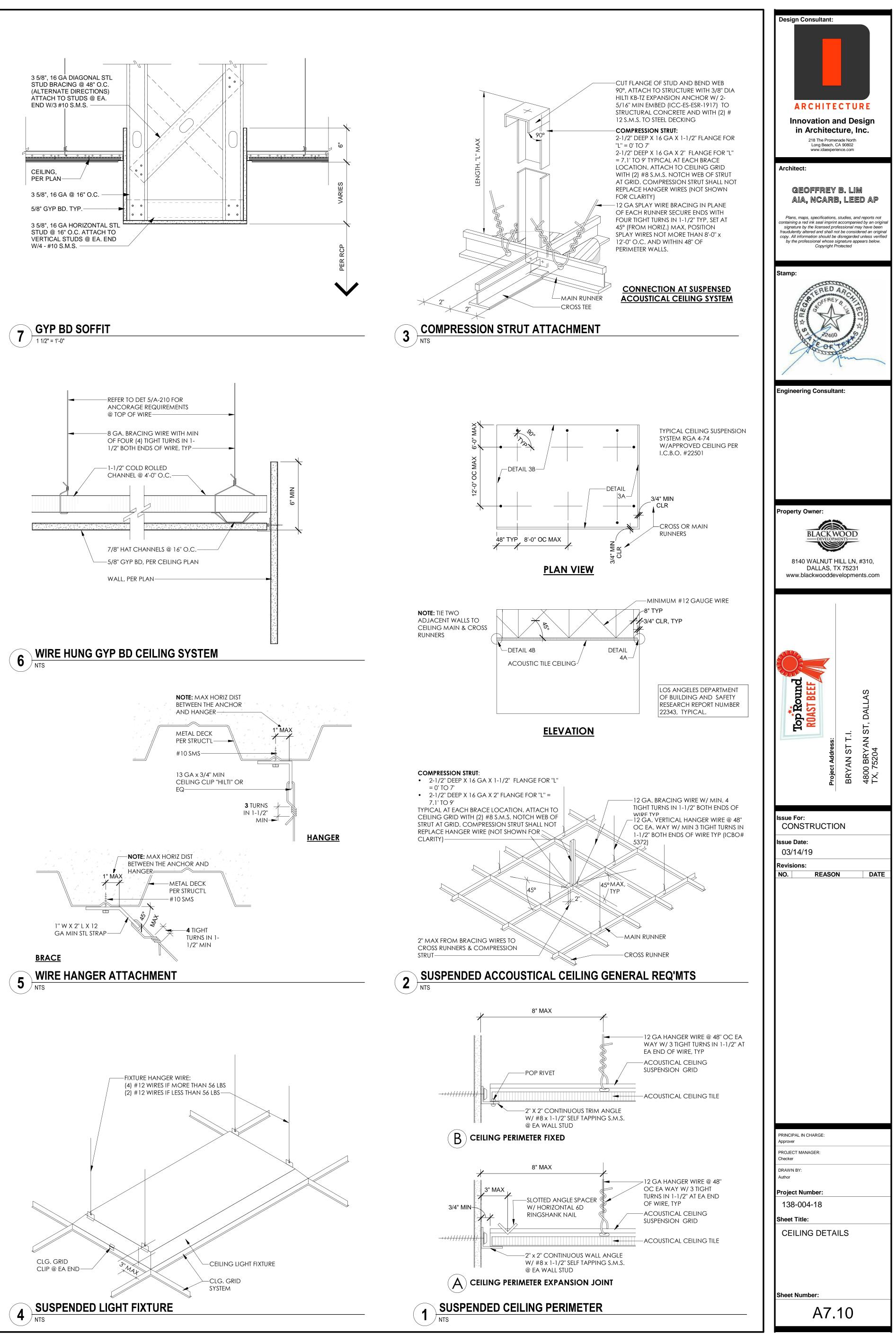
SEISMIC DESIGN CATEGORIES								
STUD DESIGNATION	STUD DEPTH	FLANGE WIDTH	STUD GAUGE	STUD SPACING	I SPAN			
362S162-33	3 5/8"	1 5/8"	20	16"				
362S162-43	3 5/8"	1 5/8"	18	16"				
362S162-54	3 5/8"	1 5/8"	16	16"				
600S162-33	6"	1 5/8"	20	16"				
600S162-43	6"	1 5/8"	18	16"				
600S162-54	6"	1 5/8"	16	16"				

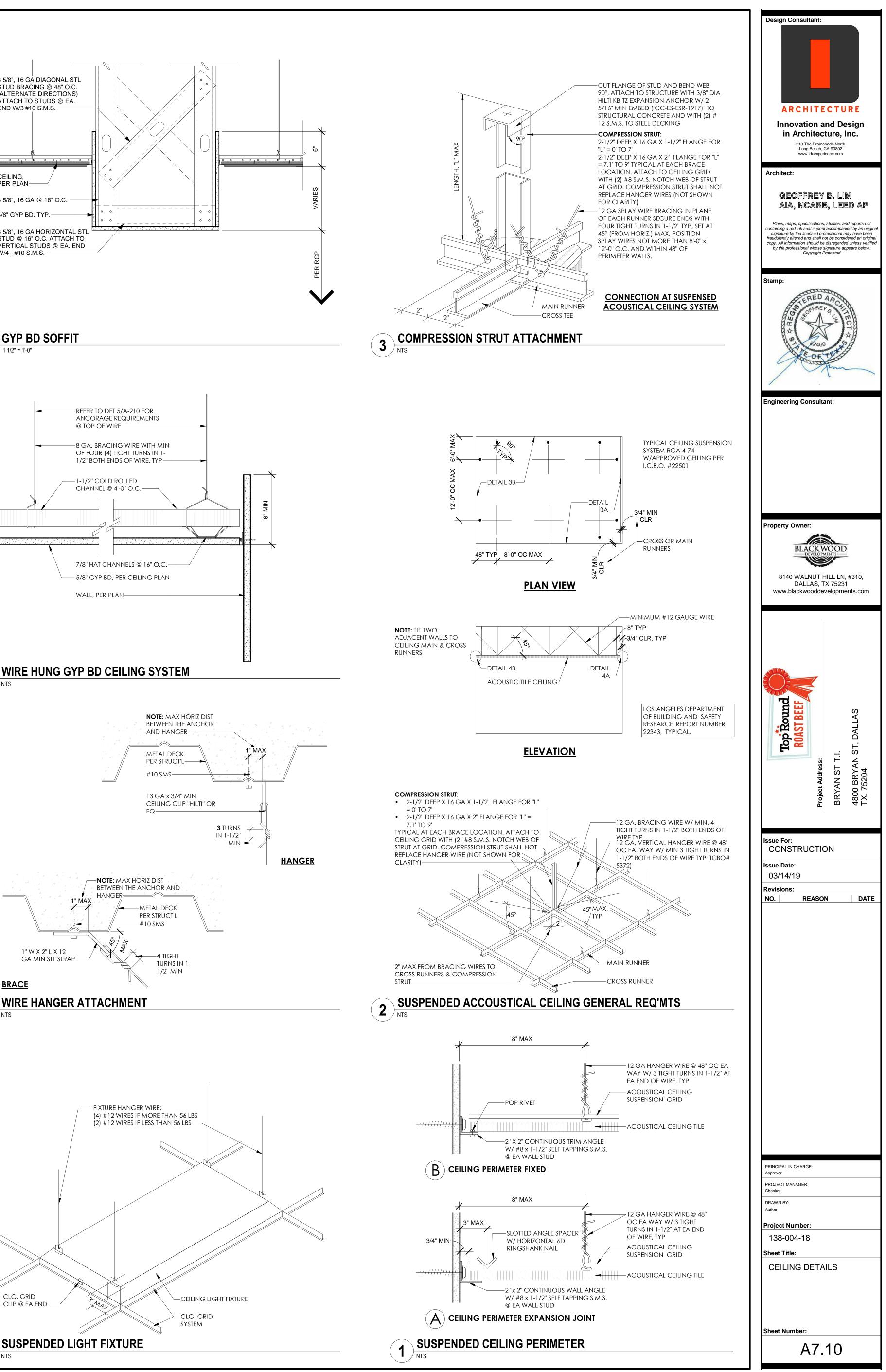
NOTES: 1. DESIGN BASED ON ALLOWABLE DEFLECTION OF L/240. 3. PROVIDE HORIZONTAL BRIDGING PER DETAIL 11-A1.1d/e WHICHEVER CONTROLS.

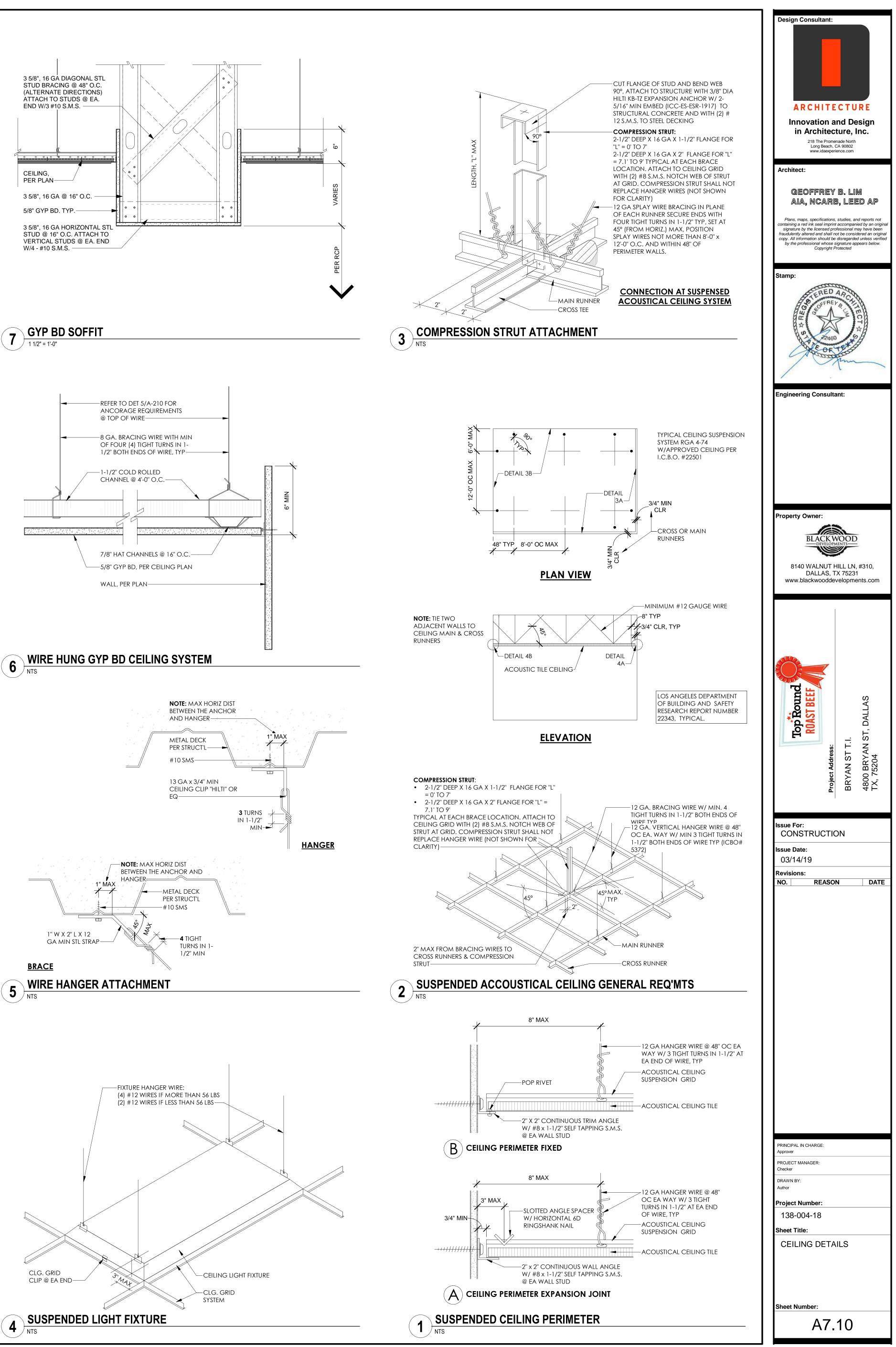


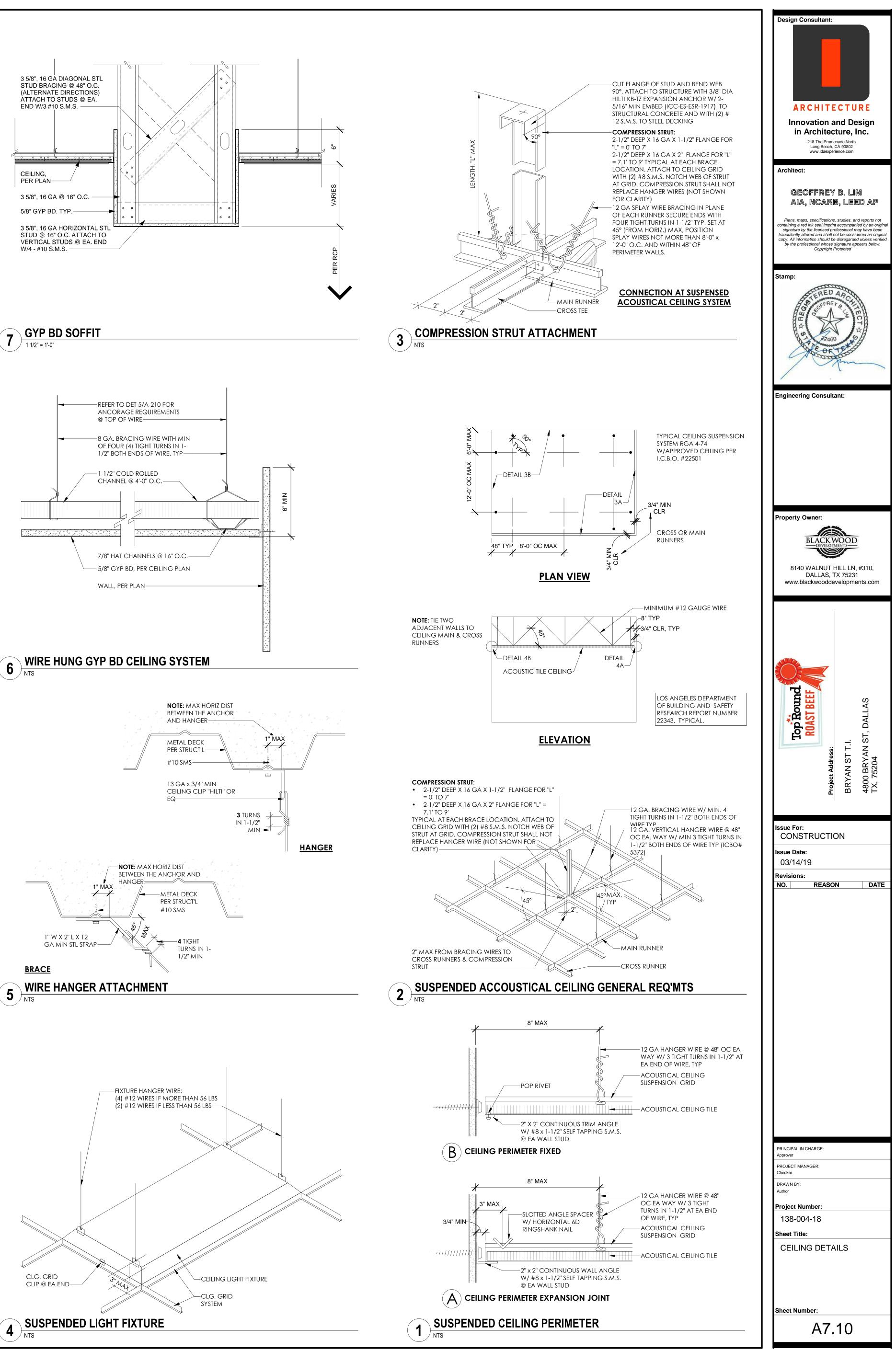


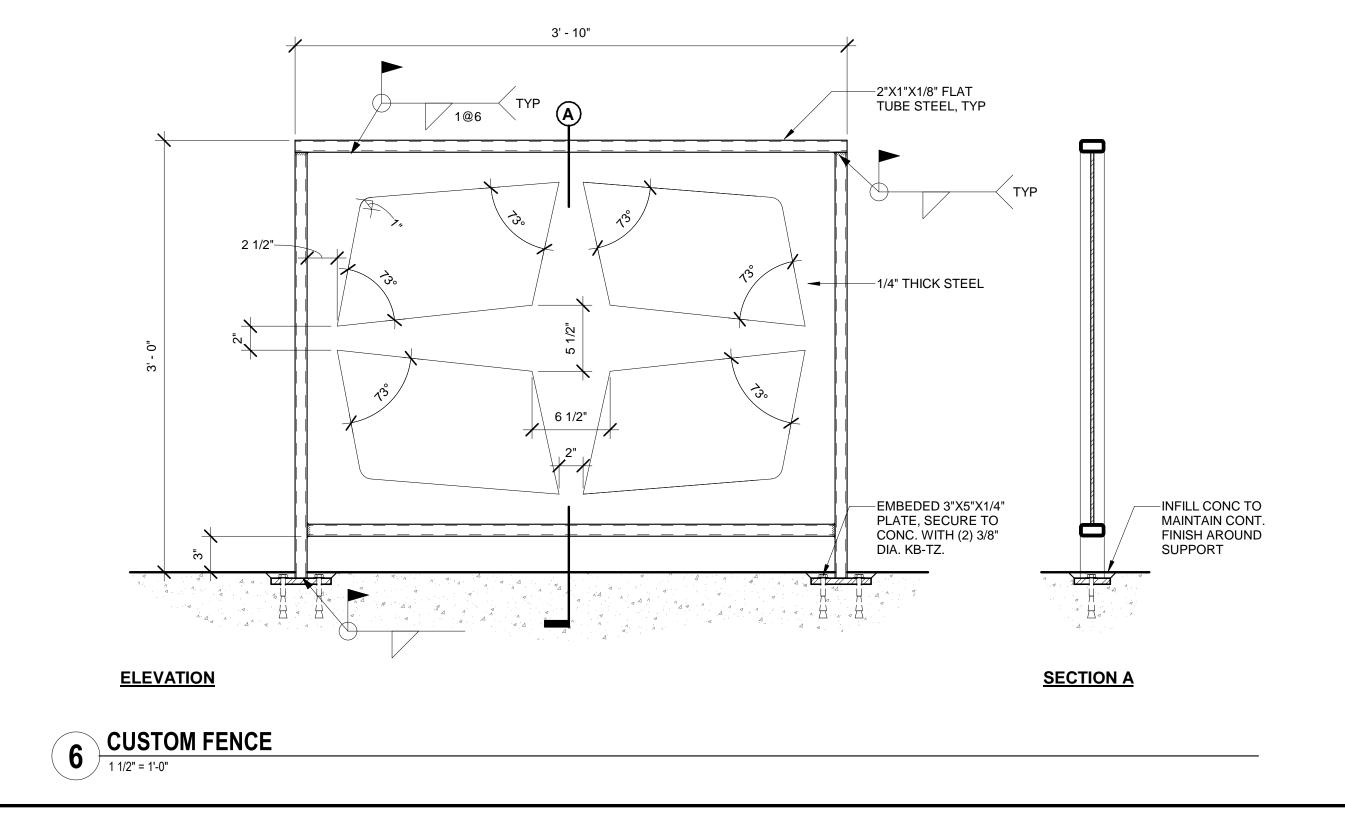


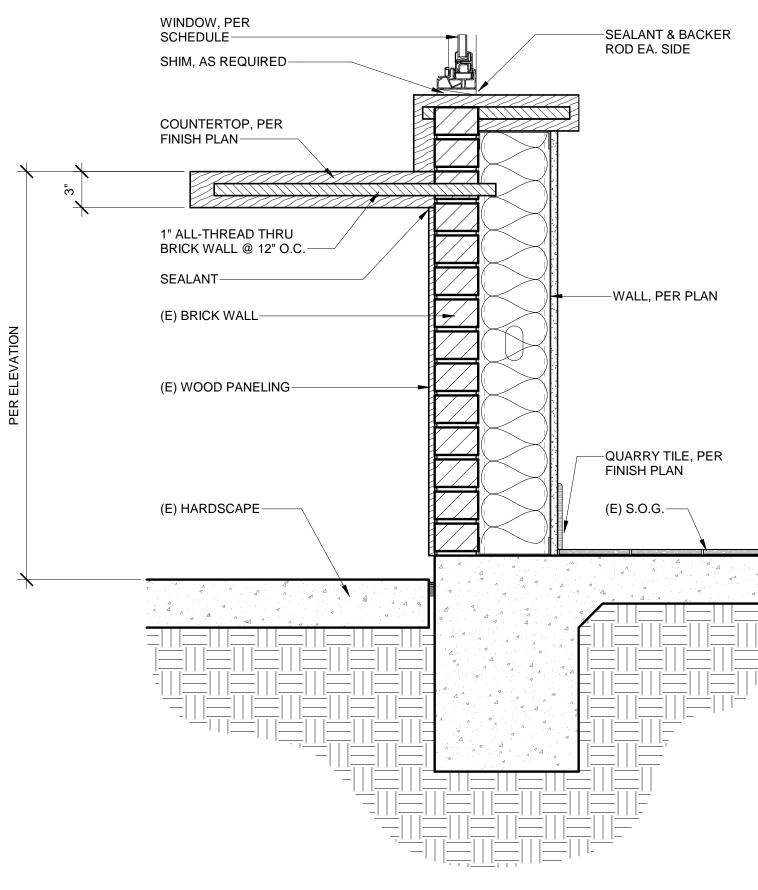




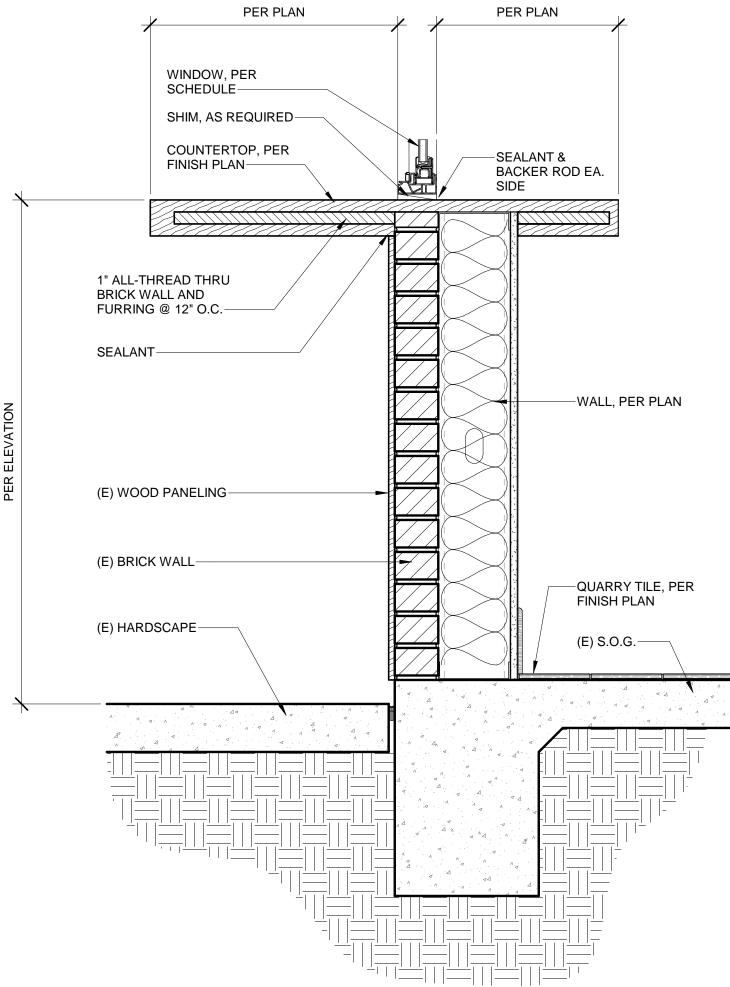






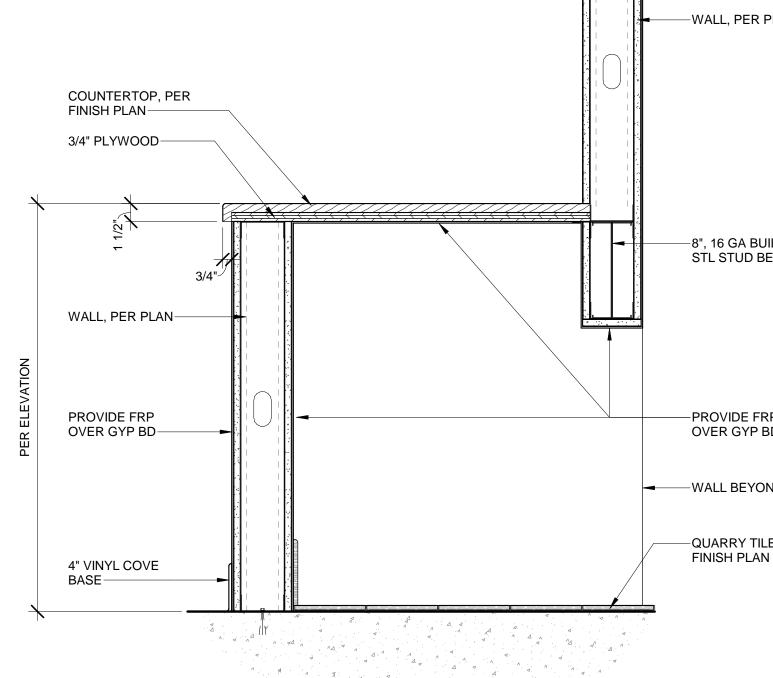


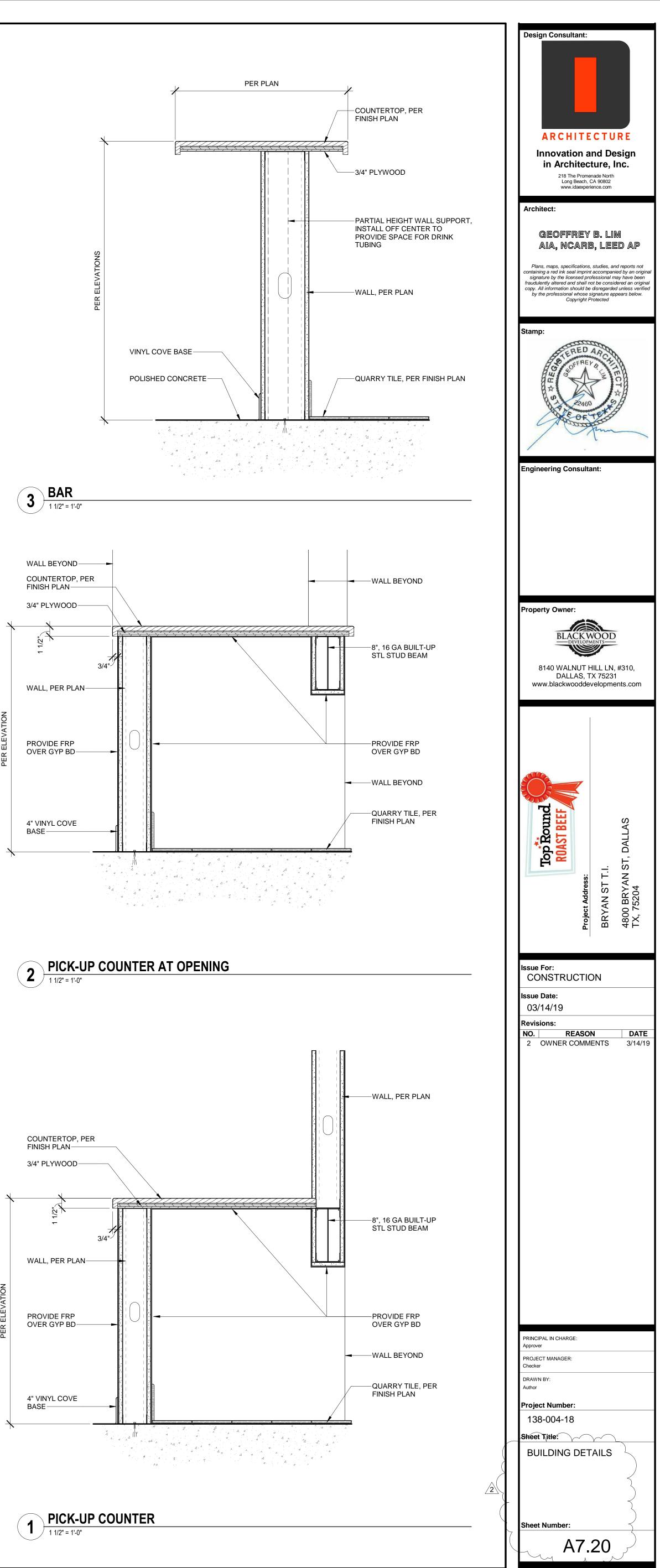


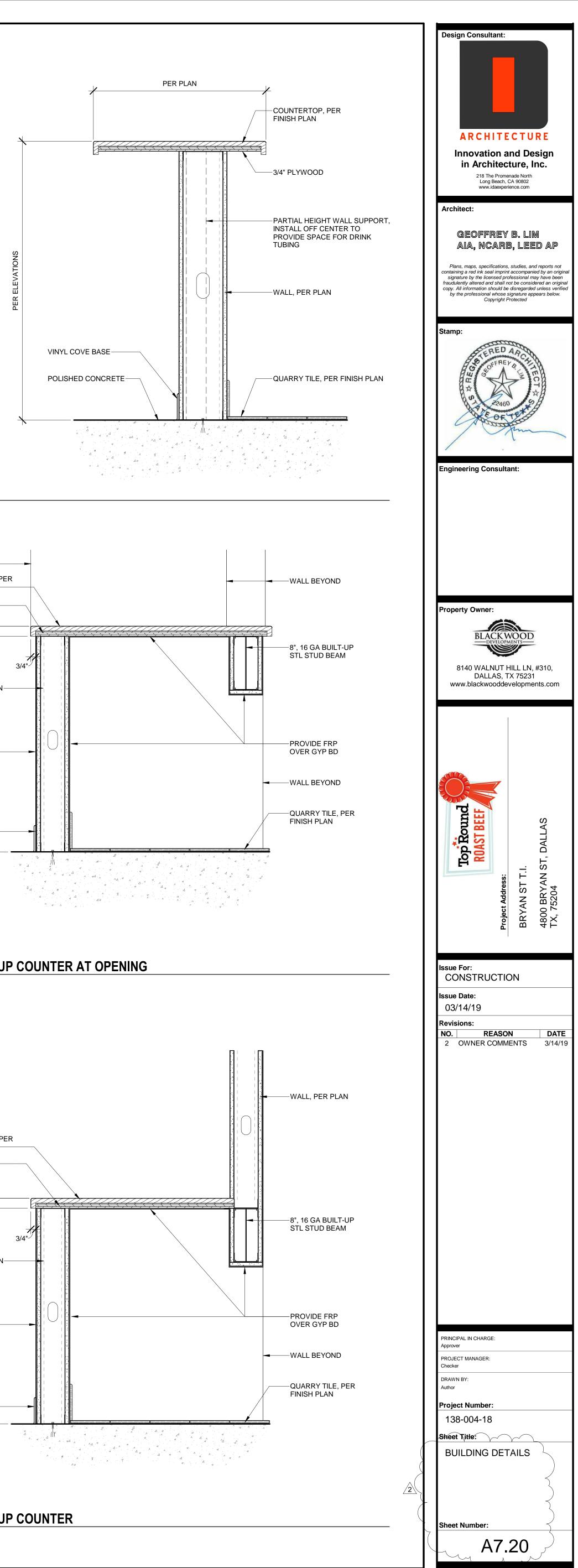


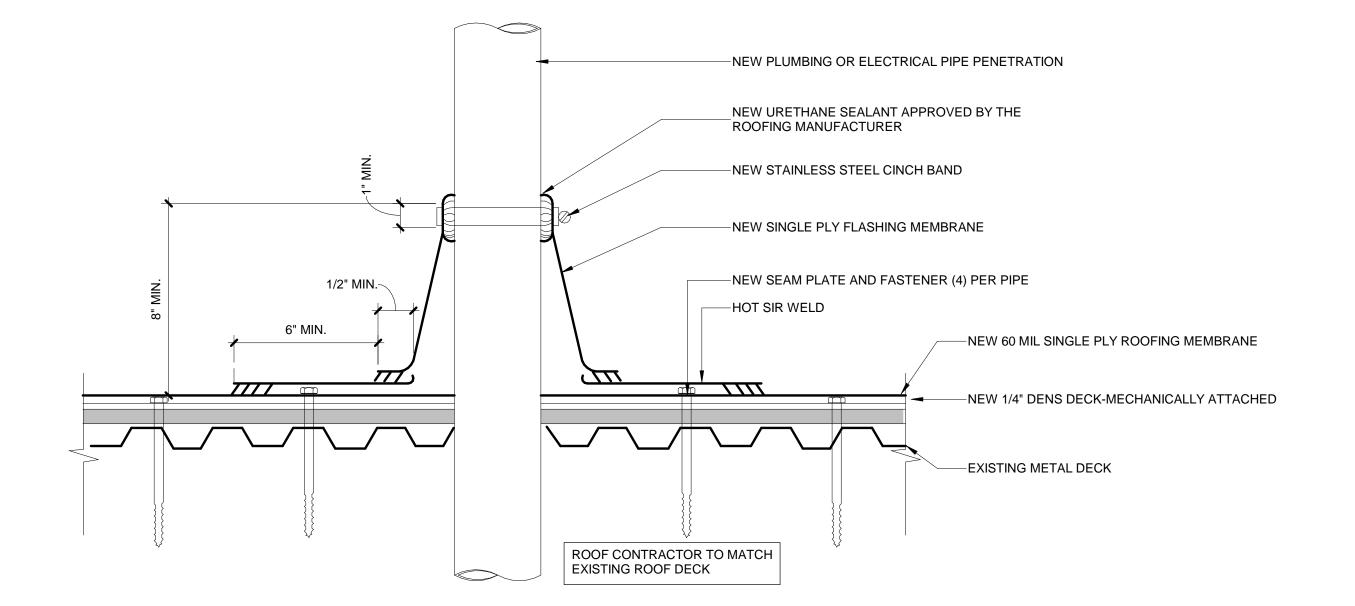






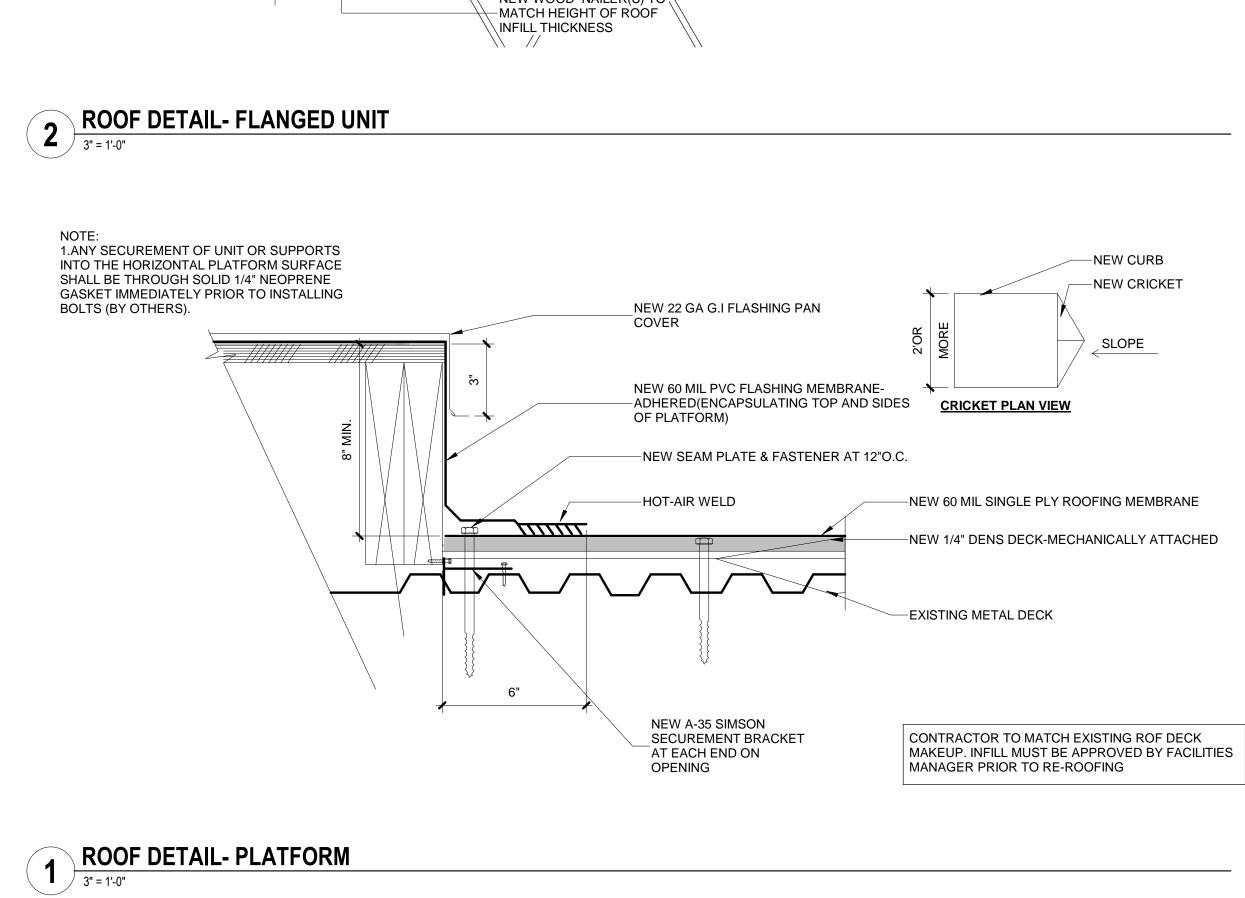


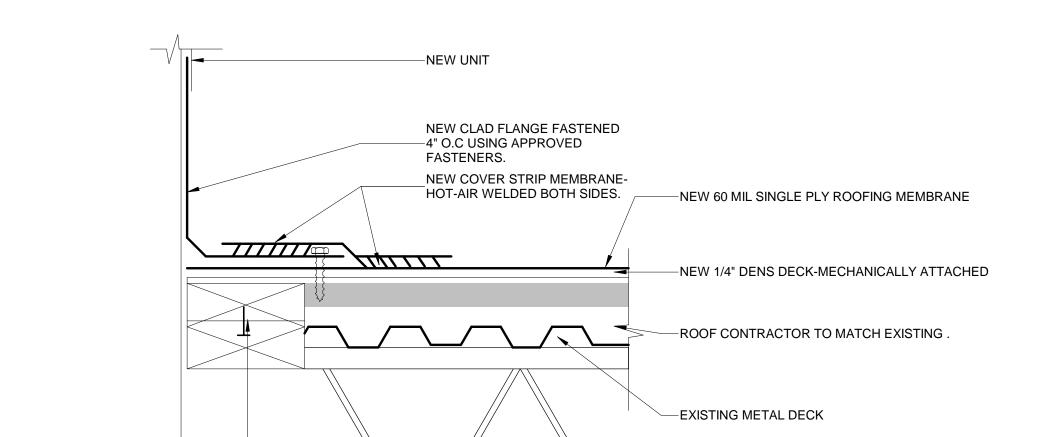




4 ROOF DETAIL- PIPE PENETRATION 3" = 1'-0"







NEW WOOD NAILER(S) TO

