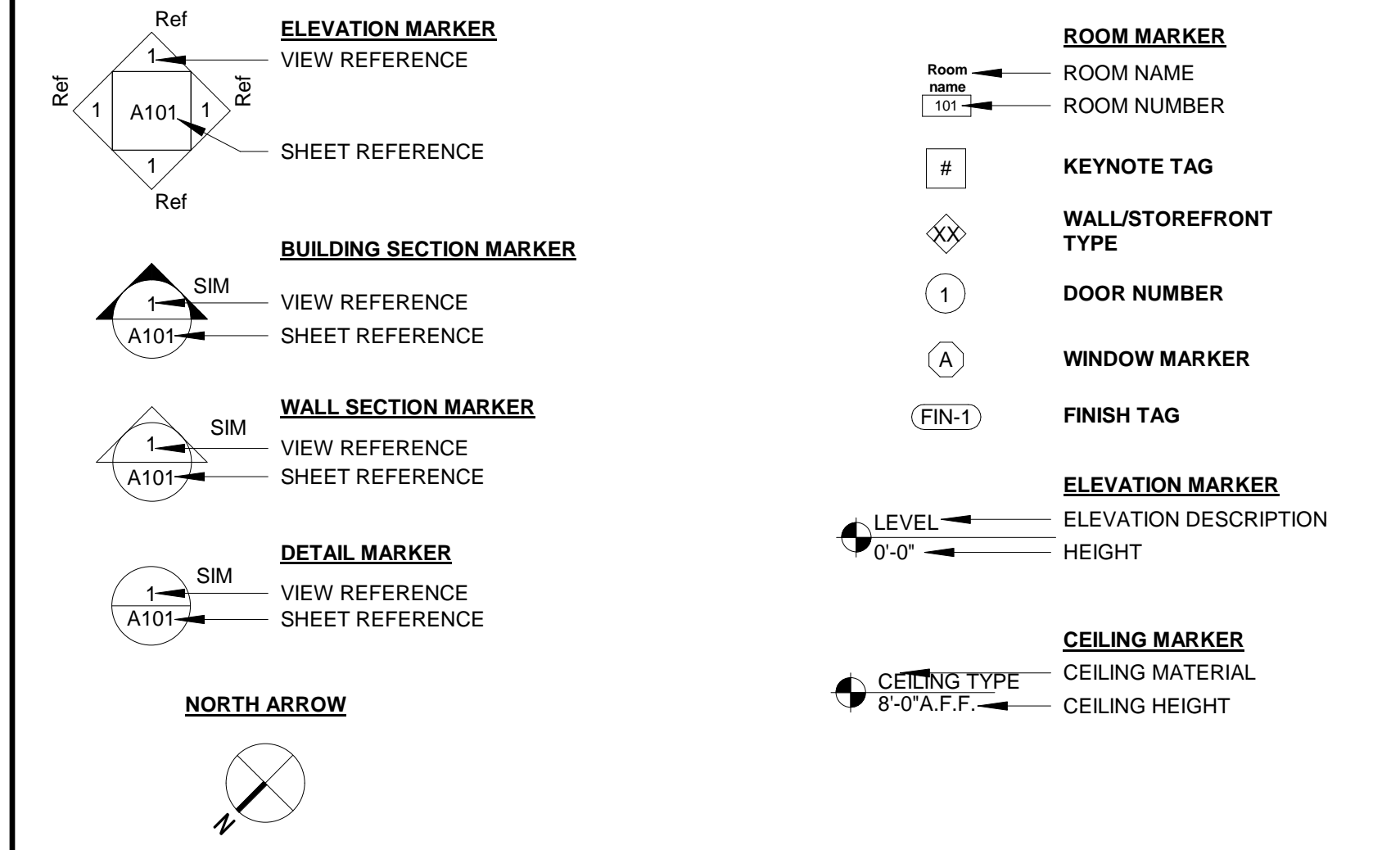


ABBREVIATIONS

Table with 3 columns: ABBV, DESCRIPTION, ABBV, DESCRIPTION, ABBV, DESCRIPTION. Lists various construction abbreviations such as ANGLE, CENTERLINE, DIAMETER, etc.

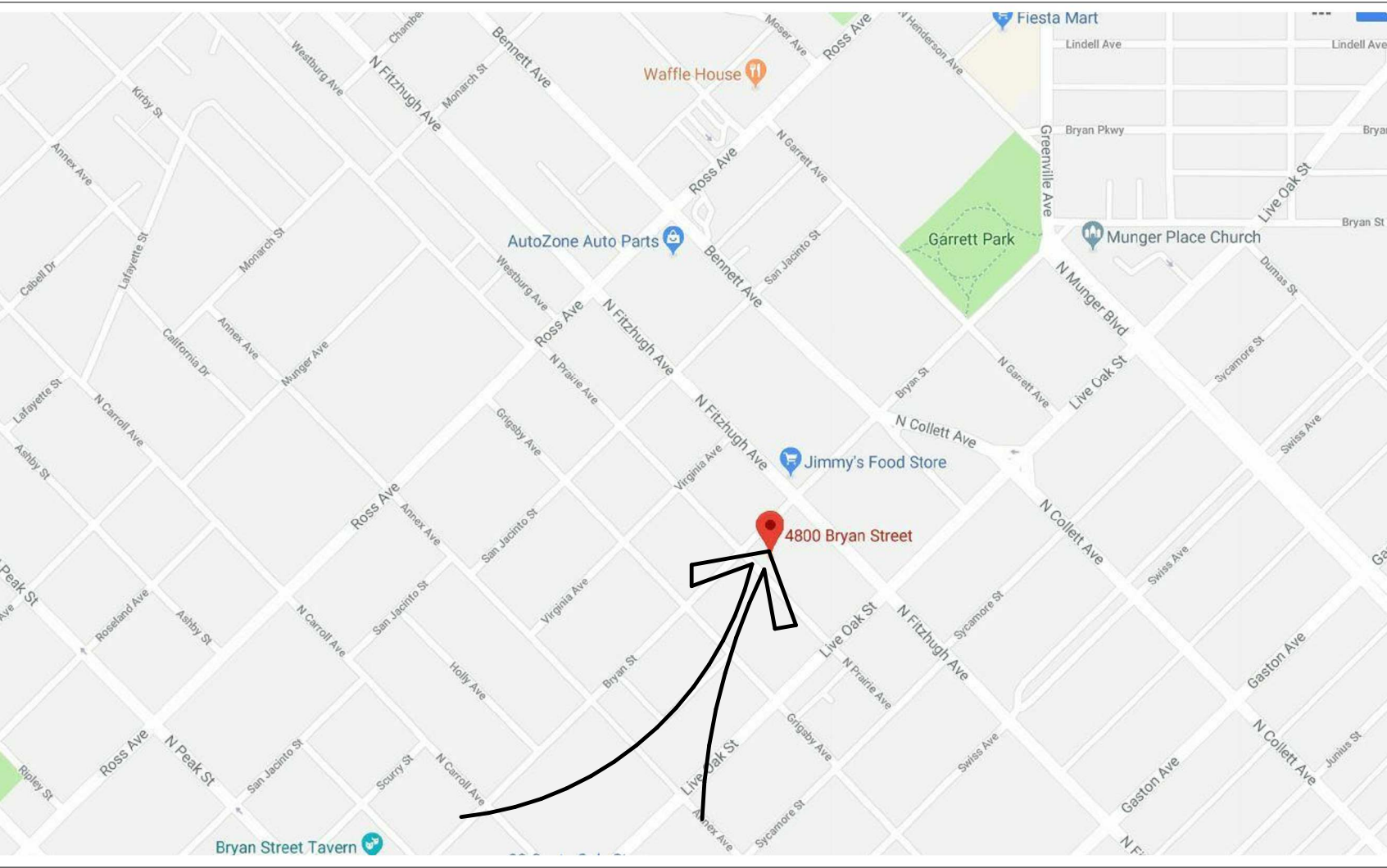
SYMBOL LEGEND



APPLICABLE CODES

CHAPTER 16: 2015 International Fire Code, including Appendix J, with Dallas Amendments (effective October 1, 2016). The Fire Code amendments include adoption of the 2015 Edition of the following Standards: Sprinklers, NFPA 13, 13R and Fire Alarm, NFPA 72.

VICINITY MAP



PROJECT INFORMATION

PROJECT ADDRESS: 4800 BRYAN ST, DALLAS TX, 75204
PROJECT DESCRIPTION: TENANT IMPROVEMENT OF APPROXIMATELY 2,900 SQ. FT. FOR NEW RESTAURANT OCCUPYING PREVIOUSLY UNOCCUPIED BUILDING SHELL.

PROJECT DIRECTORY

OWNER: TOP ROUND HOUSE OF NAPOLITAN, LLC
ARCHITECT: INNOVATION AND DESIGN IN ARCHITECTURE, INC
MEP ENGINEERING TEAM: BTM ASSOCIATES

CONTRACTOR: PARAGON CONSTRUCTION
STRUCTURAL ENGINEER: RONALD A. ROBERST & ASSOCIATES
KITCHEN DESIGNER: ACE MART

DEFERRED SUBMITTALS

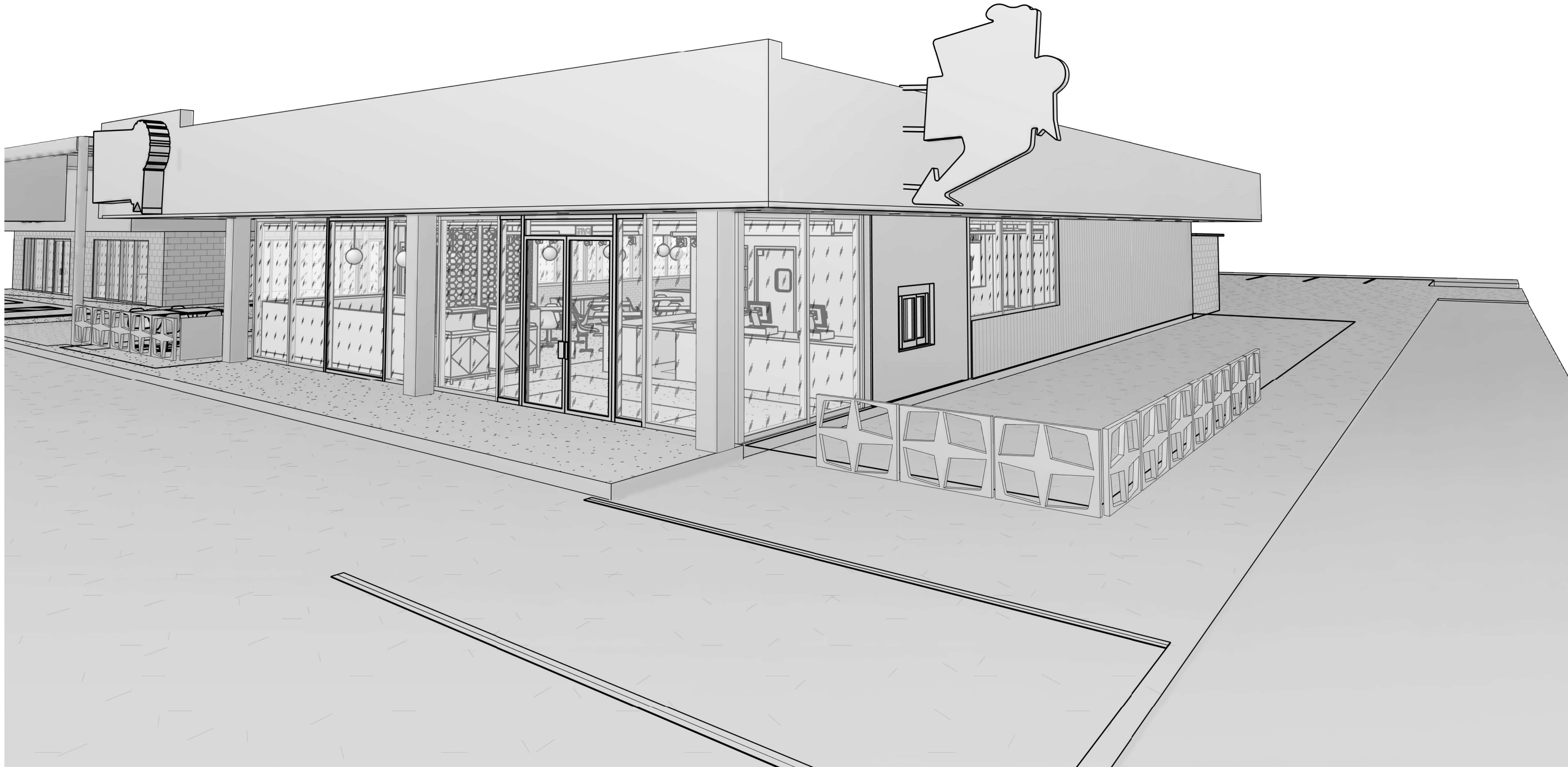
- 1. DOCUMENTS FOR DEFERRED SUBMITTALS ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.

TENANT IMPROVEMENT

BRYAN ST T.I.

4800 BRYAN ST, DALLAS TX, 75204

ISSUE FOR: CONSTRUCTION
ISSUE DATE: 03/14/19



SHEET INDEX

Table with columns: SHEET NUMBER, SHEET NAME, CURRENT REVISION DATE, CURRENT REVISION. Lists sheets from 0-GENERAL to 6-PLUMBING.

Design Consultant:



ARCHITECT: GEOFFREY B. LIM

AIA, NCARB, LEED AP
Plans, specs, specifications, studies and reports not containing a red ink seal imprint accompanied by an original signature of the licensed professional may have been fraudulently altered and shall not be considered an original copy.

Stamp: PROFESSIONAL ARCHITECT



Engineering Consultant:

Property Owner:



8140 WALNUT HILL LN, #310, DALLAS, TX 75231
www.blackwooddevelopments.com



Project Address: BRYAN ST T.I., 4800 BRYAN ST, DALLAS TX, 75204

Issue For: CONSTRUCTION

Issue Date: 03/14/19

Table with columns: NO., REASON, DATE. Shows revision 2: OWNER COMMENTS 3/14/19.

PRINCIPAL IN CHARGE: Approver
PROJECT MANAGER: Checker

Project Number: 138-004-18

Sheet Title: COVER SHEET

Sheet Number: G0.00

CODE SUMMARY

BUILDING CODE SUMMARY

FOR ALL COMMERCIAL PROJECTS
 Name of Project: **TOP ROUND - DALLAS, TX**
 Address: **4800 BRYAN ST., DALLAS, TX 75204**
 Proposed Use: **RESTAURANT**
 Owner or Authorized Agent: **JASON NAPOLITAN** Phone #: 214.680.8138
 Owned By: City/County Private State County
 Code Enforcement Jurisdiction: City **DALLAS, TX** County

YEAR EDITION OF CODE:
BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE
MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE
PLUMBING: 2015 INTERNATIONAL PLUMBING CODE
ELECTRICAL: 2014 NATIONAL ELECTRICAL CODE
ENERGY: 2015 INTERNATIONAL ENERGY CONSERVATION CODE
ACCESSIBILITY: 2015 INTERNATIONAL BUILDING CODE
FUEL & GAS: 2015 INTERNATIONAL FUEL GAS CODE

New Construction Renovation (Existing Bldg.) Upfit Alteration Reconstruction

BUILDING DATA
 Construction Type: I-A I-B II-A II-B III-A
 III-B IV-A IV-B V-N
 Mixed Construction: No Yes Types:
 Sprinklers: No Yes
 Building Height: **15'-0"**
 Mezzanine: No Yes
 High Rise: No Yes

Gross BUILDING Area (sq. ft.):

ALLOWABLE AREA

Primary Occupancy: Assembly A-1 A-2 A-3 A-4 A-5
 Business Education Factory F-1 F-2
 High-Hazard H-1 H-2 H-3 H-4 H-5
 Institutional I-1 I-2 I-3 I-4
 I-3 Use Condition 1 2 3 4 5
 Mercantile Residential R-1 R-2 R-3 R-4
 Storage S-1 S-2 High-piled Utility and Miscellaneous
 Parking Garage Open Enclosed Repair
Secondary Occupancy: **N/A**
 Special Occupancy: 508.2 508.3 508.4 508.5 508.6 508.7 508.8
 Mixed Occupancy: No Yes Separation: Hr. Exception: 508.8

LIFE SAFETY SYSTEM REQUIREMENTS
 Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes
 Smoke Detection Systems: No Yes
 Panic Hardware: No Yes

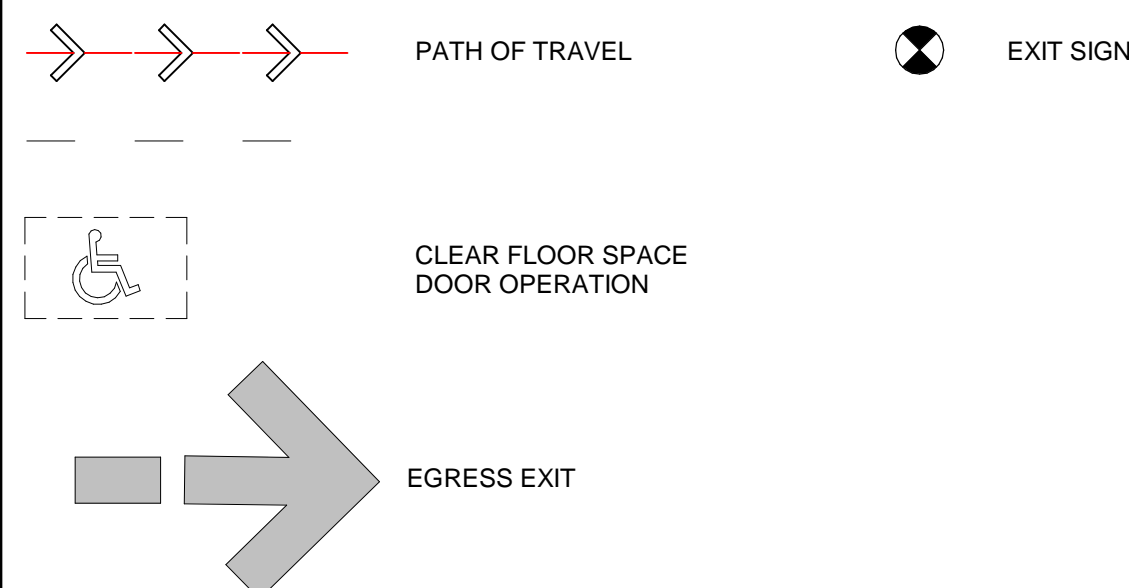
STRUCTURAL DESIGN
 METHOD OF COMPLIANCE:
 REFER TO STRUCTURAL DRAWINGS

ELECTRICAL SYSTEM AND EQUIPMENT
 METHOD OF COMPLIANCE:
 REFER TO ELECTRICAL DRAWINGS

MECHANICAL SYSTEMS, SERVICE SYSTEMS, AND EQUIPMENT
 METHOD OF COMPLIANCE:
 REFER TO MECHANICAL DRAWINGS

ACCESSIBLE PARKING
 METHOD OF COMPLIANCE:
 REFER TO CIVIL DRAWINGS

ACCESS/EGRESS LEGEND



NOTE:
 DIMENSIONS SHOWN ARE FROM FACE OF FINISH OR EDGES OF OBSTRUCTIONS U.N.O.

OCCUPANCY LOAD CALCULATIONS

OCCUPANCY LOADS			
NAME	AREA	LOAD FACTOR	OCCUPANT LOAD
BAR	152 SF	200 SF	1
DINING CIRCULATION	788 SF	100 SF	8
KITCHEN, COMMERCIAL	670 SF	200 SF	3
LOOSE SEATING	754 SF	15 SF	50
OFFICE	50 SF	100 SF	1
RESTROOMS	187 SF	100 SF	2
STORAGE	170 SF	300 SF	1
Grand total	2772 SF		65

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS (TABLE 1021.1)		TRAVEL DISTANCE	
	REQUIRED 1-500 OCCUPANT	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE	DEAD END LIMIT
OCCUPIED SPACE	2	3	250'	20'
ARRANGEMENT MEANS OF EGRESS PER 1015.2.1.2	MAX OVERALL DIAGONAL DIMENSION OF AREA		ACTUAL DISTANCE BETWEEN EXITS	
	80' - 2' / 3 = (26' - 8" MIN. REQ'D.)		62' - 10"	
COMMON PATH OF TRAVEL DISTANCE	REQUIRED		ACTUAL DISTANCE	
	75'-0" MAX.		< 75'-0"	
INTERIOR REQUIRED EGRESS WIDTH (SECTION 1005): 65 Occupants x 0.2' = 13' - MIN. 34.0" required (total) EGRESS WIDTH PROVIDED: TOTAL = 138 INCHES EXIT 1: 70" CLEAR EXIT 2: 34" CLEAR EXIT 3: 34" CLEAR				

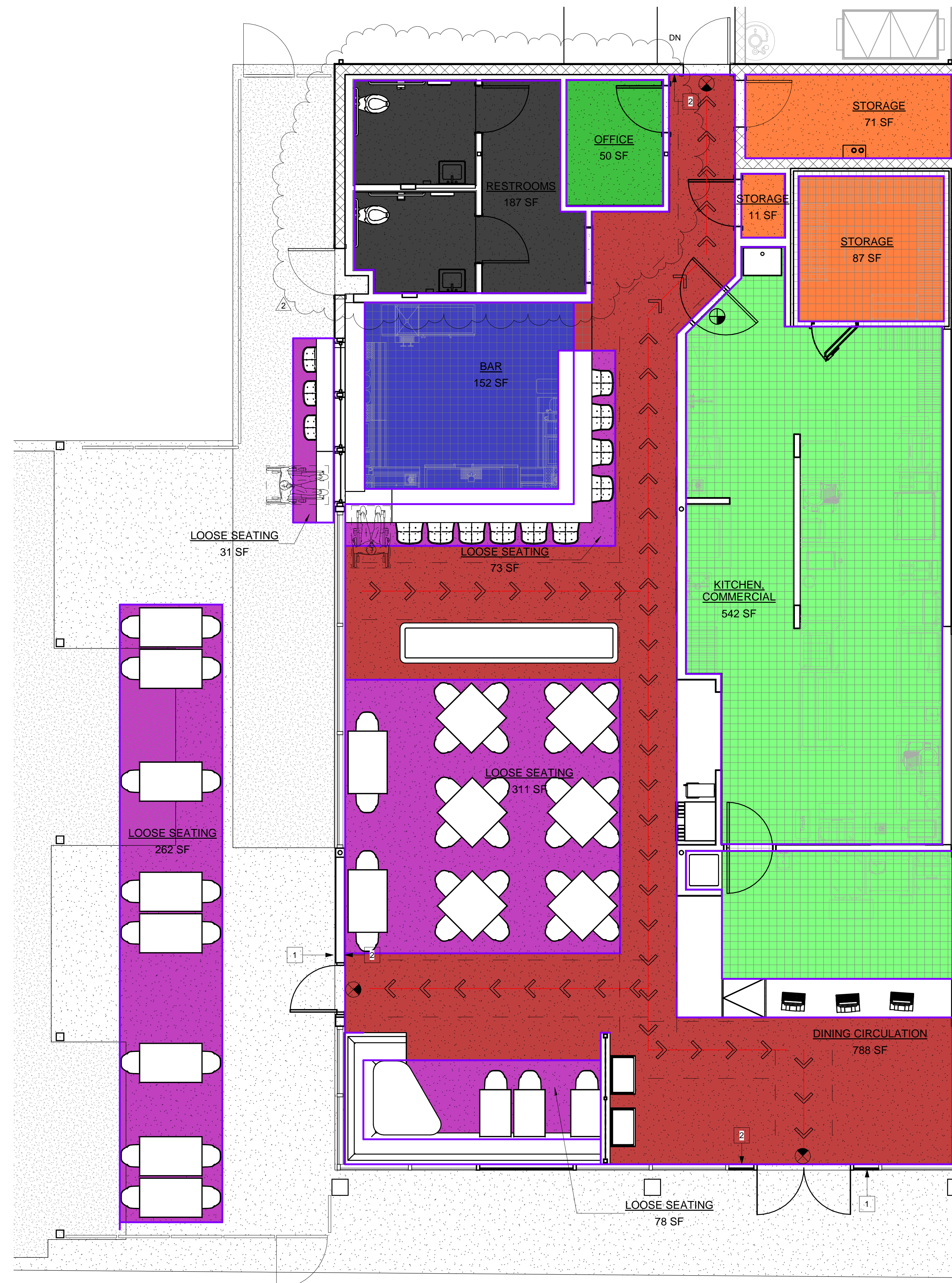
PLUMBING FIXTURE REQUIREMENTS

OCCUPANCY	WATER CLOSETS		LAVATORIES	
	MALE	FEMALE	MALE	FEMALE
65 OCCUPANTS 50% MALE / 50% FEMALE 33 MALE / 33 FEMALE	1: 1-75	1: 1-75	1: 200	1: 200
FIXTURES REQUIRED	1	1	1	1
FIXTURES PROVIDED	1	1	1	1

OCCUPANCY SIGNATURE

G.C. TO PROVIDE VISIBLE SIGN STATING THE FOLLOWING:
 SIGN TO BE A MINIMUM SIZE OF 8 1/2" x 11"
MAXIMUM SEATING CAPACITY
65
4800 BRYAN ST. DALLAS, TX 75204

KEYNOTES - ACCESS/EGRESS PLAN	
NUMBER	NOTE
1	WHEELCHAIR ACCESSIBLE SIGN.
2	TACTILE 'EXIT' SIGN.



LEGEND

- BAR
- DINING CIRCULATION
- KITCHEN, COMMERCIAL
- LOOSE SEATING
- OFFICE
- RESTROOMS
- STORAGE

1 ACCESS/EGRESS PLAN
 1/4" = 1'-0"

Design Consultant:



Architect:

GEOFFREY B. LIM
 AIA, NCARB, LEED AP

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Stamp:

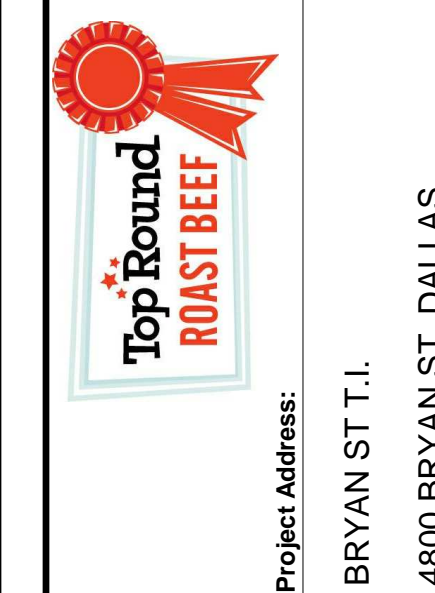


Engineering Consultant:

Property Owner:



8140 WALNUT HILL LN., #310,
 DALLAS, TX 75231
 www.blackwooddevelopments.com



Project Address:
 BRYAN ST. T.I.
 4800 BRYAN ST., DALLAS
 TX, 75204

Issue For:
 CONSTRUCTION

Issue Date:
 03/14/19

NO.	REASON	DATE
2	OWNER COMMENTS	3/14/19

PRINCIPAL IN CHARGE:
 Approver

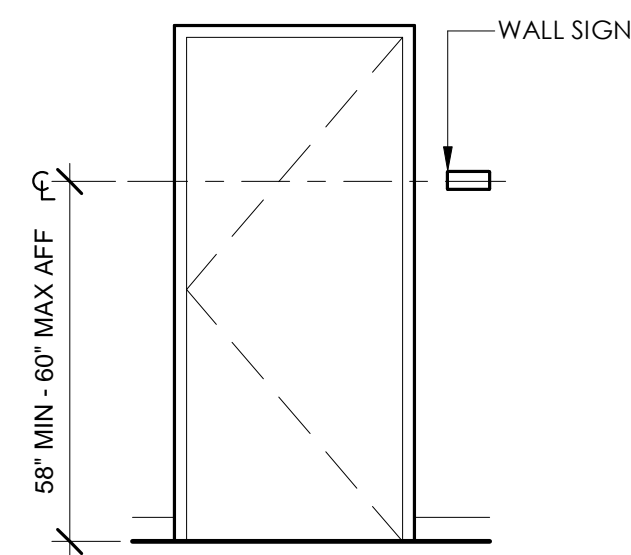
PROJECT MANAGER:
 Checker

DRAWN BY:
 Author

Project Number:
 138-004-18

Sheet Title:
 ACCESS/EGRESS PLAN &
 CODE COMPLIANCE

Sheet Number:
G2.00



RESTROOM

16 RESTROOM SIGN PLACEMENT

3/8" = 1'-0"

ACCESSIBLE SWINGING DOOR REQUIREMENTS:

CLEAR WIDTH: DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM AS MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES.
MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCES ILLUSTRATED BELOW.

RECESSED DOORS: MANEUVERING CLEARANCES FOR FORWARD APPROACH SHALL BE PROVIDED WHEN ANY OBSTRUCTION WITHIN 18 INCHES @ INTERIOR DOORS, OR 24 INCHES @ EXTERIOR DOORS, OF THE LATCH SIDE OF THE DOOR PROJECTS MORE THAN 8 INCHES BEYOND THE FACE OF THE DOOR, AS MEASURED PERPENDICULAR TO THE FACE OF NEW DOOR.

FLOOR OR GROUND SURFACES: WITHIN THE REQUIRED MANEUVERING CLEARANCES THE FLOOR OR GROUND SURFACES SHALL BE LEVEL, WHERE LEVEL IS DEFINED AS SLOPING NO MORE THAN 1:48 IN ANY DIRECTION.

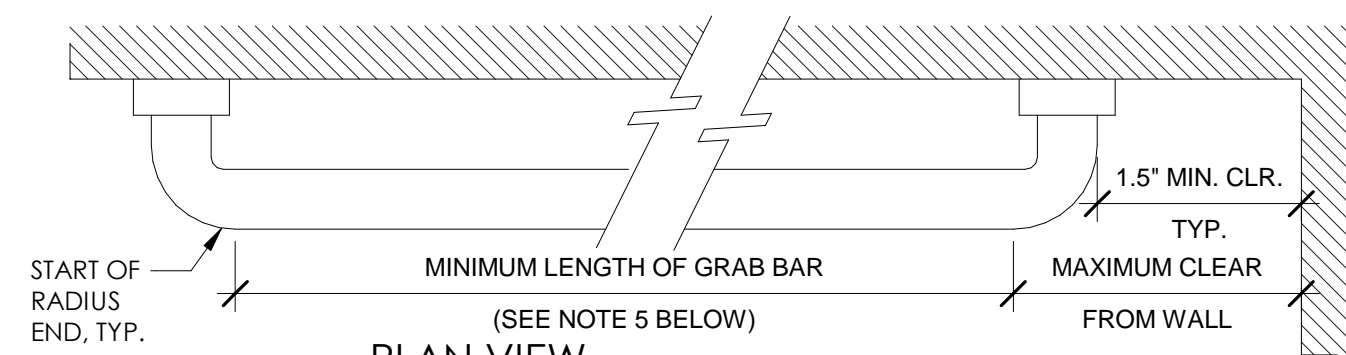
THRESHOLDS: WHERE PROVIDED, THRESHOLDS SHALL NOT EXCEED 1/2 INCH IN HEIGHT, AND SHALL CONFORM TO THE REQUIREMENTS FOR CHANGES IN LEVEL AS NOTED IN 9/A-0.2.

DOOR HARDWARE: HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON DOORS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVELY OPERABLE PARTS SHALL NOT EXCEED 5 POUNDS. OPERABLE PARTS OF DOOR HARDWARE SHALL BE MOUNTED ON THE DOOR BETWEEN 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISHED FLOOR OR GROUND.

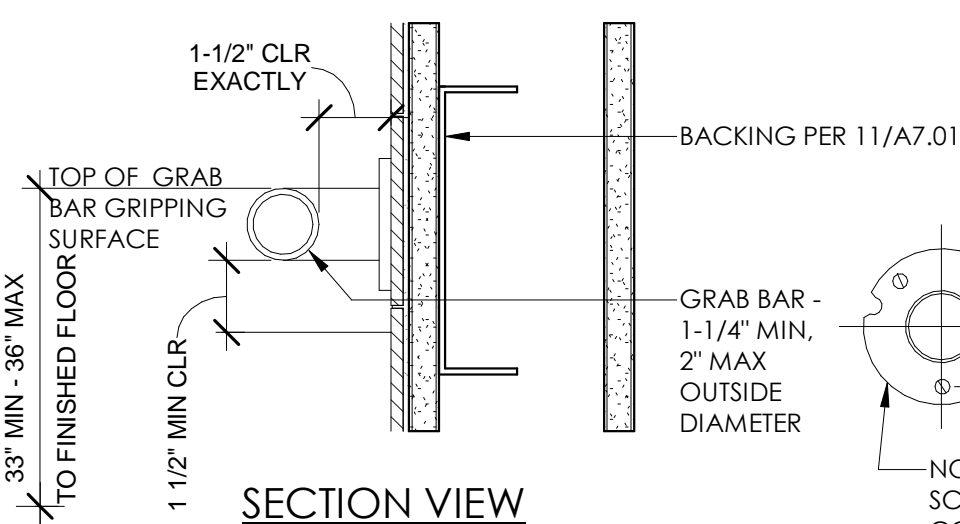
DOOR CLOSERS: DOOR CLOSERS SHALL BE ADJUSTED SUCH THAT THE CLOSING SPEED FROM 90 DEGREES OPEN TO A POSITION 12 DEGREES FROM THE LATCH SHALL BE NO LESS THAN 5 SECONDS.

OPENING FORCE: THE FORCE REQUIRED FOR PUSHING OR PULLING A DOOR OPEN SHALL BE - 1) 5 POUNDS MAXIMUM FOR INTERIOR OR EXTERIOR HINGED DOORS; 2) THE MINIMUM PERMITTED BY THE LOCAL JURISDICTION, BUT NOT MORE THAN 15 POUNDS, FOR REQUIRED FIRE DOORS.

DOOR SURFACES: DOOR SURFACES WITHIN 10 INCHES VERTICALLY OF THE FINISHED FLOOR OR GROUND SHALL HAVE A SMOOTH SURFACE. EXTENDING THE FULL WIDTH OF THE PUSH SIDE OF THE DOOR.



PLAN VIEW



SECTION VIEW

GRAB BAR NOTES:
 1. GRAB BARS SHALL BE INSTALLED HORIZONTAL.
 2. GRAB BARS AND ANY ADJACENT WALL OR OTHER SURFACES SHALL BE FREE OF SHARP OR ABRASIVE SURFACES AND SHALL HAVE ROUNDED EDGES.
 3. GRAB BARS SHALL NOT ROTATE IN THEIR FITTINGS.
 4. GRAB BARS AND ALL ASSOCIATED FASTENERS, MOUNTING DEVICES, OR SUPPORTING STRUCTURE SHALL BE ABLE TO WITHSTAND A FORCE OR 250 POUNDS APPLIED AT ANY POINT ON THE GRAB BAR, ABLE TO WITHSTAND A FORCE OR 250 POUNDS APPLIED AT ANY POINT ON THE GRAB BAR.
 5. IF MANUFACTURER DOES NOT FABRICATE GRAB BAR(S) IN THE MINIMUM LENGTH(S) NECESSARY TO COMPLY WITH THE MINIMUM LENGTH REQUIREMENTS NOTED IN THE PLAN VIEW, THEN THE NEXT LONGER GRAB BAR(S) SHALL BE INSTALLED.
 6. MAINTAIN 1/2" MIN CLR BETWEEN TOP OF GRAB BAR AND ANY OBSTRUCTION

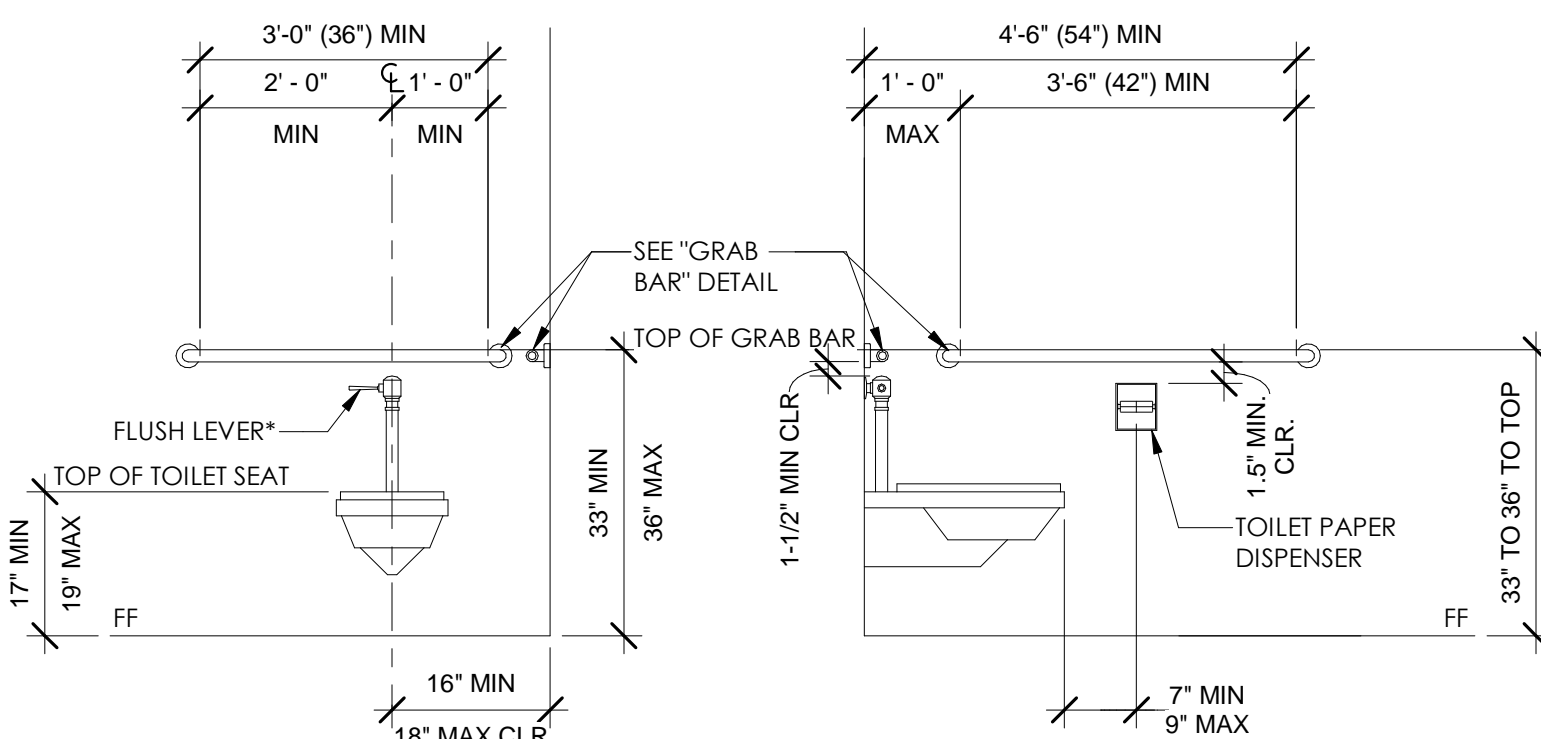
14 GRAB BAR

3" = 1'-0"

11 ACCESSIBLE MOUNTING HEIGHTS

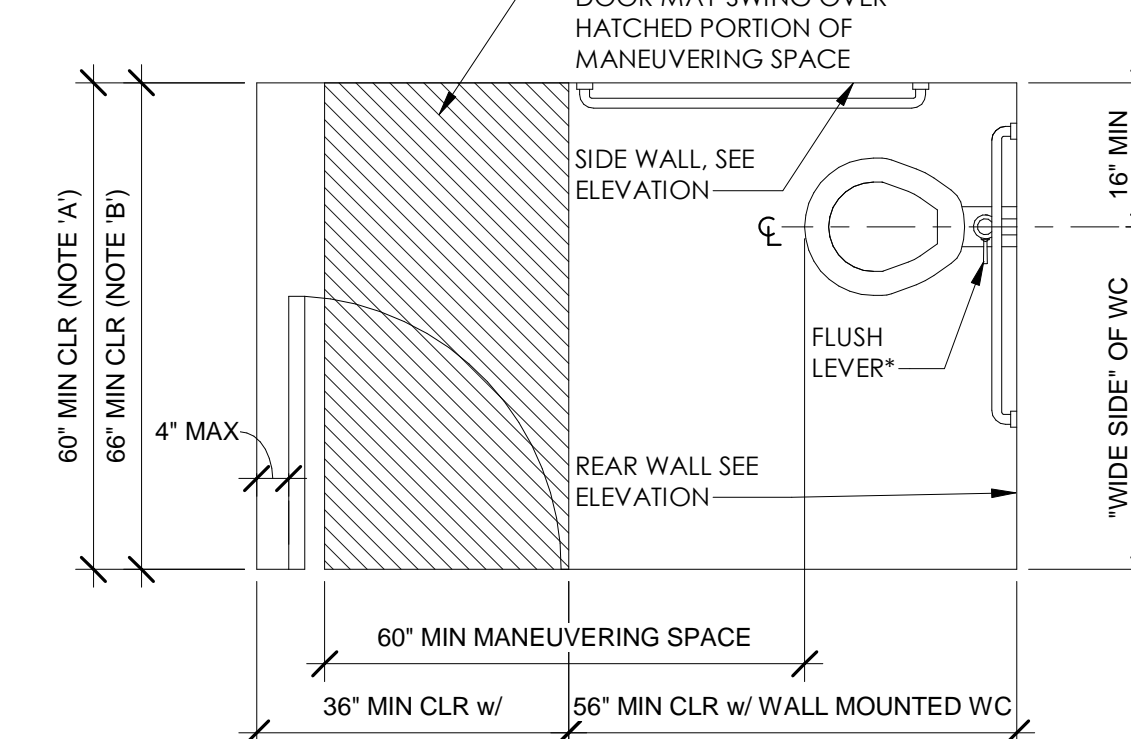
1/4" = 1'-0"

MINIMUM WIDTH OF TOILET COMPARTMENT:
 NOTE 'A': 60" MINIMUM CLEAR WIDTH IN TOILET COMPARTMENT; IF AT LEAST ONE (1) SIDE PARTITION. (NOTE: PARTITION COMPONENTS SHALL BE SMOOTH WITHOUT SHARP EDGES OR ABRASIVE SURFACES)
 NOTE 'B': 44" MINIMUM CLEAR WIDTH IN TOILET COMPARTMENT; IF AT LEAST ONE (1) SIDE PARTITION DOES NOT PROVIDE A THE REQUIRED TOE CLEARANCES NOTED ABOVE.

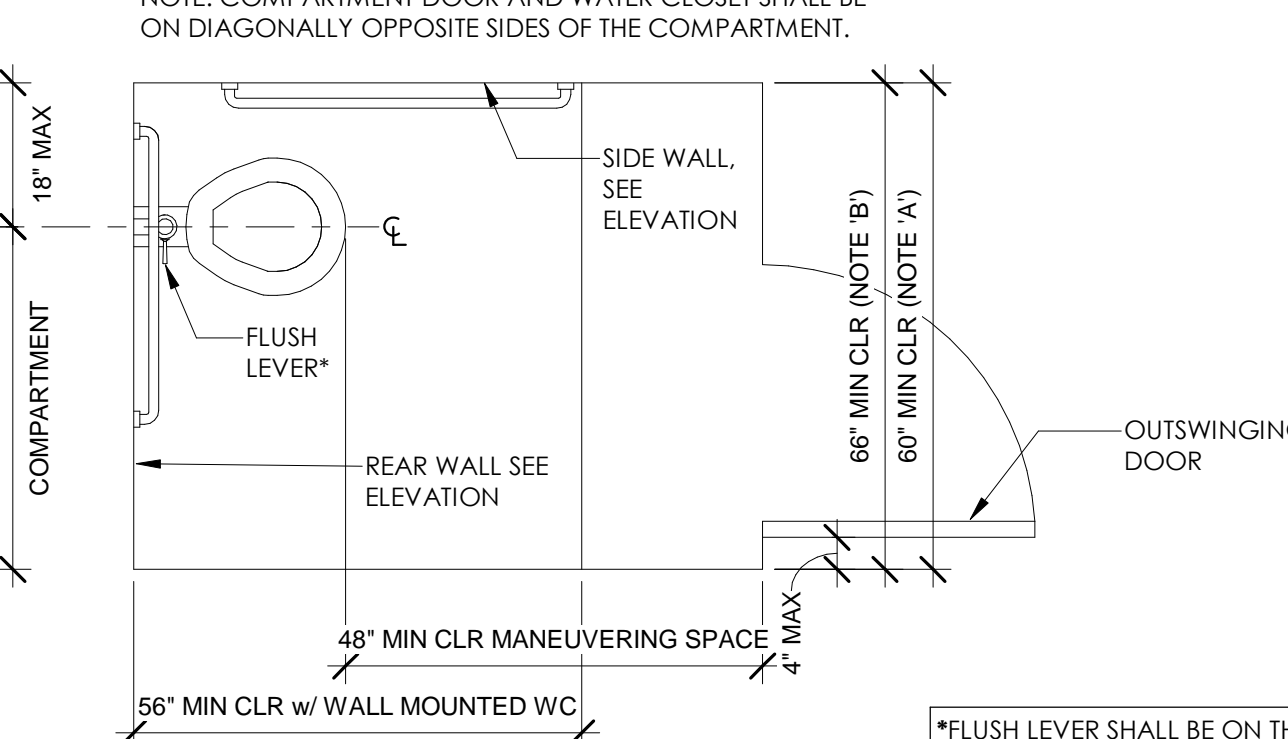


D - TOILET COMPARTMENT REAR WALL

C - TOILET COMPARTMENT SIDE WALL

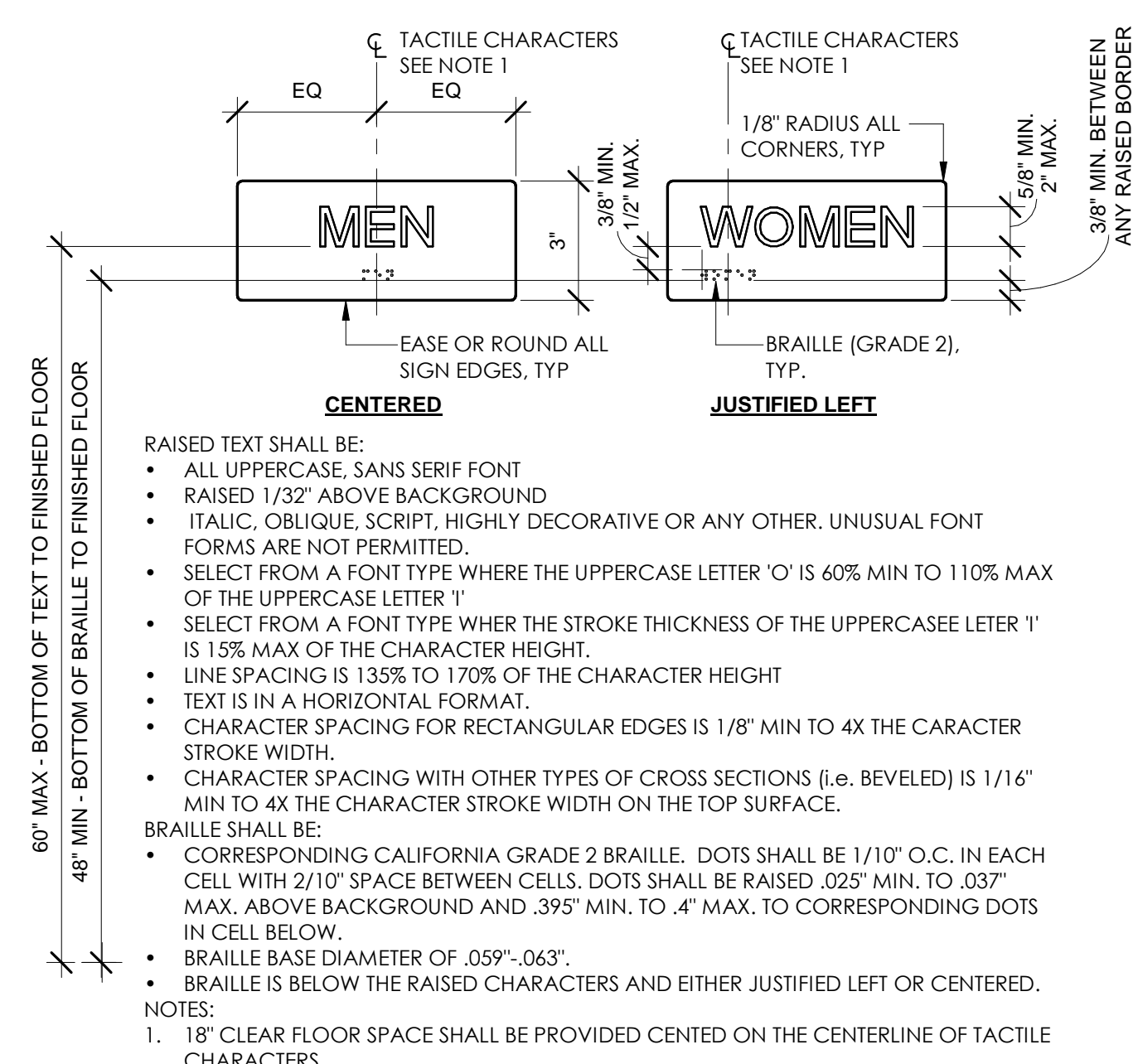


B - TOILET COMPARTMENT W/ SIDE OPENING DOOR



A - TOILET COMPARTMENT W/ END OPENING DOOR

*FLUSH LEVER SHALL BE ON THE "WIDE" SIDE OF THE TOILET STALL



18 WALL SIGNAGE REQUIREMENTS

3" = 1'-0"

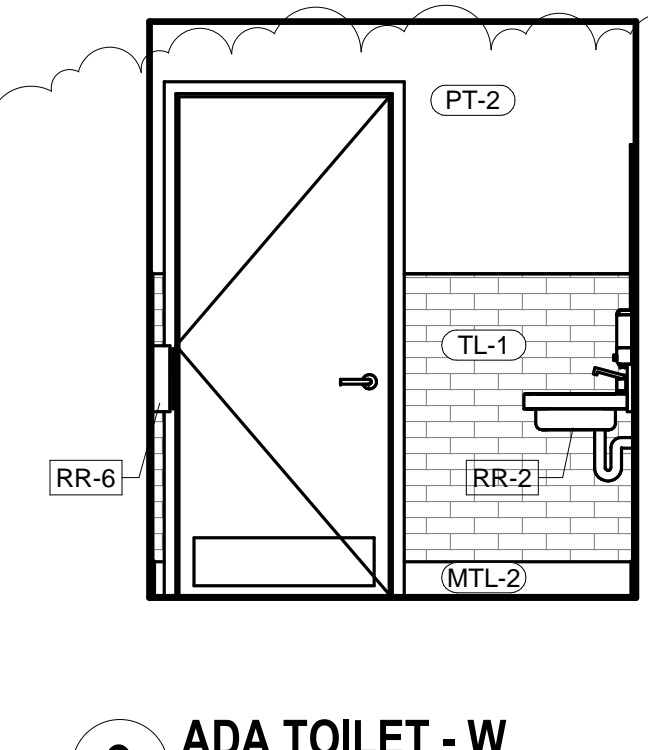
15 MANEUVERING CLEARANCES AT SWINGING DOORS

1/8" = 1'-0"

10 ACCESSIBLE WATER CLOSET STALL

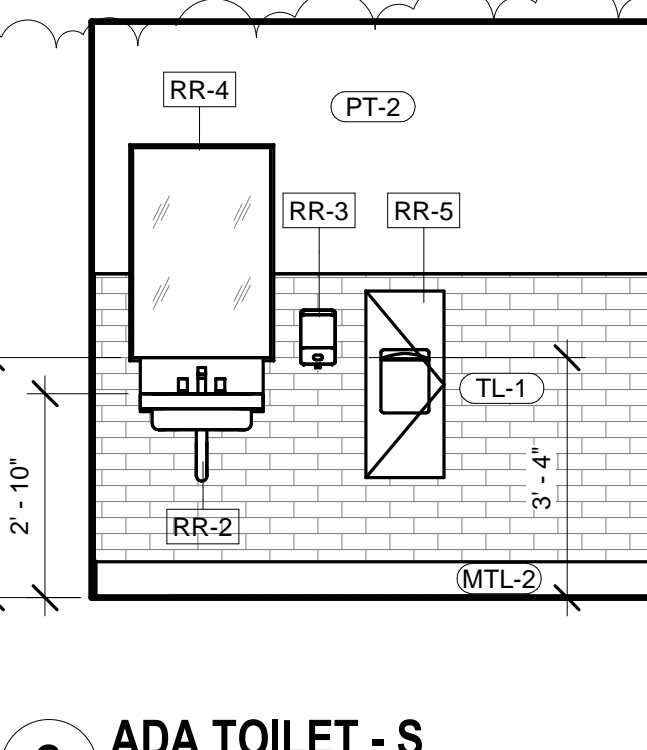
1/2" = 1'-0"

MARK	DESCRIPTION
RR-1	Elongated Floor-Mounted, ADA Height, EcoVantage® Flush Valve Vitreous China Water Closet
RR-2	AMERICAN STANDARD - LUCERNE WALL HUNG LAVATORY
RR-3	BOBRICK B-4112 SOAP DISPENSER
RR-4	BOBRICK B-165 4836 CHANNEL FRAME MIRROR
RR-5	BOBRICK B-36903 RECESSED COMBINATION TOWER AND WASTE UNIT
RR-6	BOBRICK B-4221 TOILET SEAT COVER DISPENSER
RR-7	BOBRICK B-2888 TOILET PAPER DISPENSER
RR-8	BOBRICK B-6806 x 36/42 GRAB BARS



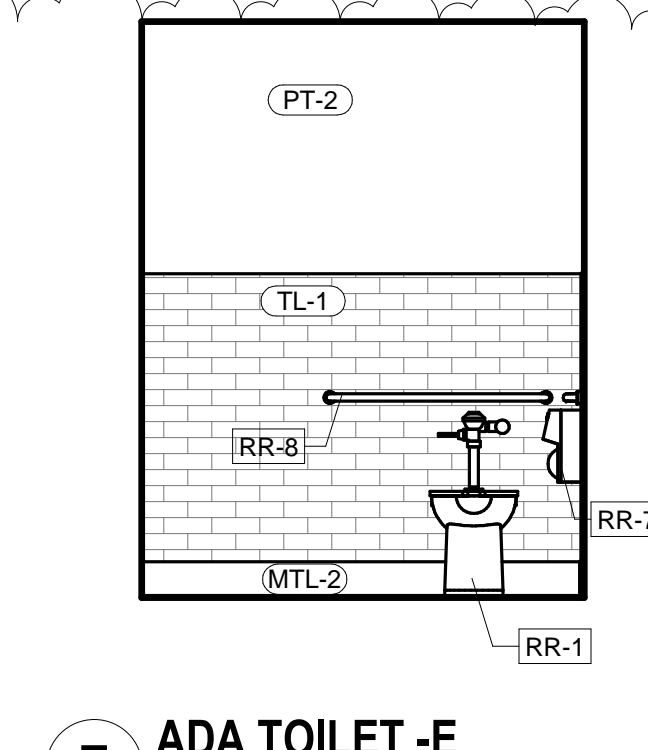
9 ADA TOILET - W

3/8" = 1'-0"



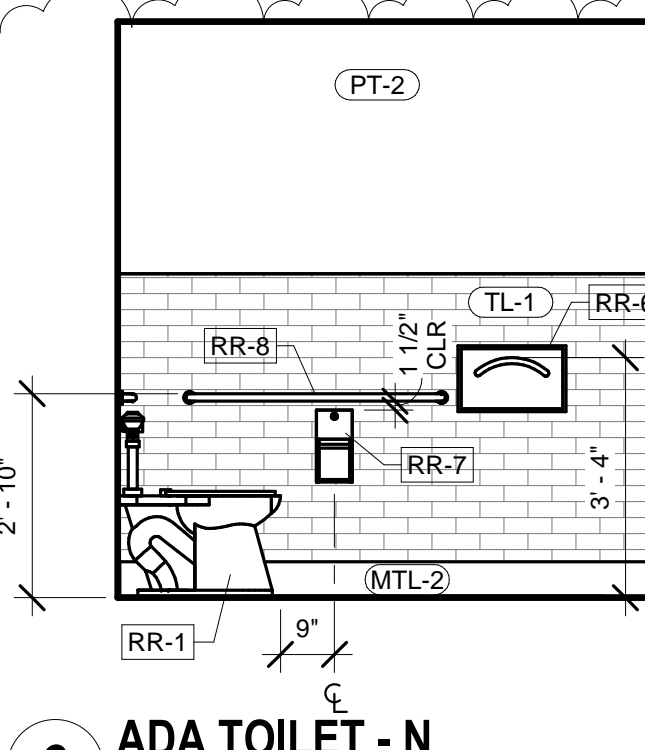
8 ADA TOILET - S

3/8" = 1'-0"



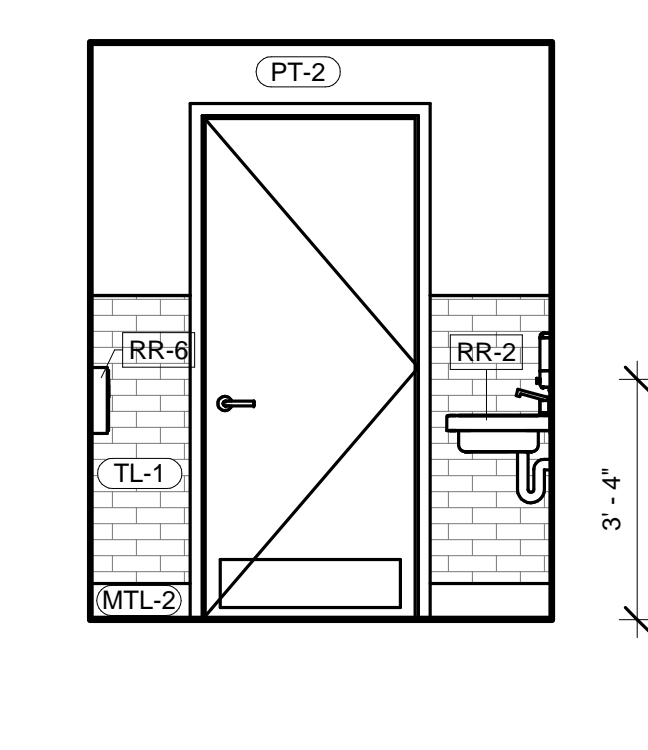
7 ADA TOILET - E

3/8" = 1'-0"



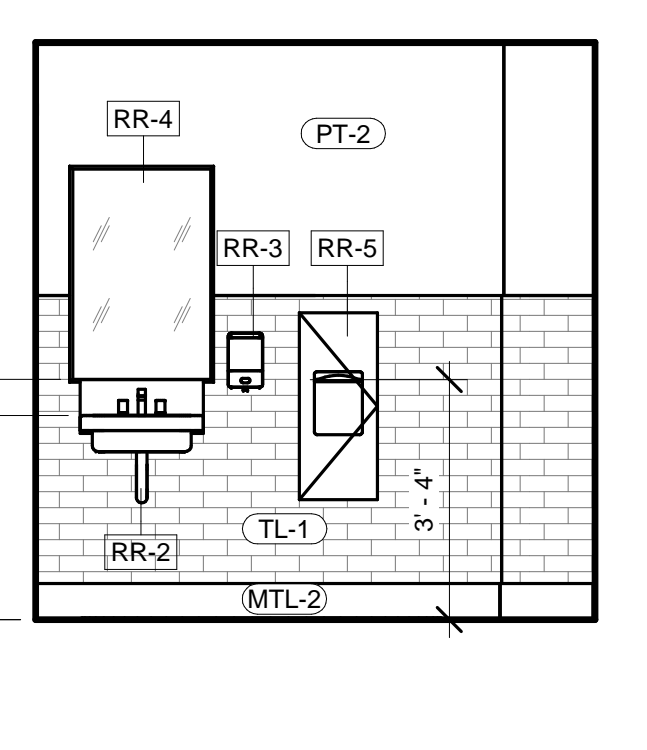
6 ADA TOILET - N

3/8" = 1'-0"



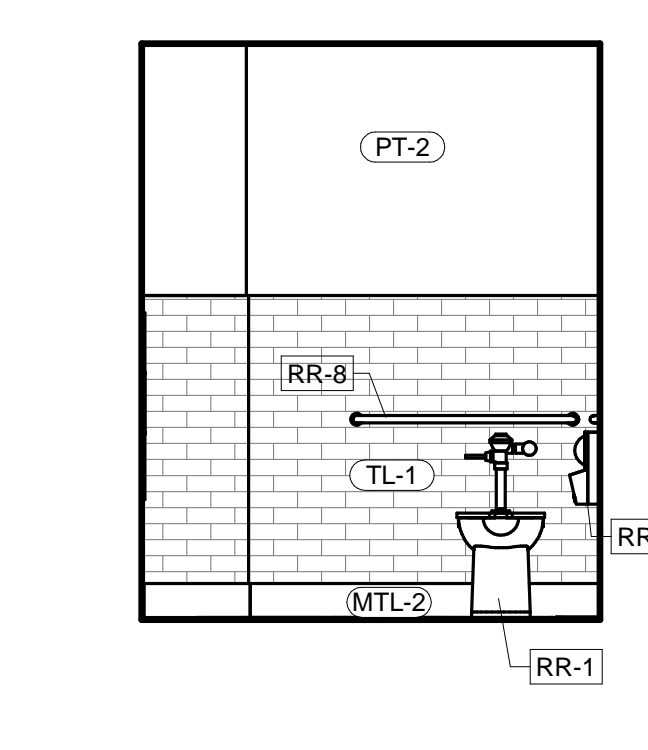
5 RESTROOM - W

3/8" = 1'-0"



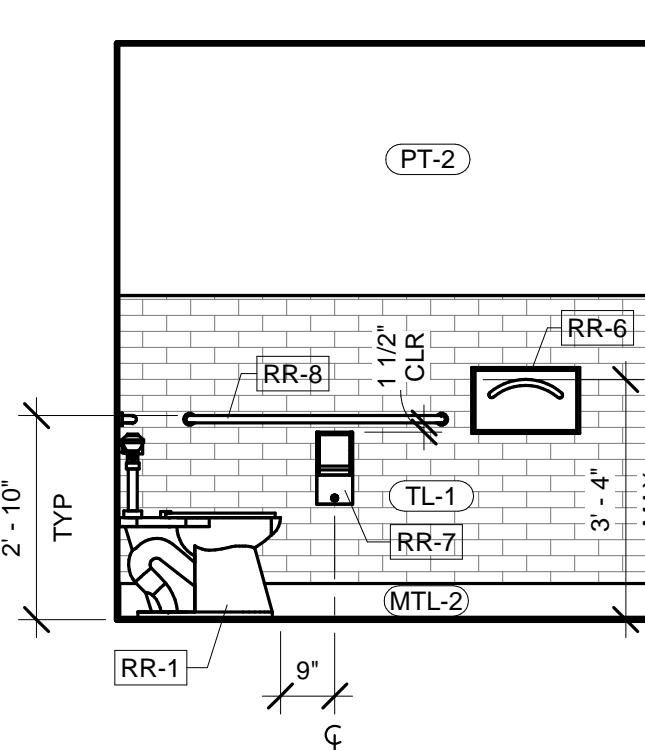
4 RESTROOM - N

3/8" = 1'-0"



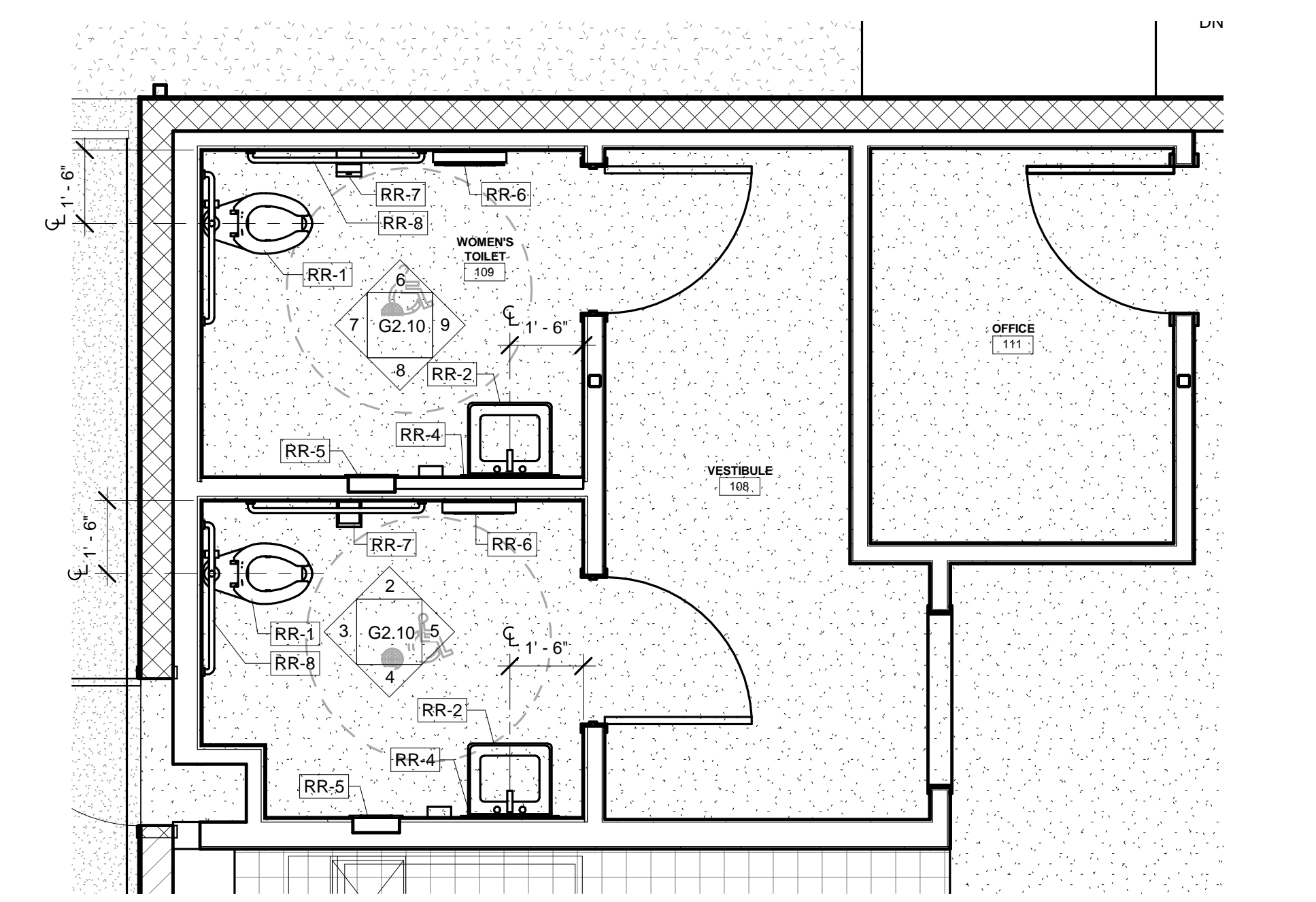
3 RESTROOM - E

3/8" = 1'-0"



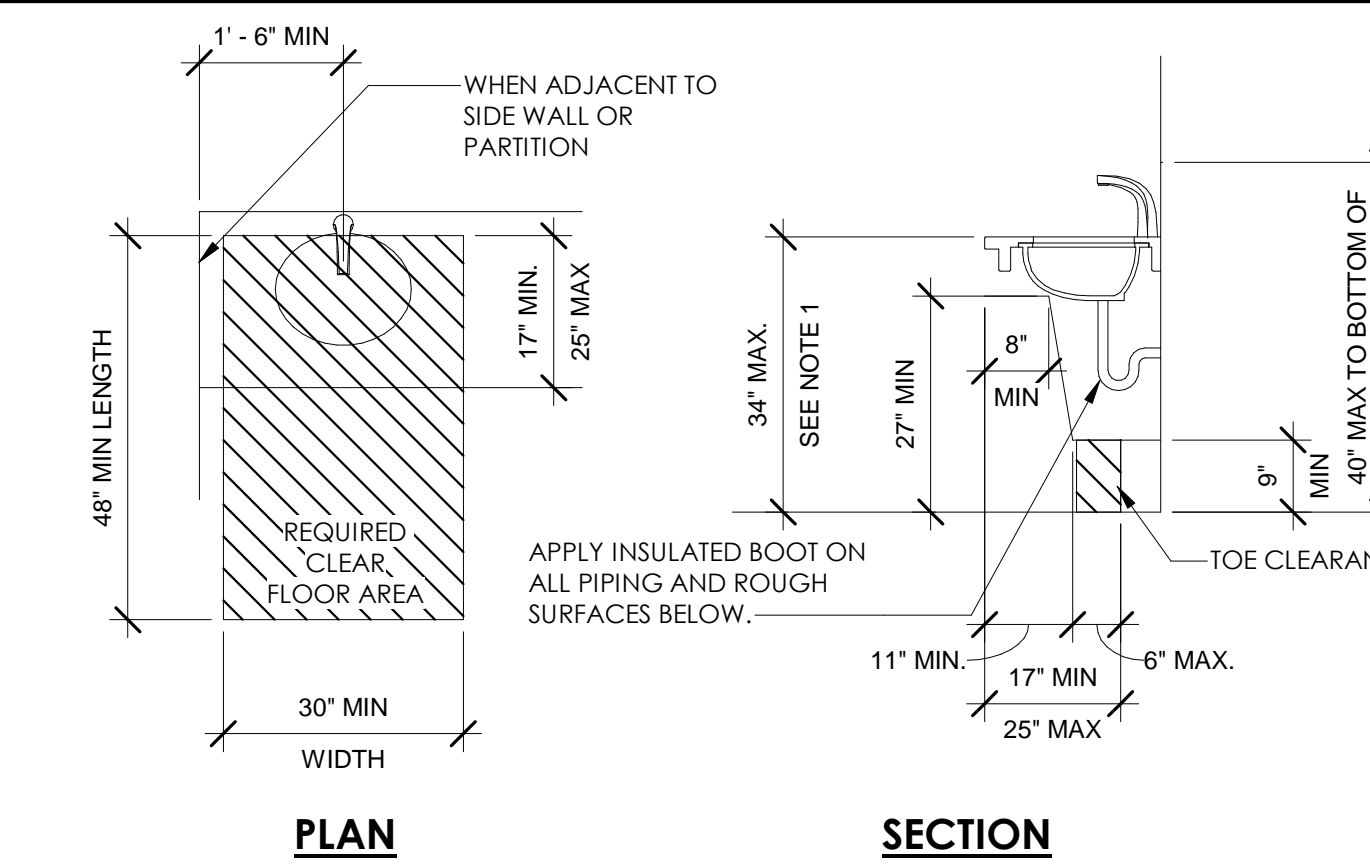
2 RESTROOM - S

3/8" = 1'-0"



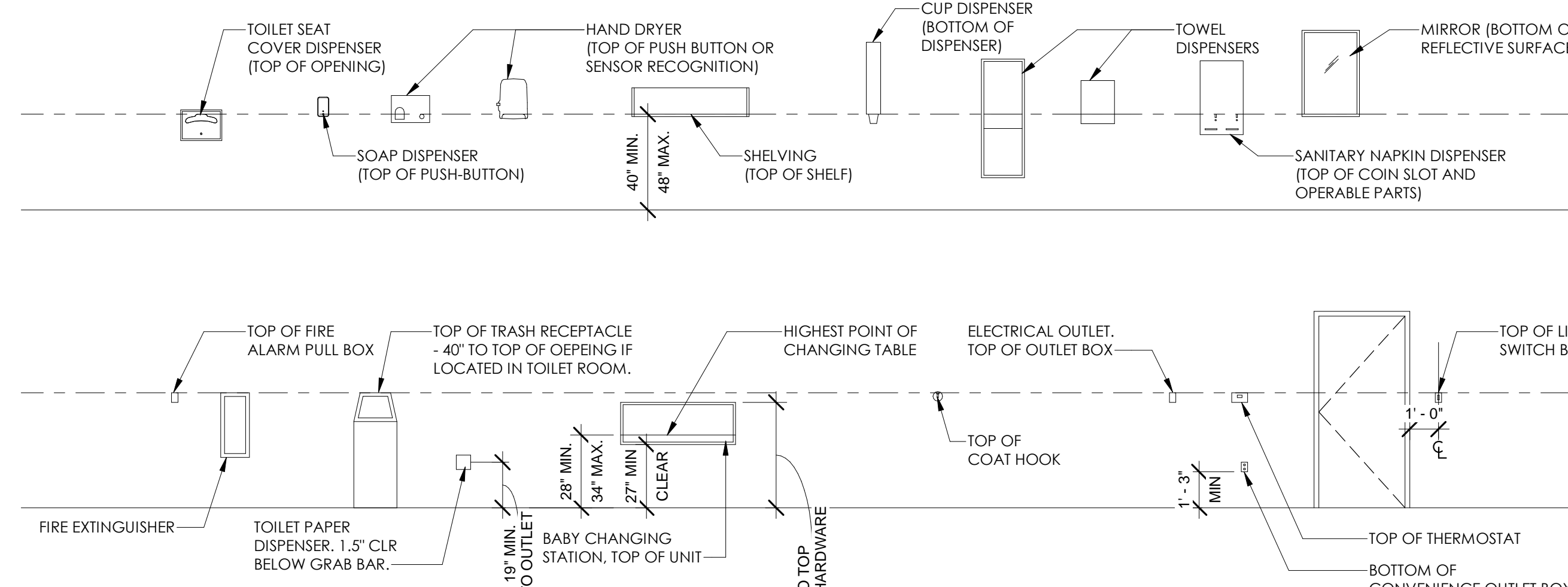
1 ENLARGED RESTROOM

3/8" = 1'-0"



12 ACCESSIBLE LAVATORY - UNDERCOUNTER

NOTES:
 1. 34" DIMENSION IS TO TOP OF COUNTER OR RIM OF LAVATORY, WHICHEVER IS HIGHER.
 2. IF THE MINIMUM AMOUNT OF 17" DEEP CLEAR IS USED ON THE KNEE/TOE SPACE BELOW THE LAVATORY, THE FAUCET CONTROLS NEED TO BE WITHIN REACH RANGE OF 17" MAXIMUM.



NOTES:
 1. THIS DETAIL IS TO SHOW MAXIMUM ALLOWABLE HEIGHTS WITHIN COMPLIANT REACH RANGE FOR ALL OPERABLE CONTROLS OF THE ACCESSORY TO BE INSTALLED. SEE INTERIOR ELEVATIONS FOR ANY ADDITIONAL INFORMATION AND DIMENSIONS.
 2. IF FIRE EXTINGUISHERS OR HAND DRYERS PROTRUDE MORE THAN 4" FROM FACE OF WALL, A CANE DETECTABLE BARRIER MUST BE INSTALLED BELOW.

DOOR SCHEDULE														
MARK	ROOM	SIZE			TYPE	MATERIAL	DOOR			FRAME			HARDWARE SET	REMARKS
		HEIGHT	WIDTH	THICK			FINISH	FIRE RATING	HEAD	JAMB	MATERIAL	FINISH		
1	ENTRY	6'-0"	6'-0"	0'-1 1/4"	C	ALGL	MATCH (E) STOREFRONT	N/A	H-3	J-3	AL	MATCH (E) STOREFRONT	EXISTING	EXISTING STORE FRONT DOOR TO BE RELOCATED TO PROPOSED LOCATION.
2	GENERAL DINING	7'-0"	3'-0"	0'-1 3/4"	D	ALGL	MATCH (E) STOREFRONT	N/A	H-3(SIM)	J-3	AL	MATCH (E) STOREFRONT	HWS-1	
3		6'-8"	3'-0"	0'-1 3/4"	A	EX	PT	N/A	EX	EX	EX	PT	EXISTING	(E) DOOR TO BE REFINISHED
4	WOMEN'S TOILET	7'-0"	3'-0"	0'-1 3/4"	A	HM	PT	N/A	H-1	J-1	AL	PT	HWS-3	DOOR HANDLE TO BE ADA COMPLIANT.
5	MEN'S TOILET	7'-0"	3'-0"	0'-1 3/4"	A	HM	PT	N/A	H-1	J-1	AL	PT	HWS-3	DOOR HANDLE TO BE ADA COMPLIANT.
6	EAST PATIO	6'-8"	3'-0"	0'-1 3/4"	A	EX	PT	N/A	EX	EX	EX	PT	N/A	(E) TO BE INOPERABLE AND SEALED SHUT.
7	OFFICE	7'-0"	3'-0"	0'-1 3/4"	A	HM	PT	N/A	H-1	J-1	AL	PT	HWS-3	
8	VESTIBULE	7'-0"	3'-6"	0'-1 3/4"	G	N/A	N/A	N/A	H-1	J-1	N/A	N/A	N/A	OPENING
9	ELECTRICAL ROOM	7'-0"	3'-0"	0'-1 3/4"	A	HM	PT	N/A	H-1	J-1	AL	PT	HWS-2	
10	STORAGE	7'-0"	3'-0"	0'-1 3/4"	A	HM	PT	N/A	H-1	J-1	AL	PT	HWS-2	
11	KITCHEN	7'-0"	3'-0"	0'-1 3/4"	B	PER MANUF.	PER MANUF.	N/A	PER MANUF.	PER MANUF.	PER MANUF.	PER MANUF.	PER MANUF.	ELIASON CORP P-11 PLUS KITCHEN DOOR
12	KITCHEN	7'-0"	3'-0"	0'-1 3/4"	B	PER MANUF.	PER MANUF.	N/A	PER MANUF.	PER MANUF.	PER MANUF.	PER MANUF.	PER MANUF.	ELIASON CORP P-11 PLUS KITCHEN DOOR

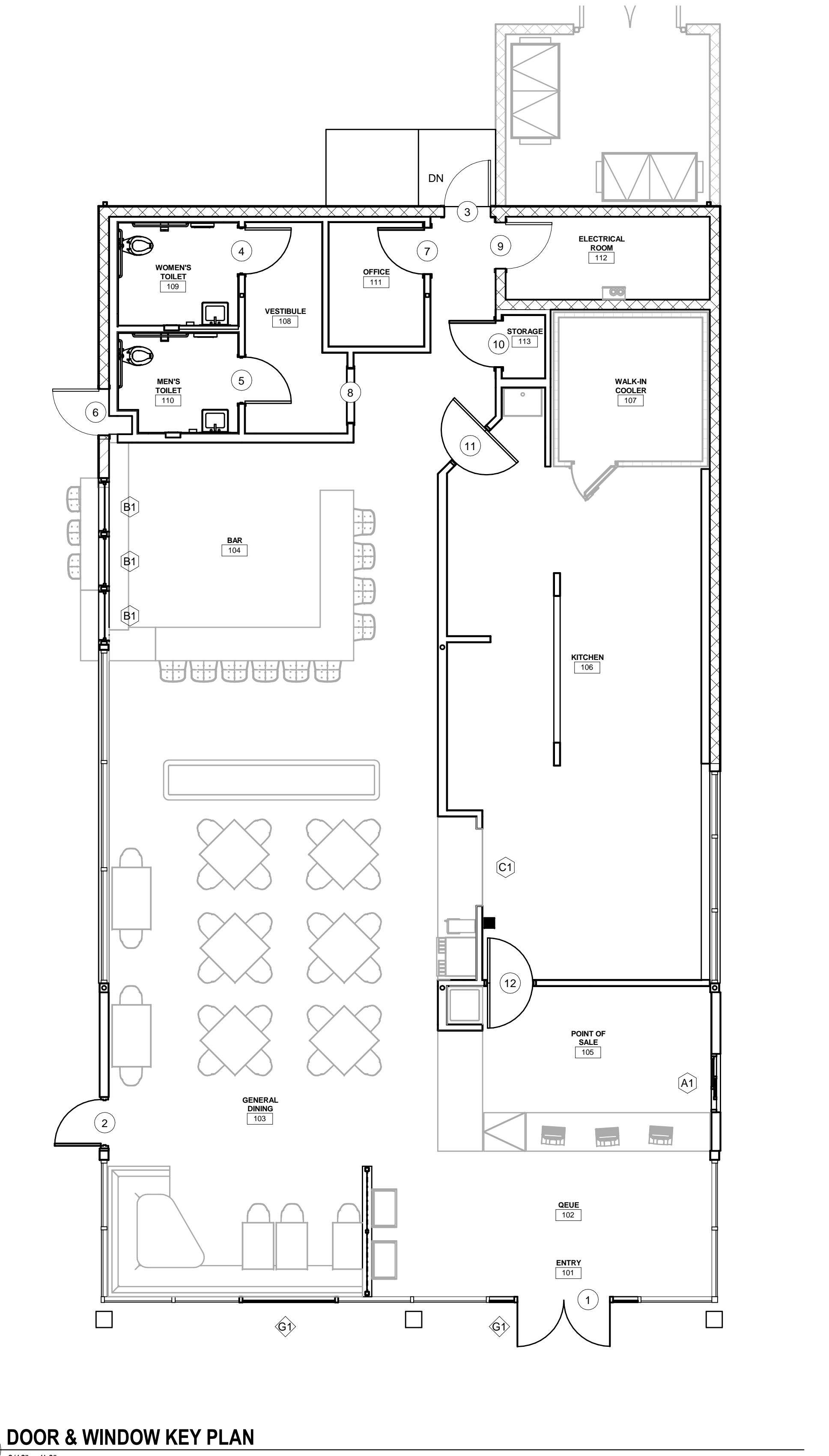
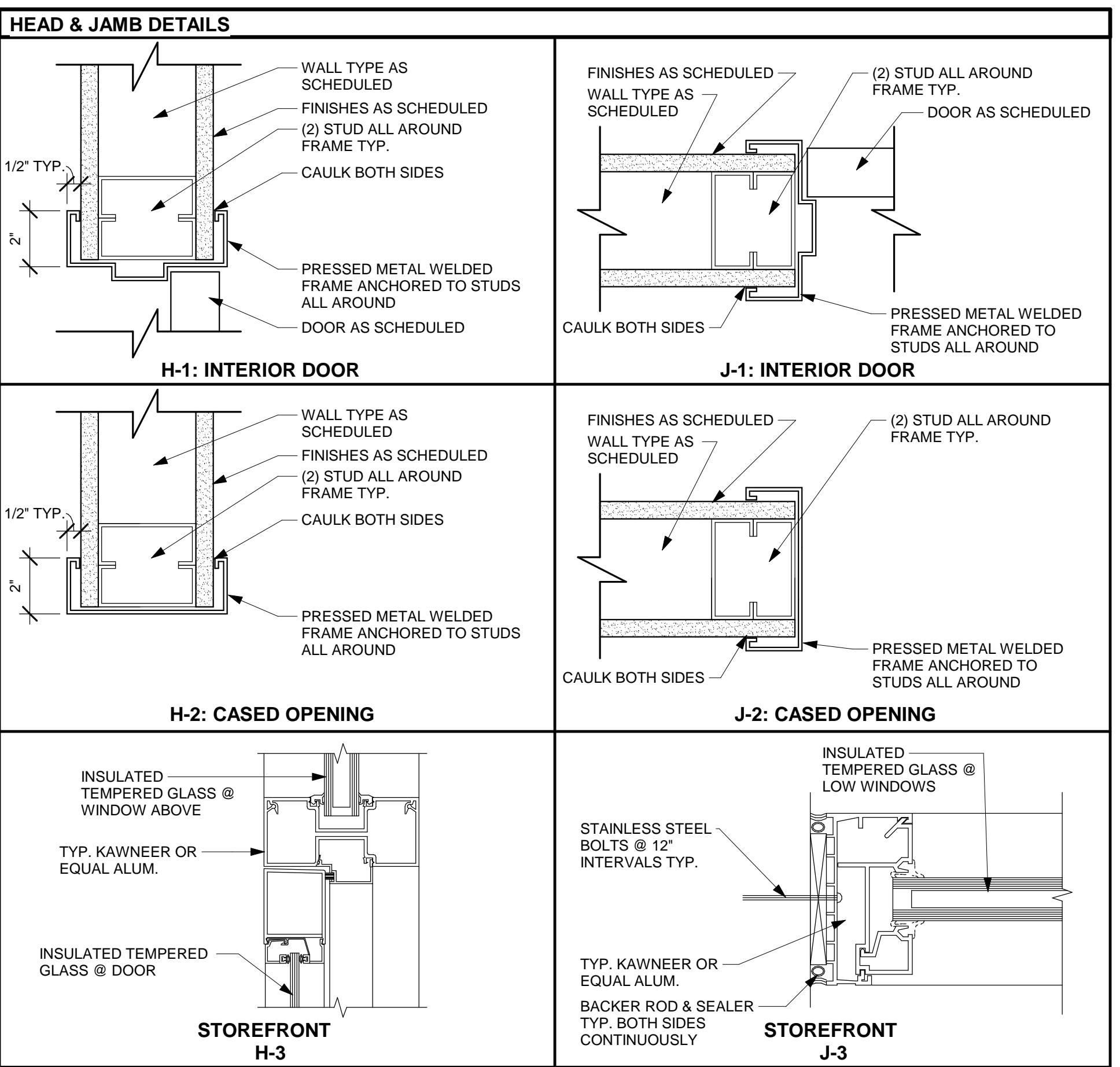
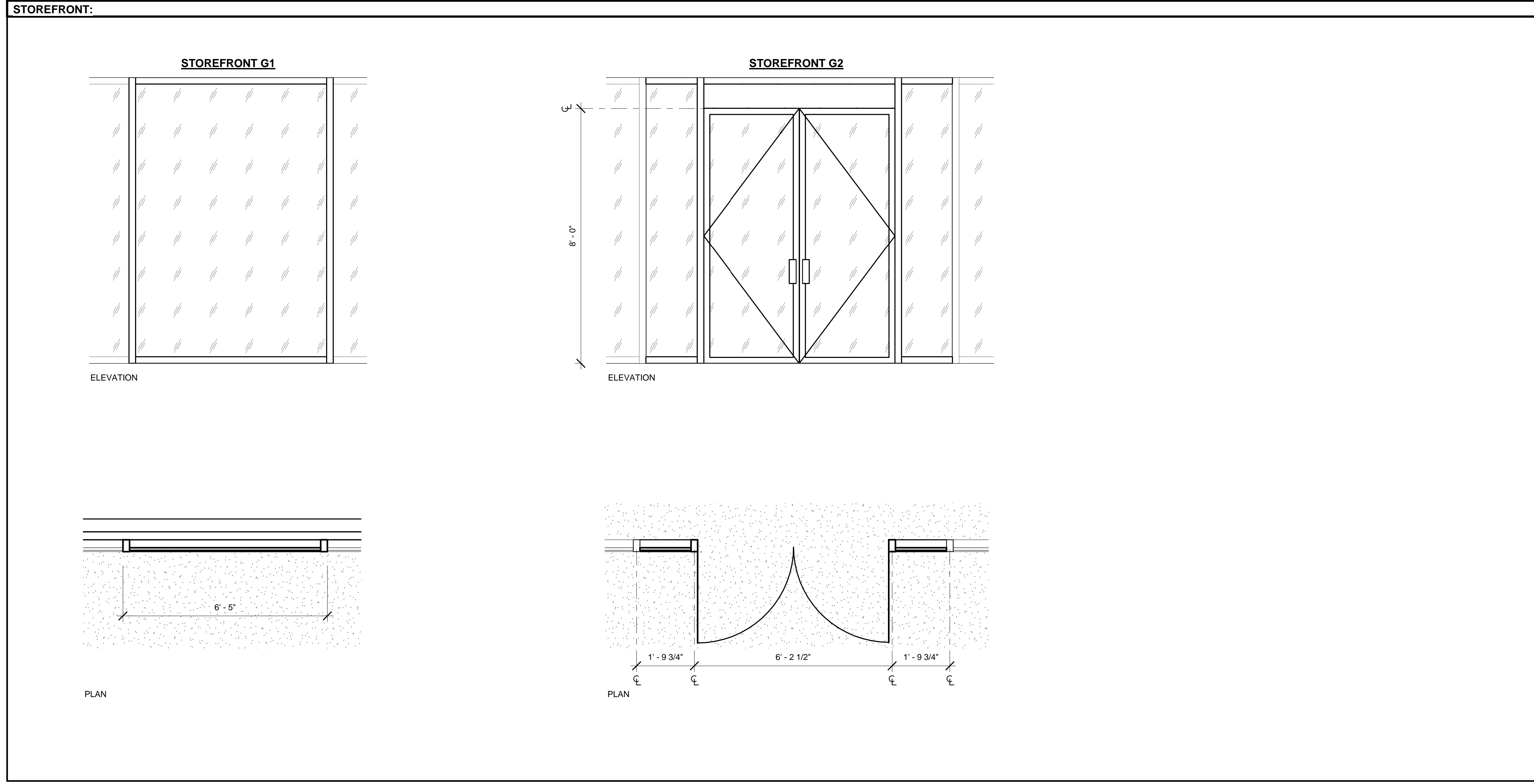
DOOR TYPES:					HARDWARE SETS				
					HWS - 1	HWS - 2	HWS - 3	HWS - 4	HWS - 5
A	B	C	D	E	PIVOTS BUTTS LOCKSET DEADBOLT CYLINDER CYLINDER CORE STRIKE DOOR PULL & PUSH CLOSER EXIT DEVICE THRESHOLD WEATHER STRIPPING SILENCER FLOOR STOP VIEWER	PIVOTS BUTTS LOCKSET DEADBOLT CYLINDER CYLINDER CORE STRIKE DOOR PULL PUSH CLOSER EXIT DEVICE THRESHOLD SOUND SEAL SILENCER WALL STOP VIEWER KICK PLATE	PIVOTS BUTTS LOCKSET DEADBOLT CYLINDER CYLINDER CORE STRIKE DOOR PULL PUSH CLOSER EXIT DEVICE THRESHOLD SOUND SEAL SILENCER WALL STOP VIEWER KICK PLATE	PIVOTS BUTTS LOCKSET DEADBOLT CYLINDER CYLINDER CORE STRIKE DOOR PULL PUSH CLOSER EXIT DEVICE THRESHOLD SOUND SEAL SILENCER WALL STOP VIEWER KICK PLATE	PIVOTS BUTTS LOCKSET DEADBOLT CYLINDER CYLINDER CORE STRIKE DOOR PULL PUSH CLOSER EXIT DEVICE THRESHOLD SOUND SEAL SILENCER WALL STOP VIEWER KICK PLATE

DOOR NOTES:

- ALL DOOR HANDLES TO BE LEVER TYPE PER STATE AND LOCAL ACCESSIBILITY REQUIREMENTS. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
- PROVIDE DOOR STOPS OF APPROPRIATE TYPE FOR ALL INTERIOR DOORS. MATCH ADJACENT HARDWARE.
- DOOR CLOSURES SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES WILL BE 5 SECONDS MINIMUM.
- THE BOTTOM 10 IN. OF ALL DOORS EXCEPT AUTOMATIC DOORS, POWER ASSISTED DOORS, AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- FRAMING HARDWARE SHALL BE PROVIDED AS SCHEDULED.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN THE PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
- HAND-ACTIVATED DOOR OPENING HARDWARE TO BE CENTERED BETWEEN 30" AND 44" ABOVE THE FLOOR.
- EVERY DOORWAY WHICH IS LOCATED WITHIN AN ACCESSIBLE PATH OF TRAVEL SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3'-0" IN WIDTH & NOT LESS THAN 6'-8" IN HEIGHT. WHEN INSTALLED, EXIT DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE EXIT IS NOT LESS THAN 32".
- DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24 INCHES (610 MM) DEEP SHALL PROVIDE A CLEAR OPENING OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34 INCHES (864 MM) ABOVE THE FINISH FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES (864 MM) AND 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES (102 MM).
- THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDING SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 0.25 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE)
- MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH SECTION. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.
- THRESHOLDS, THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH (12.7 MM) HIGH MAXIMUM.
- ALL HARDWARE SHALL BE FINISHED TO MATCH ANSI #625, LIGHT OXIDIZED, STATUARY BRONZE, CLEAR COATED, UNLESS OTHERWISE NOTED.
- ALL HARDWARE SHALL COMPLY WITH APPLICABLE CODES AND ADA REQUIREMENTS.
- SPECIFIC HARDWARE MANUFACTURER AND MODEL NUMBERS SHALL BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARDS AND COLORS
- ALL DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.

WINDOW SCHEDULE						
Type Mark	Height	Width	Head Height	Sill Height	Type	Comments
A1	3'-2"	3'-9 1/2"	5'-5 1/2"	2'-3 1/2"	B	READY ACCESS VERIFY WITH OWNER FOR ELECTRONIC OPERATION
B1	5'-3"	3'-4"	8'-9"	3'-6"	A	WESTERN SINGLE-HUNG OR EQUAL
C1	4'-0"	5'-0"			C	

WINDOW TYPES:		
A	B	C



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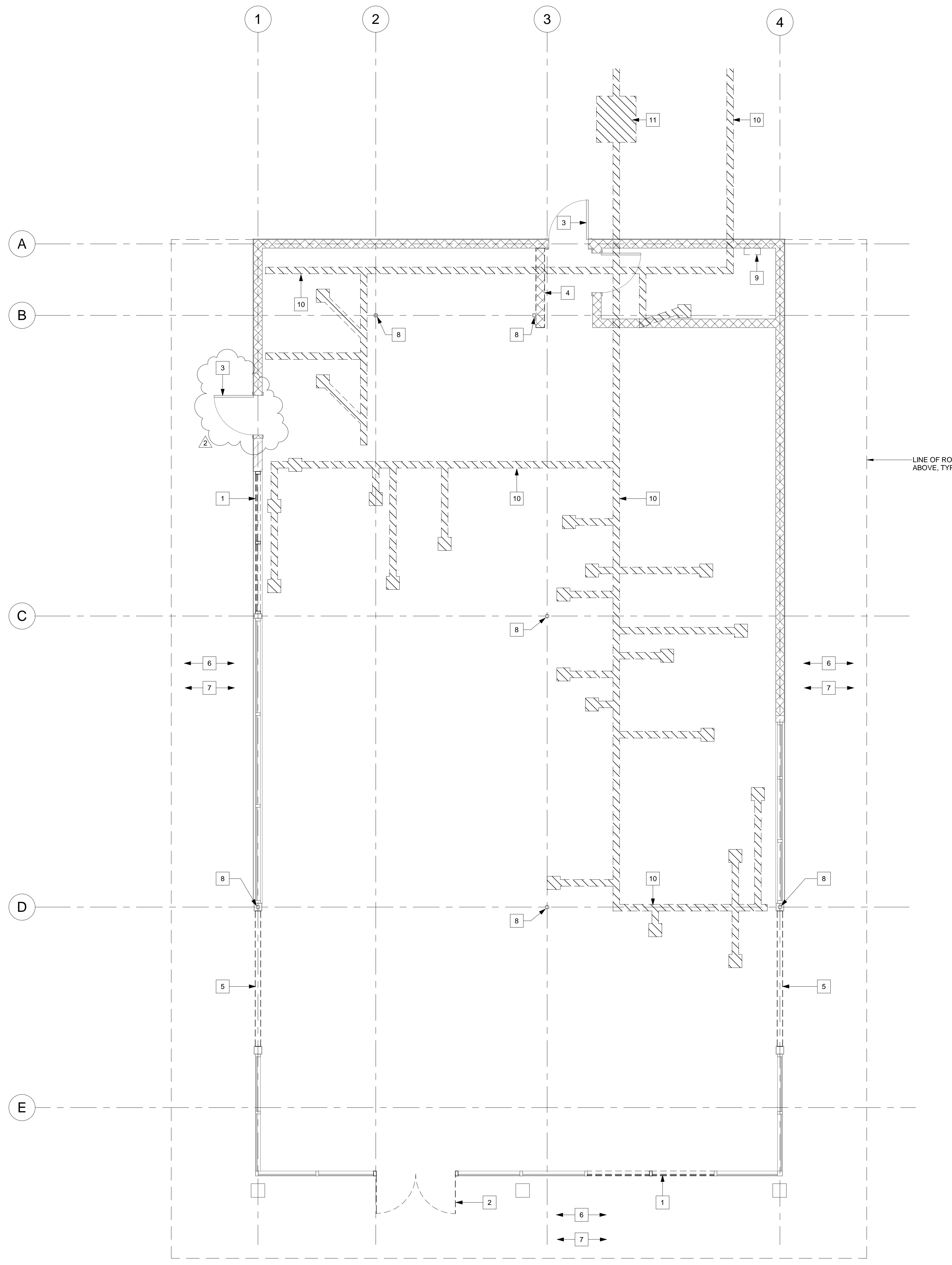
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Project Number:
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Sheet Title:
DOOR & WINDOW SCHEDULES

Sheet Number:
G3.00



KEYNOTES - DEMO PLAN	
NUMBER	NOTE
1	DEMOLISH PART OF STOREFRONT SYSTEM AS REQUIRED. COORDINATE WITH FLOOR PLAN AND STOREFRONT DRAWINGS.
2	DEMOLISH DOUBLE STOREFRONT DOOR AND ALL ASSOCIATED COMPONENTS COMPLETE.
3	DOOR TO REMAIN. PREPARE FOR NEW FINISH.
4	C.M.U. WALL TO BE DEMOLISHED COMPLETE.
5	WALL TO BE DEMOLISHED COMPLETE.
6	EXTERIOR T-BAR CEILING AND ALL ASSOCIATED COMPONENTS TO BE DEMOLISHED COMPLETE.
7	EXTERIOR LIGHTS AND ALL ASSOCIATED COMPONENTS TO BE DEMOLISHED COMPLETE.
8	STRUCTURAL COLUMN TO REMAIN, PROTECT IN PLACE DURING CONSTRUCTION.
9	REMOVE ELECTRICAL PANEL, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
10	SAW CUT SLAB ON GRADE AS REQUIRED FOR FLOOR SINKS, FLOOR DRAINS, AND ASSOCIATED DRAINAGE. COORDINATE WITH PLUMBING DRAWINGS.
11	SAW BUT AS REQUIRED FOR INSTALLATION OF GREASE INTERCEPTOR AND SAMPLE WELL. COORDINATE WITH PLUMBING DRAWINGS.

WALL LEGEND	
	C.M.U. WALL TO REMAIN
	BRICK WALL TO REMAIN
	C.M.U. WALL TO BE DEMOLISHED
	MASONRY STONE UNIT WALL TO BE DEMOLISHED

1 DEMOLITION PLAN
1/4" = 1'-0"

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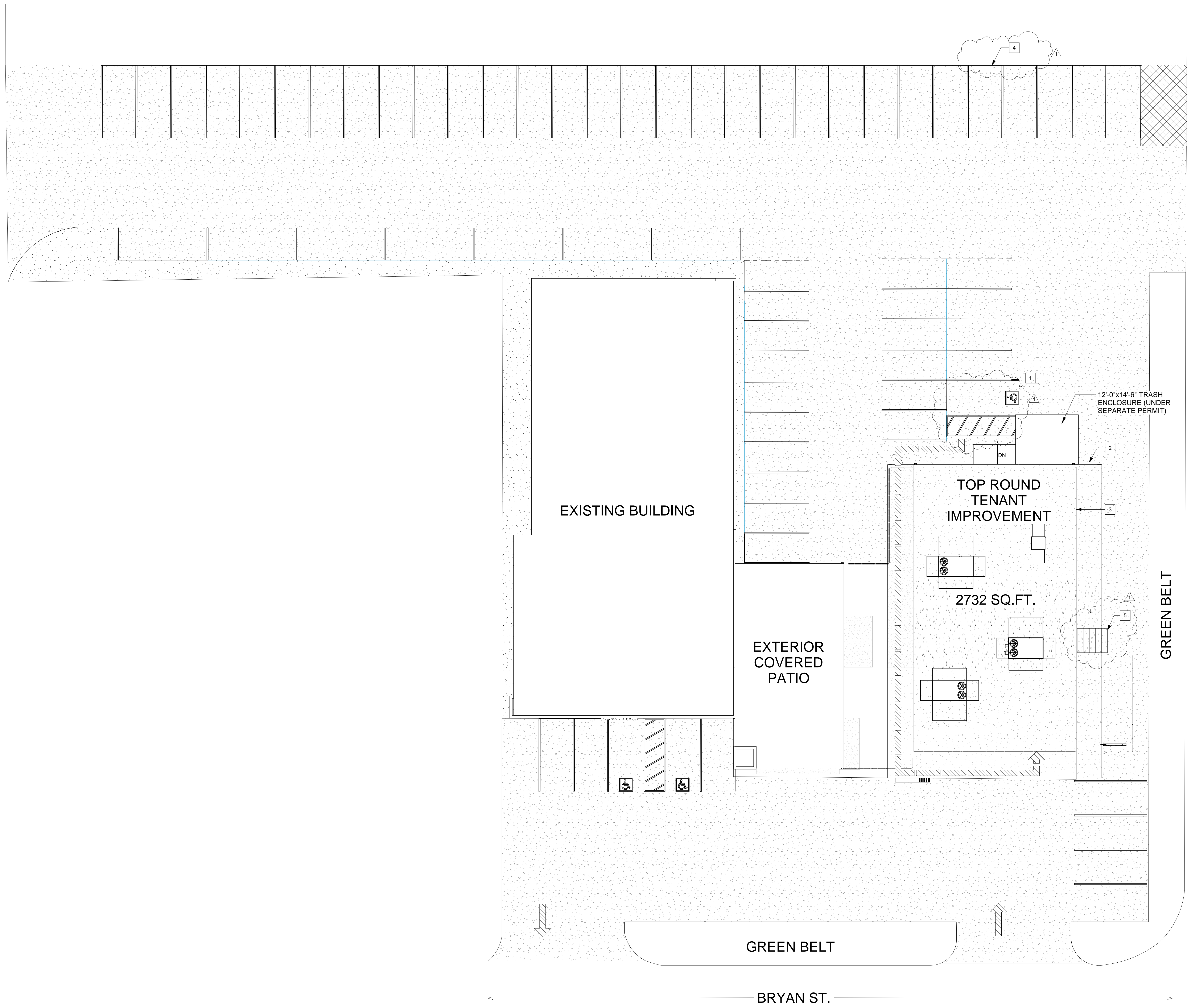
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 DEMOLITION PLAN

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KEYNOTES - SITE PLAN	
NUMBER	NOTE
1	GREASE INTERCEPTOR AND SAMPLE WELL, SEE PLUMBING DRAWINGS.
2	(E) GAS METER LOCATION.
3	LINE OF WALL BELOW.
4	(E) PRIVACY SCREENING.
5	5 STALL BIKE RACK BY LANDLORD.



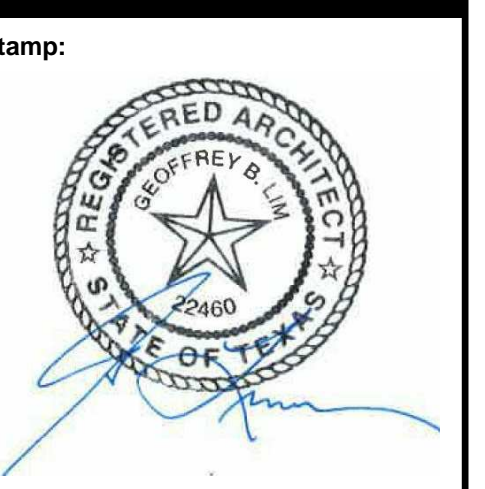
1 SITE PLAN
1" = 10'-0"

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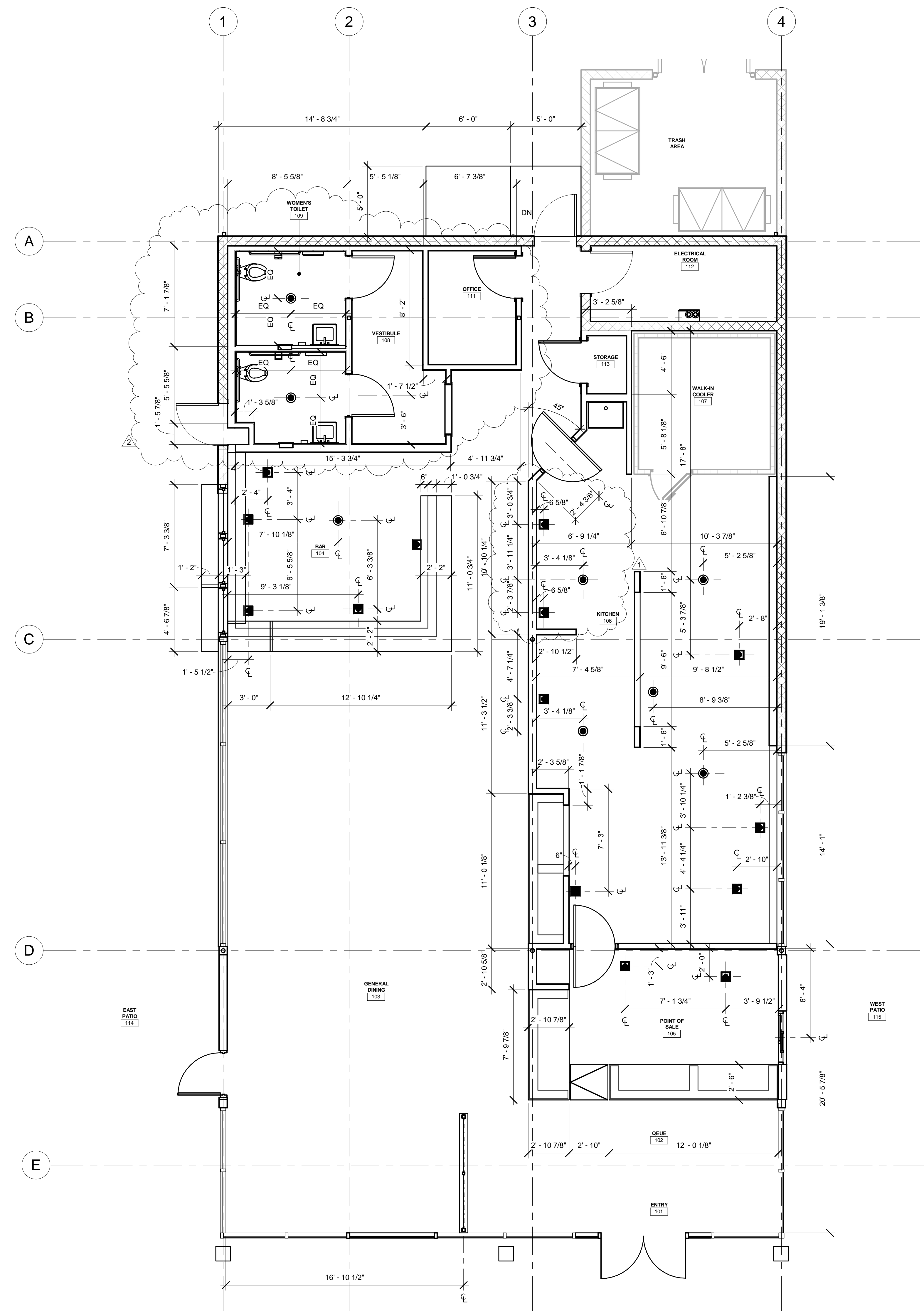
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1 FLOOR PLAN -DIMENSIONED
1/4" = 1'-0"

WALL LEGEND	
	(E) C.M.U. WALL
	(E) BRICK WALL
	MTL STUD WALL, PER WALL TYPE SCHEDULE
	INSULATED COOLER PANEL
	PARTIAL HEIGHT WALL, PER WALL TYPE SCHEDULE

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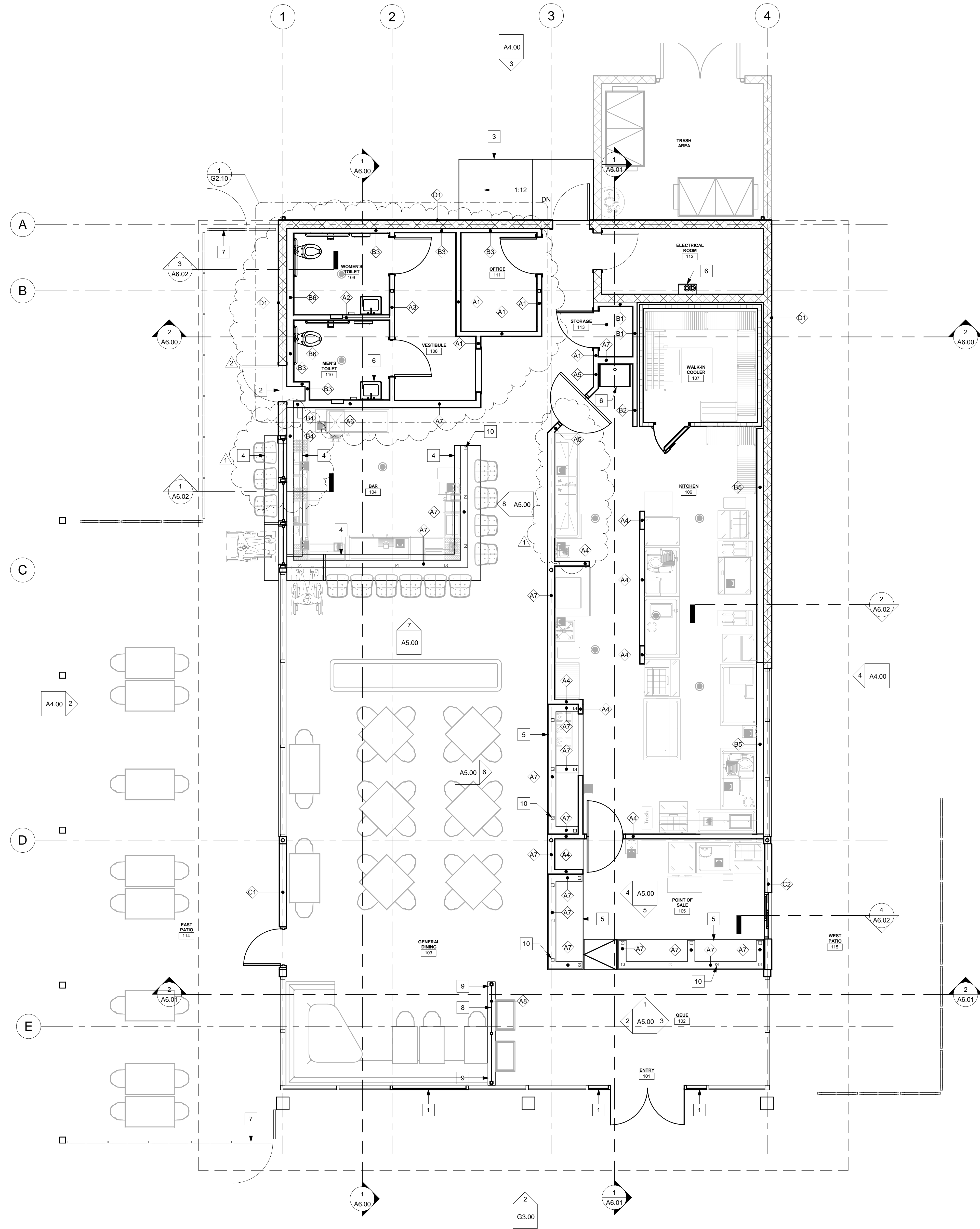
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 CONSTRUCTION PLAN - DIMENSIONED

Sheet Number:
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KEYNOTES - FLOOR PLAN	
NUMBER	NOTE
1	INFILL STOREFRONT SYSTEM.
2	INFILL C.M.U. OPENING.
3	ADA RAMP.
4	BAR COUNTER, SEE INTERIOR ELEVATIONS.
5	CASEWORK, SEE INTERIOR ELEVATIONS.
6	PLUMBING FIXTURE, COORDINATE WITH PLUMBING DRAWINGS.
7	GATE, SEE EXTERIOR ELEVATIONS.
8	DECORATIVE PANEL, SEE INTERIOR ELEVATIONS.
9	STEEL POST SUPPORT, SEE STRUCTURAL DRAWINGS.
10	TUBE STEEL SUPPORT, SEE 13/A7.01

1 FLOOR PLAN - NOTED
1/4" = 1'-0"

WALL LEGEND	
	(E) C.M.U. WALL
	(E) BRICK WALL
	MTL STUD WALL, PER WALL TYPE SCHEDULE
	INSULATED COOLER PANEL
	PARTIAL HEIGHT WALL, PER WALL TYPE SCHEDULE

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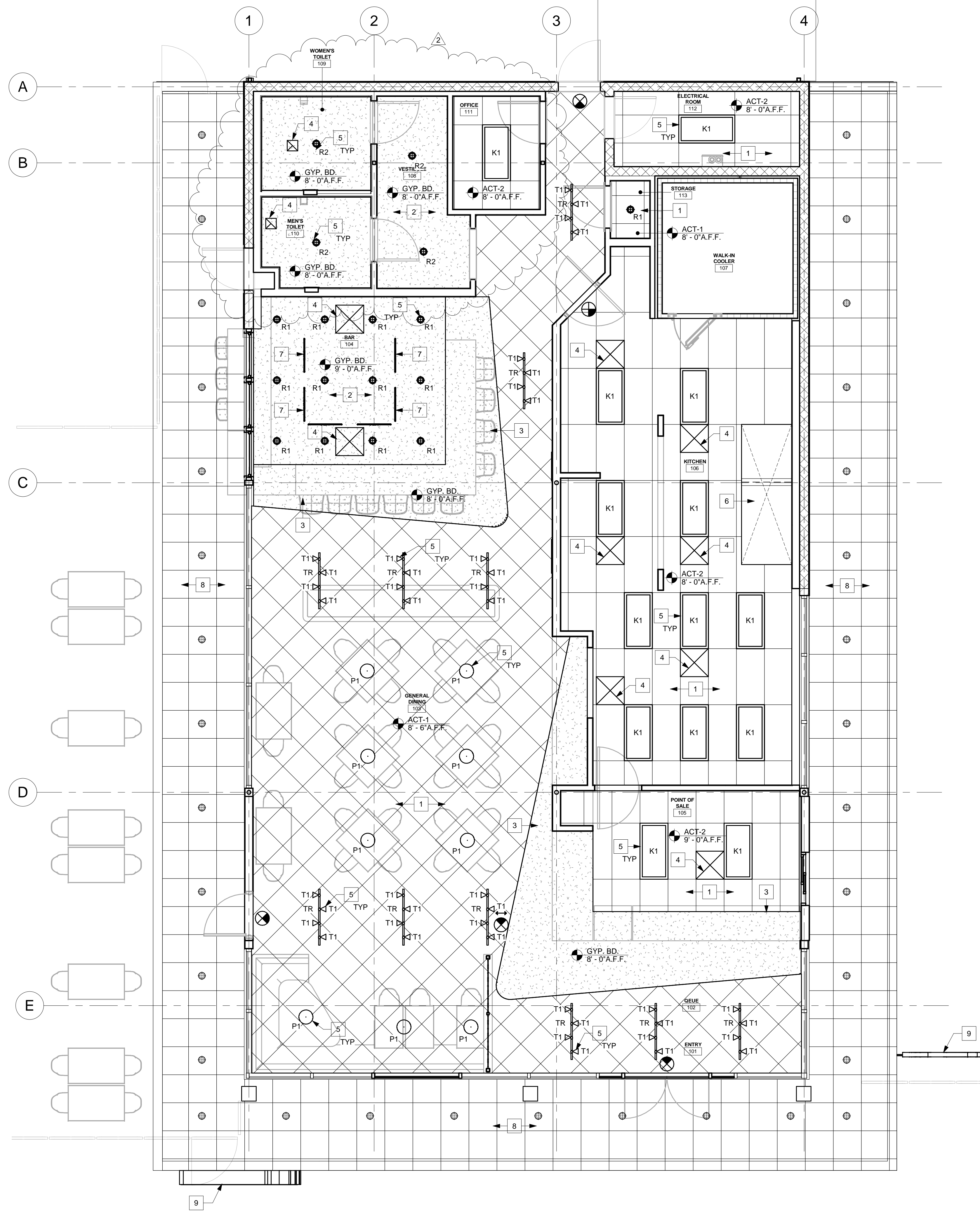
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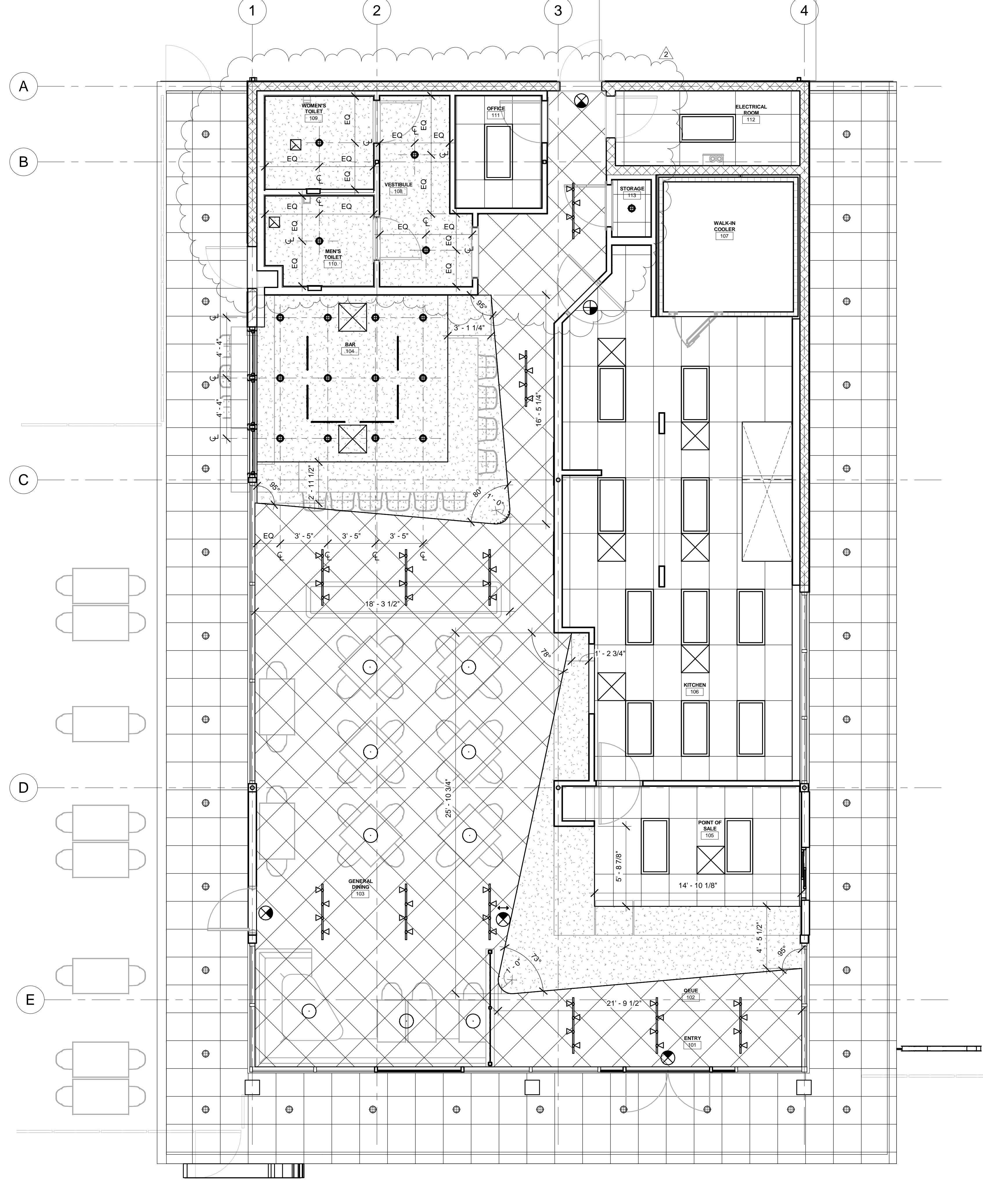
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2 REFLECTED CEILING PLAN - NOTED
1/4" = 1'-0"

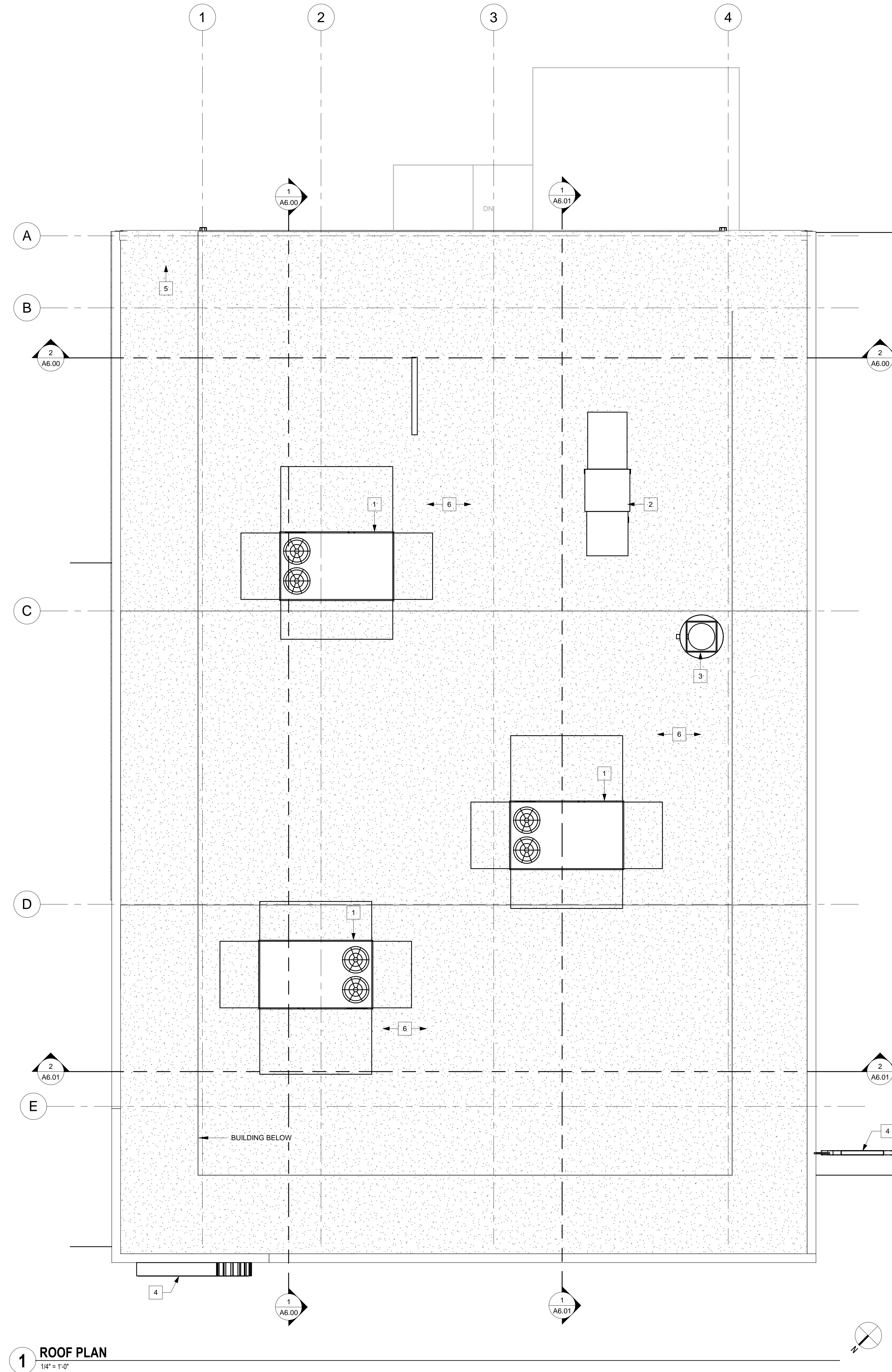
KEYNOTES - RCP	
NUMBER	NOTE
1	SUSPENDED T-BAR CEILING PER FINISH SCHEDULE. SEE 1/A7.10
2	SUSPENDED GYPSUM BOARD CEILING, SEE FINISH SCHEDULE. SEE 6/A7.10
3	GYPSUM BOARD SOFFIT.
4	MECHANICAL REGISTER, COORDINATE WITH MECHANICAL DRAWINGS.
5	LIGHT FIXTURE, COORDINATE WITH ELECTRICAL DRAWINGS.
6	HOOD VENT.
7	SUSPENDED TELEVISION.
8	(E) 2X2 SUSPENDED CEILING.
9	SIGNAGE, SEE EXTERIOR ELEVATIONS.



1 REFLECTED CEILING PLAN - DIMENSIONED
1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE				FOR REFERENCE ONLY, REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
MARK	COUNT	MANUFACTURER	MODEL	DESCRIPTION
K1	14	LSI INDUSTRIES	ELFP24-LED-35-UE	ELFP SERIES RECESSED EDGE LIT 2X4 LED FLAT PANEL UNIT (SFP-24)
P1	9	PROGRESS LIGHTING	P4402-20	FROSTED GLOBE PENDANT
R1	13	PROGRESS LIGHTING	P8080-28/30K9-AC1-L06	RECESSED DOWNLIGHT, WHITE TRIM AND INTERIOR
R2	4	NORA	NHIC-6LMRAT HEAD, NLEDC 661 30 HZW	RECESSED DOWNLIGHT, WHITE TRIM AND INTERIOR, WET LISTED
T1	44	AMERLUX	I-HORNET 15W LED E BT CTB 120 WF 3000-DIM	TRACK LIGHTING, WHITE
TR	11	AMERLUX		TRACK, SMALL 4'-0"

REFLECTED CEILING PLAN LEGEND		FOR REFERENCE ONLY, REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.	
	RECESSED FIXTURE		AIR SUPPLY REGISTER
	PENDANT FIXTURE		AIR RETURN REGISTER
	2X4 FIXTURE		AIR EXHAUST REGISTER
	TRACK FIXTURE		
	FIXTURE TAG SEE SCHEDULE		
	EXIT SIGN & DIRECTION		



KEYNOTES - ROOF PLAN	
NUMBER	NOTE
1	RETURN AIR UNIT, COORDINATE WITH MECHANICAL DRAWINGS.
2	MAKE UP AIR UNIT, COORDINATE WITH MECHANICAL DRAWINGS.
3	CAPTIVE AIR, COORDINATE WITH MECHANICAL DRAWINGS.
4	SIGNAGE, SEE EXTERIOR ELEVATIONS.
5	EXHAUST PIPE, COORDINATE WITH MECHANICAL DRAWINGS.
6	PATCH AND REPAIR ROOFING THROUGHOUT AS REQUIRED AFTER INSTALLATION OF MECHANICAL EQUIPMENT.

1 ROOF PLAN
1/4" = 1'-0"

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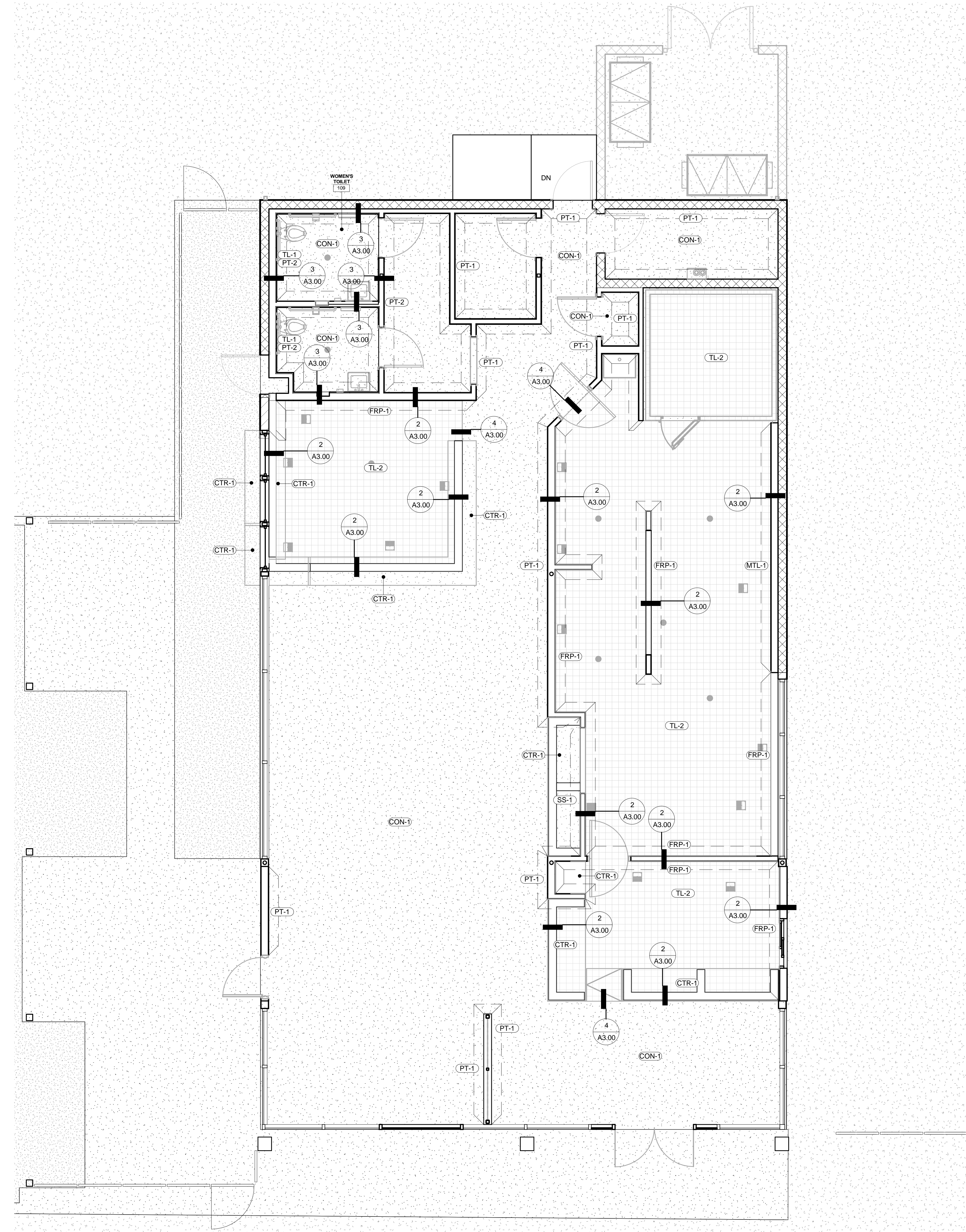
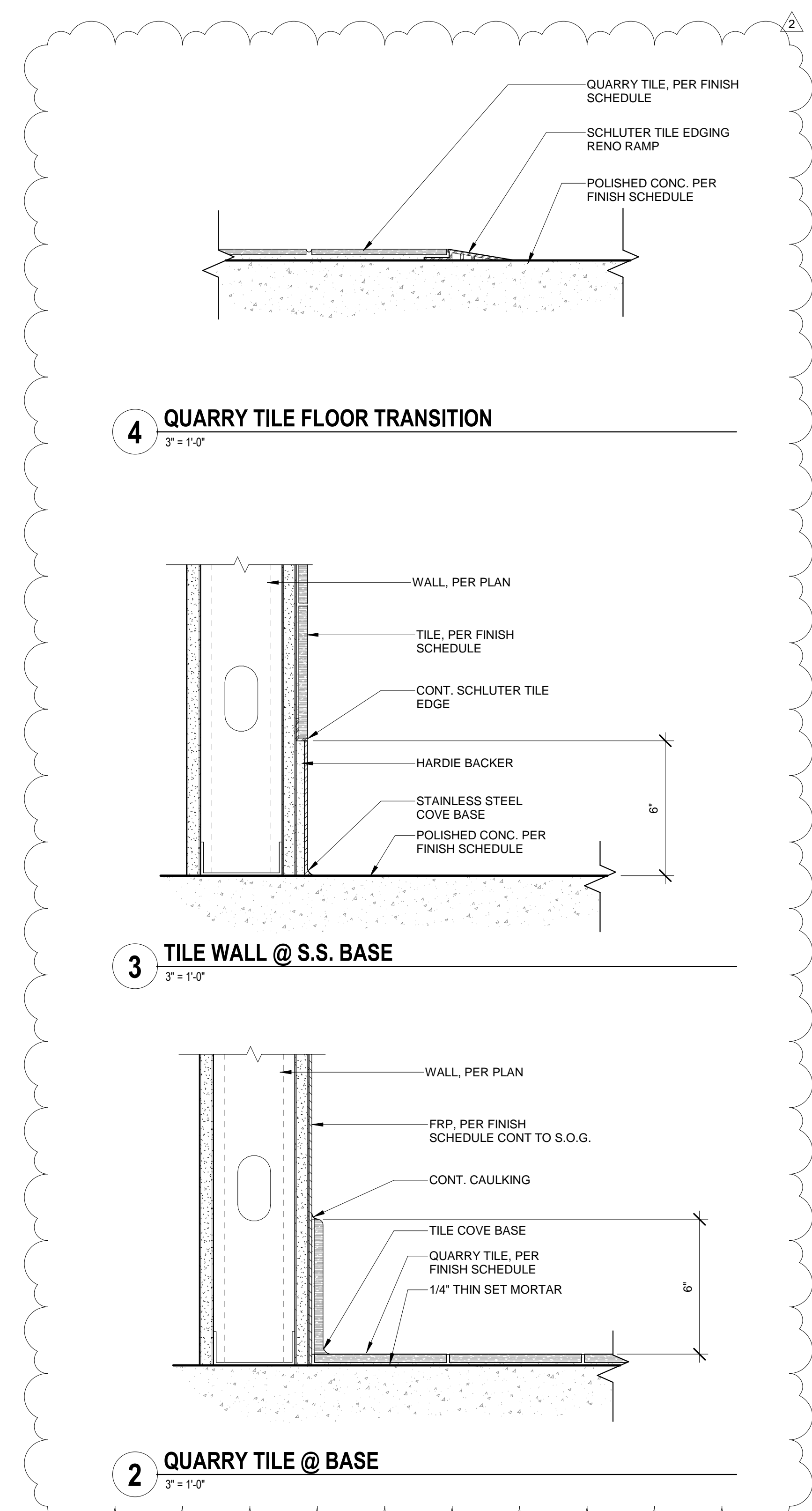
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 ROOF PLAN

MATERIALS & FINISH SCHEDULE

MARK	MANUFACTURER	MODEL/COLLECTION	SIZE/THICKNESS	COLOR NAME	FINISH	COMMENTS/REMARKS
ACT-1	U.S.G.	ECLIPSE PANELS, ITEM #76575		BLACK	MATTE	GRID PROFILE USG DXLA, PAINT GRID AND PANELS WITH PT-4
ACT-2	U.S.G.	CLIMAPLUS VINYL ITEM #3210		WHITE		GRID PROFILE USG DXLA
CON-1	RED RHINO					POLISHED CONCRETE
CTR-1	STARON	SUPREME EXISTING	1/2 IN	URBAN GRAY		EXISTING FINISH TO REMAIN
EX	VARY					KITCHEN, OFFICE, AND EMPLOYEE RESTROOM WALL FINISH
FRP-1	MARLITE	P100 / PEBBLED WHITE				STAINLESS STEEL CONTRACTOR TO MANUFACTURE AND INSTALL
GL-1	TO MATCH (E)					CODE: 58
MTL-1	FORMICA	LAMINATE		BLACK WALNUT	MATTE	
PL-1	BENJAMIN MOORE	BM PM-19		WHITE DOVE	SEMI GLOSS	
PT-2	BENJAMIN MOORE	BM 2061-70		CRYSTAL BLUE	SEMI GLOSS	
PT-3	BENJAMIN MOORE	BM 2001-10		RUBY RED	GLOSS	
PT-4	BENJAMIN MOORE	BM 2132-10		BLACK	SEMI GLOSS	
TL-1	DALTILE	MODERN DIMENSIONS	4-1/4X12-7/8	ARTIC WHITE	SEMI GLOSS	PROVIDE QUARTER ROUND TRIM AT WAINSCOTT TRANSITION. INSTALL TILE IN RUNNING BOND PATTERN.
TL-2	DALTILE	QUARRY TILE, 0Q42	6X6	ARID GRAY		

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR FINISH	BASE		WALL FINISH				WAINSCOTT FINISH				CEILING FINISH	COMMENTS / NOTES
			HEIGHT	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	NORTH	EAST	SOUTH	WEST	CEILING TYPE		
101	ENTRY	CON-1	N/A	GL-1	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	8'-6"	
102	QUELIE	CON-1	N/A	GL-1	PT-1	N/A	GL-1	N/A	N/A	N/A	N/A	N/A	8'-6"	
103	GENERAL DINING	CON-1	VNL-1	4'	GL-1	GL-1/PT-1	N/A	PT-1	N/A	N/A	N/A	N/A	8'-6"	
104	BAR	TL-2	TL-2	4'	N/A	GL-1/PT-1	PT-1	N/A	N/A	N/A	N/A	N/A	9'-0"	PT-1
105	POINT OF SALE	TL-2	TL-2	4'	N/A	FRP-1	FRP-1	FRP-1	N/A	N/A	N/A	N/A	9'-0"	
106	KITCHEN	TL-2	TL-2	N/A	FRP-1	FRP-1	FRP-1	MTL-1	N/A	N/A	N/A	N/A	8'-0"	N/A
107	WALK-IN COOLER	CON-1	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	8'-0"	
108	VESTIBULE	CON-1	MTL-1	6'	PT-2	PT-2	PT-2	PT-2	TL-1	TL-1	N/A	TL-1	8'-0"	PT-1
109	WOMEN'S TOILET	CON-1	MTL-1	6'	PT-2	PT-2	PT-2	PT-2	TL-1	TL-1	TL-1	TL-1	8'-0"	PT-1
110	MEN'S TOILET	CON-1	MTL-1	6'	PT-2	PT-2	PT-2	PT-2	TL-1	TL-1	TL-1	TL-1	8'-0"	PT-1
111	OFFICE	CON-1	VNL-1	4'	PT-1	PT-1	PT-1	PT-1	N/A	N/A	N/A	N/A	8'-0"	
112	ELECTRICAL ROOM	CON-1	N/A	N/A	PT-1	PT-1	PT-1	PT-1	N/A	N/A	N/A	N/A	8'-0"	
113	STORAGE	CON-1	VNL-1	4'	PT-1	PT-1	PT-1	PT-1	N/A	N/A	N/A	N/A	8'-0"	
114	EAST PATIO													
115	WEST PATIO													
	N.I.C. TRASH AREA													



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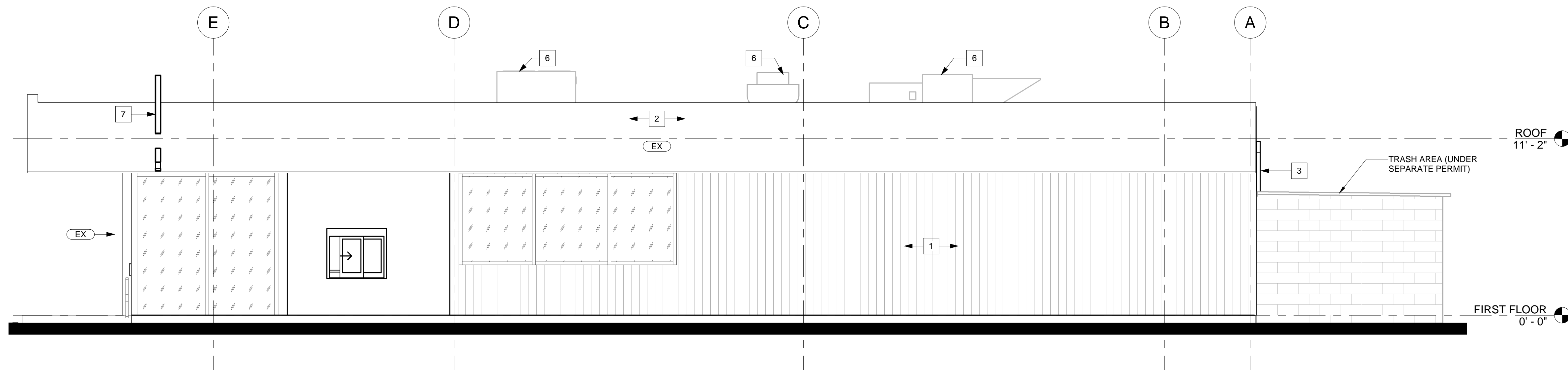
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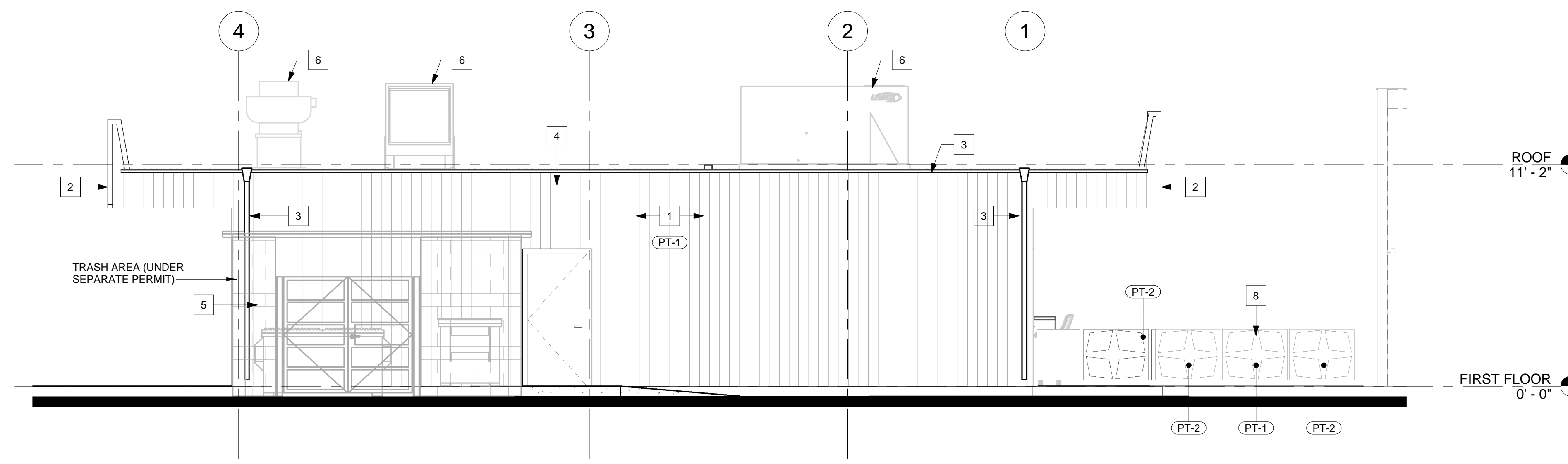
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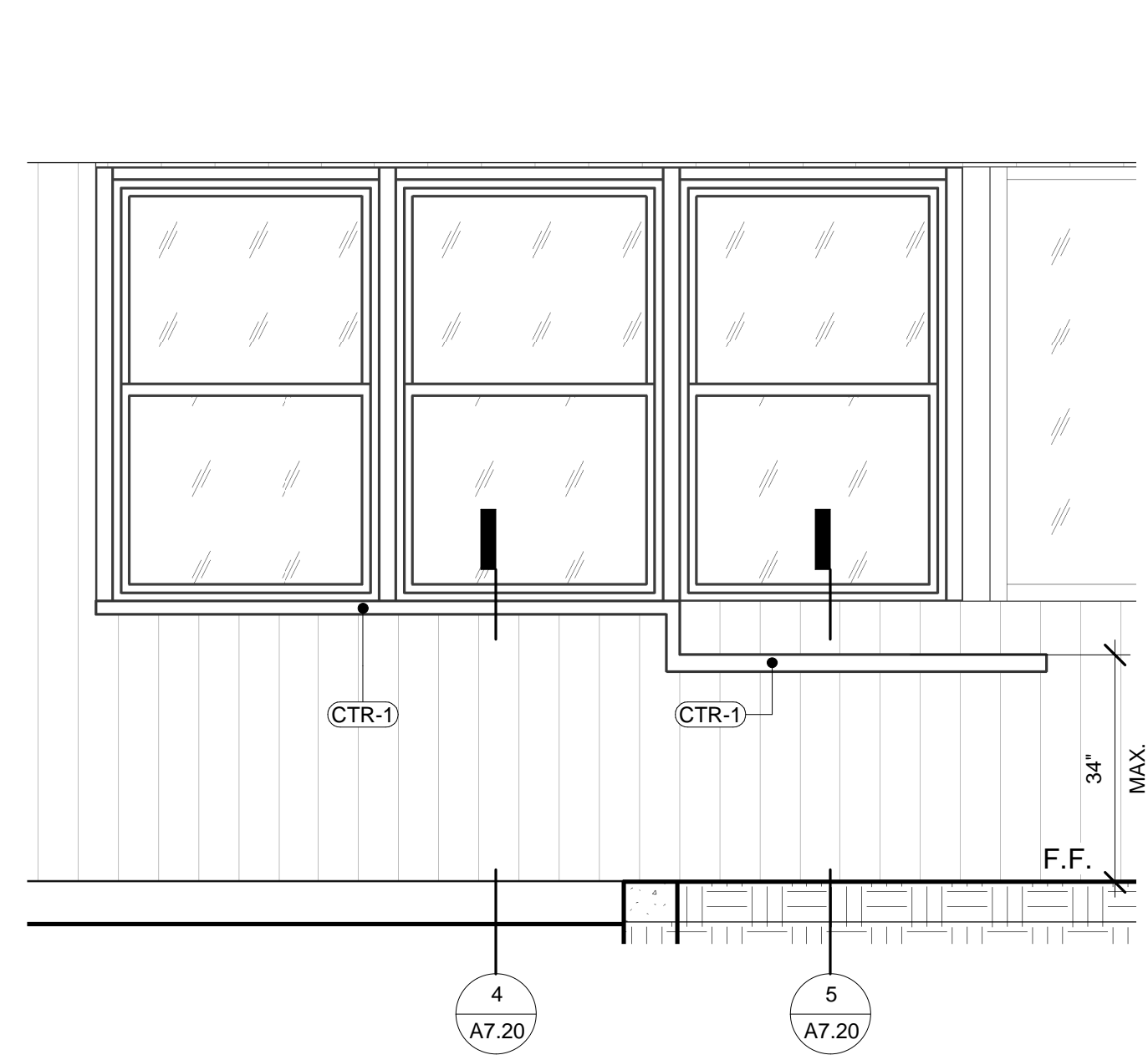
Project Number:
 138-004-18
 Sheet Title:
 FINISH PLAN &
 SCHEDULES
 Sheet Number:
A3.00



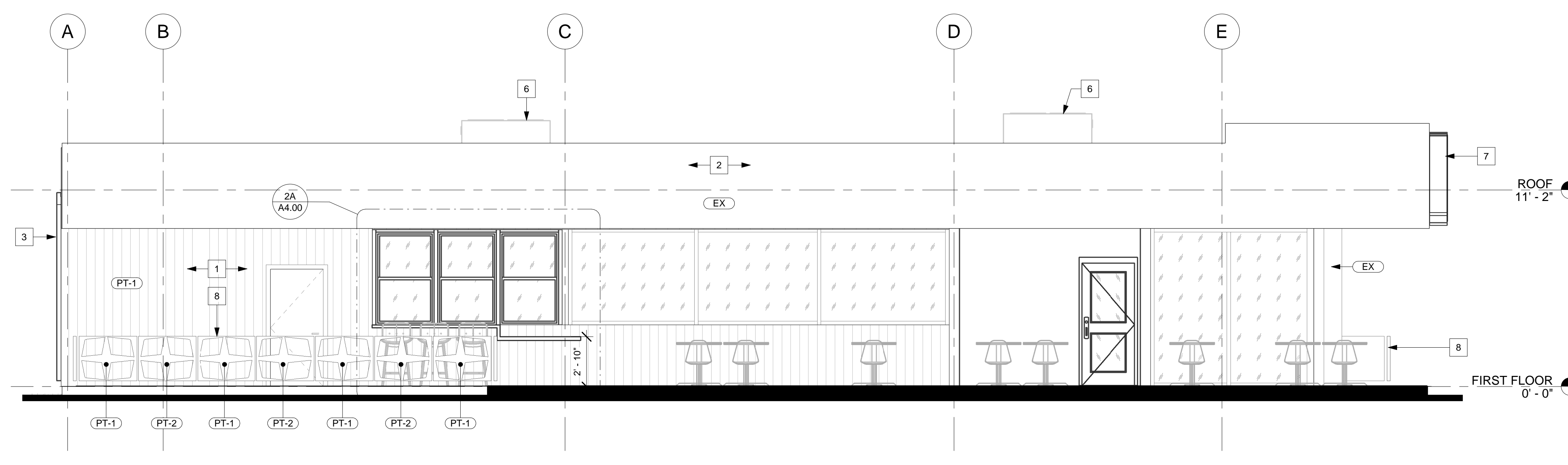
4 WEST ELEVATION
1/4" = 1'-0"



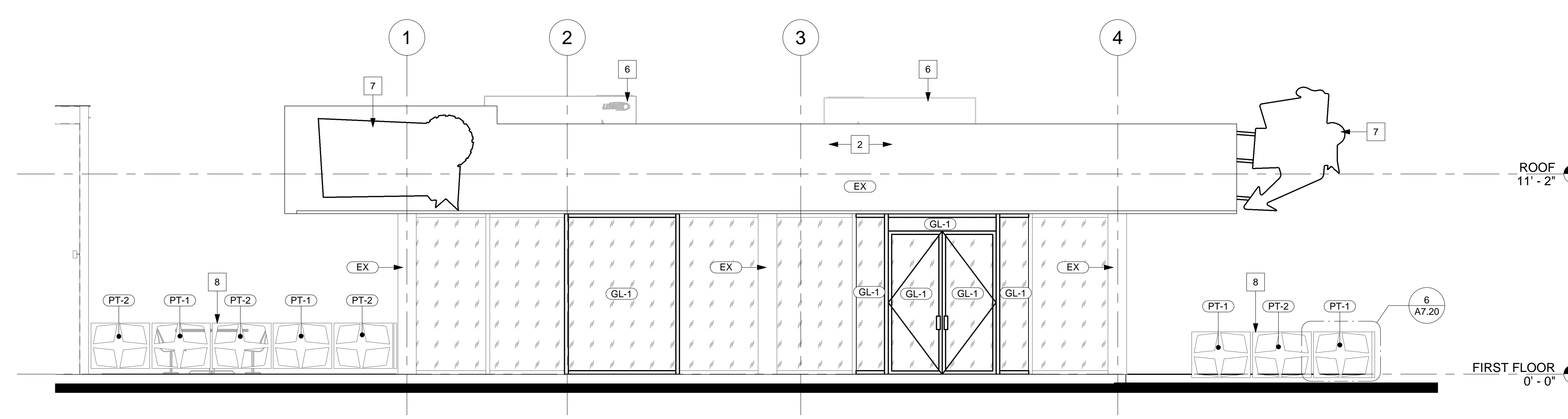
3 SOUTH ELEVATION
1/4" = 1'-0"



2A ELEVATION AT BAR
1/2" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS	
NUMBER	NOTE
1	(E) WOOD PANELING TO BE PAINTED
2	(E) CORRUGATED METAL PANEL
3	(E) GUTTER AND DOWNSPOUT. REINSTALL OVER HARDIE PANELS.
4	(E) LIGHT FIXTURE. REINSTALL OVER HARDIE PANELS.
5	(E) GAS METER AND ELECTRICAL PANEL LOCATION PER PLUMBING & ELECTRICAL PLANS.
6	MECHANICAL EQUIPMENT. PER MECHANICAL DRAWINGS.
7	SIGNAGE. UNDER SEPARATE PERMIT.
8	CUSTOM GATE.

MATERIAL SCHEDULE FOR REFERENCE ONLY. SEE SHEET A4.00 FOR COMPLETE MATERIAL & FINISH SCHEDULE	
MARK	DESCRIPTION
ACT-1	2X2 ACOUSTICAL CEILING TILE
ACT-2	2X4 ACOUSTICAL CEILING TILE
CON-1	POLISHED CONCRETE
CTR-1	BUTCHER BLOCK
EX	EXISTING FINISH
FRP-1	FIBER REINFORCED PLASTIC
GL-1	GLAZING TO MATCH (E)
MTL-1	STAINLESS STEEL
PL-1	LAMINATE DARK WOOD
PT-1	WHITE PAINT
PT-2	LIGHT BLUE PAINT
PT-3	RED PAINT
PT-4	BLACK PAINT
TL-1	WHITE SUBWAY TILE
TL-2	GRAY QUARRY TILE

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Issue For:
 CONSTRUCTION
 Issue Date:
 03/14/19
 Revisions:

NO.	REASON	DATE
2	OWNER COMMENTS	3/14/19

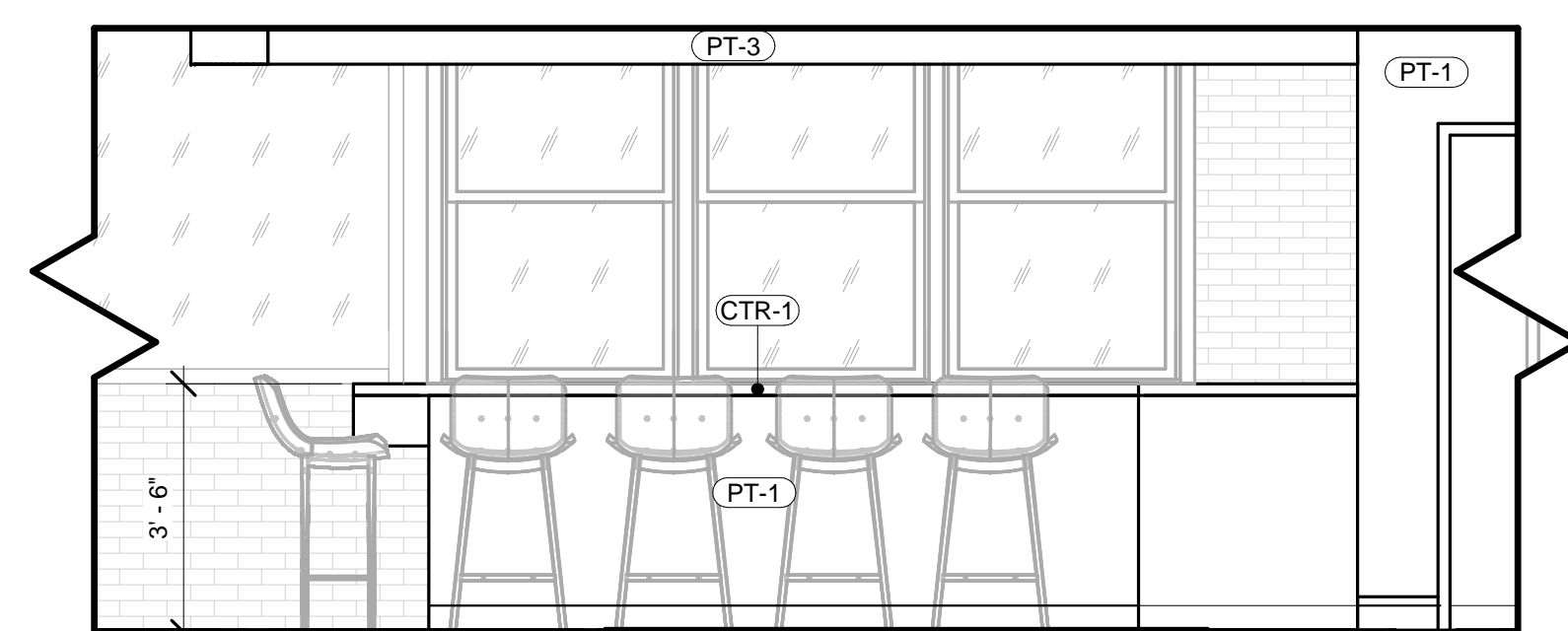
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 Checker:
 DRAWN BY:
 Author:

Project Number:
 138-004-18
 Sheet Title:
 EXTERIOR ELEVATIONS

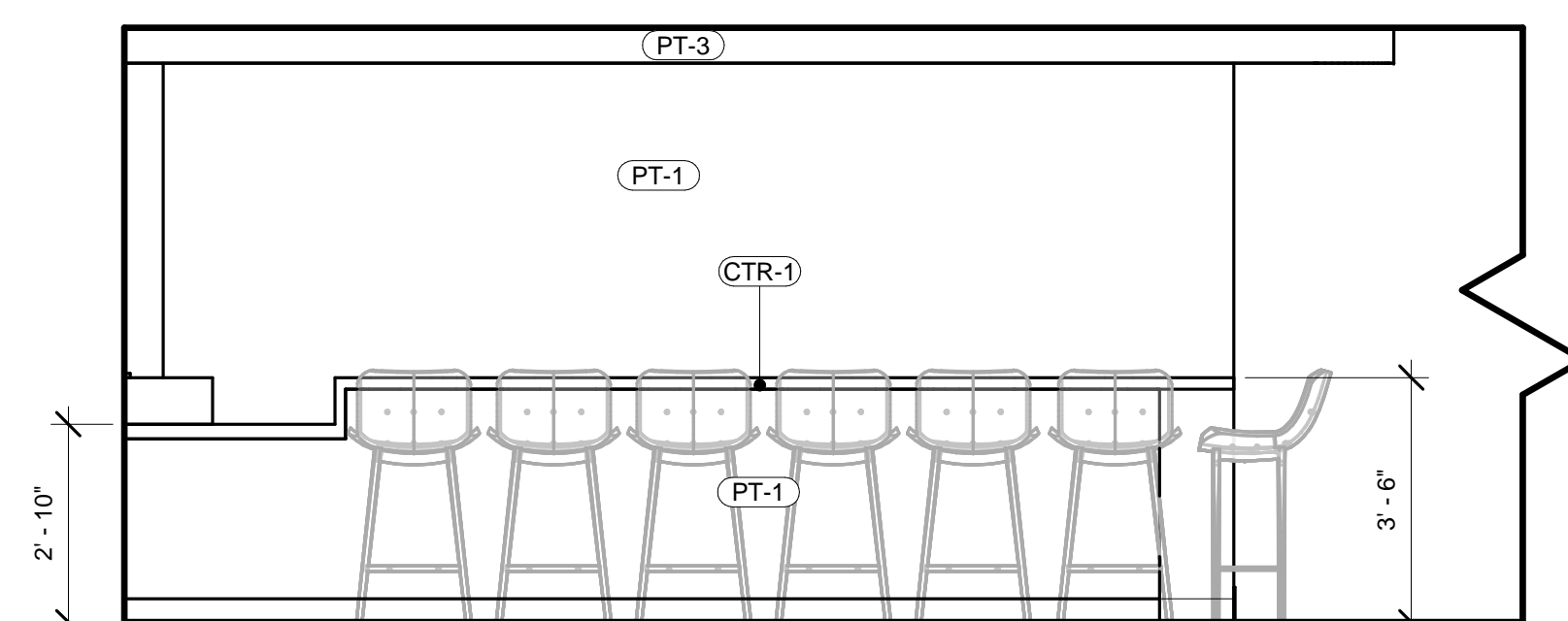
Sheet Number:
 A4.00

KEYNOTES - INTERIOR ELEVATIONS	
NUMBER	NOTE

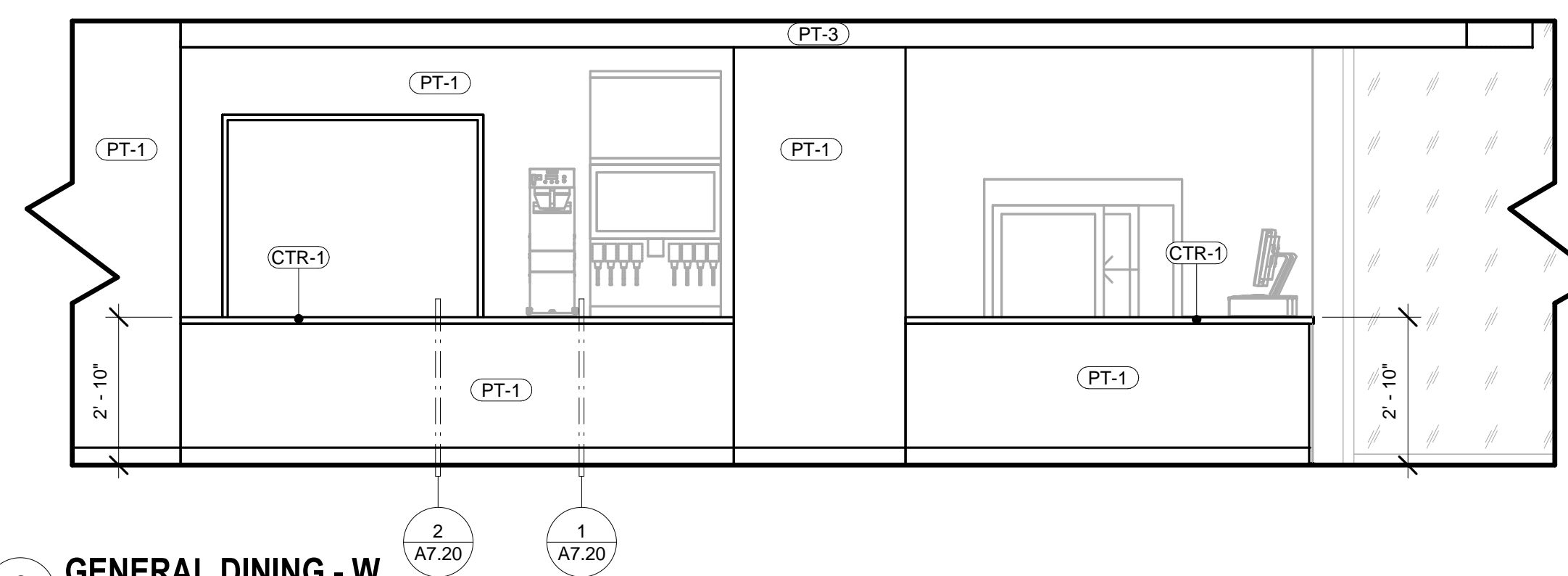
MATERIAL SCHEDULE	
MARK	DESCRIPTION
ACT-1	2X2 ACOUSTICAL CEILING TILE
ACT-2	2X4 ACOUSTICAL CEILING TILE
CON-1	POLISHED CONCRETE
CTR-1	BUTCHER BLOCK
EX	EXISTING FINISH
FRP-1	FIBER REINFORCED PLASTIC
GL-1	GLAZING TO MATCH (E)
MTL-1	STAINLESS STEEL
PL-1	LAMINATE DARK WOOD
PT-1	WHITE PAINT
PT-2	LIGHT BLUE PAINT
PT-3	RED PAINT
PT-4	BLACK PAINT
TL-1	WHITE SUBWAY TILE
TL-2	GRAY QUARRY TILE



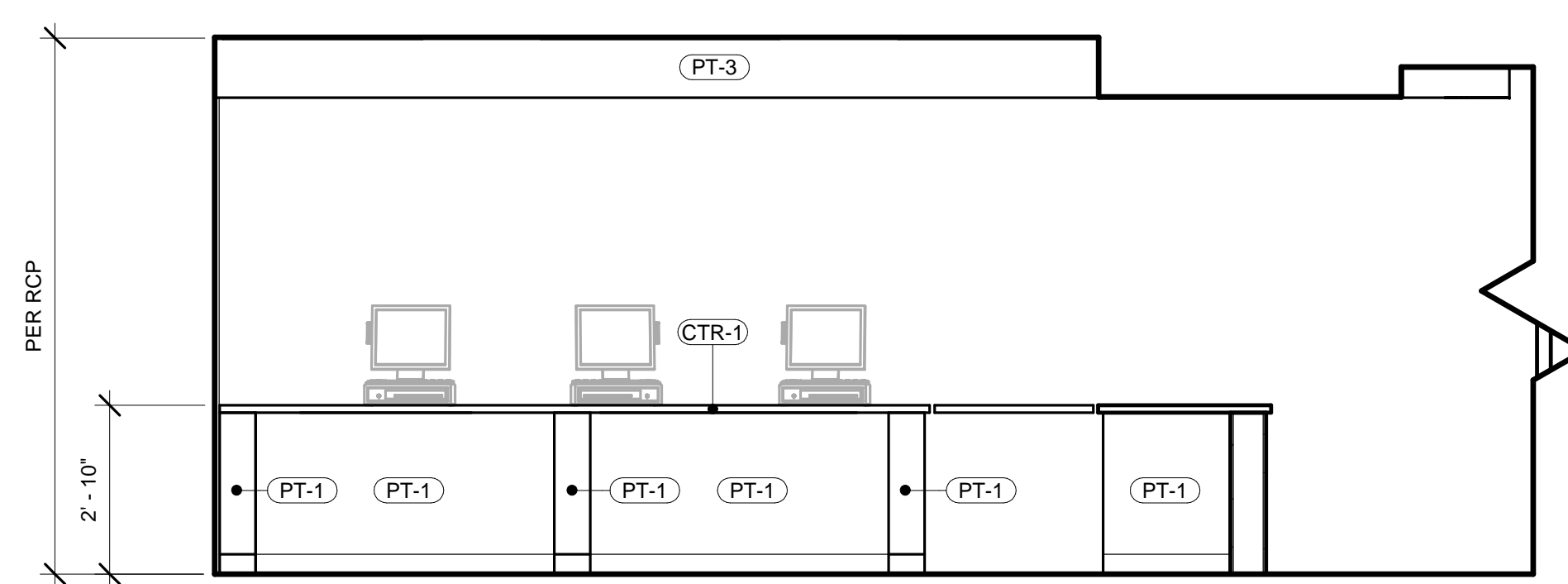
8 BAR - W
3/8" = 1'-0"



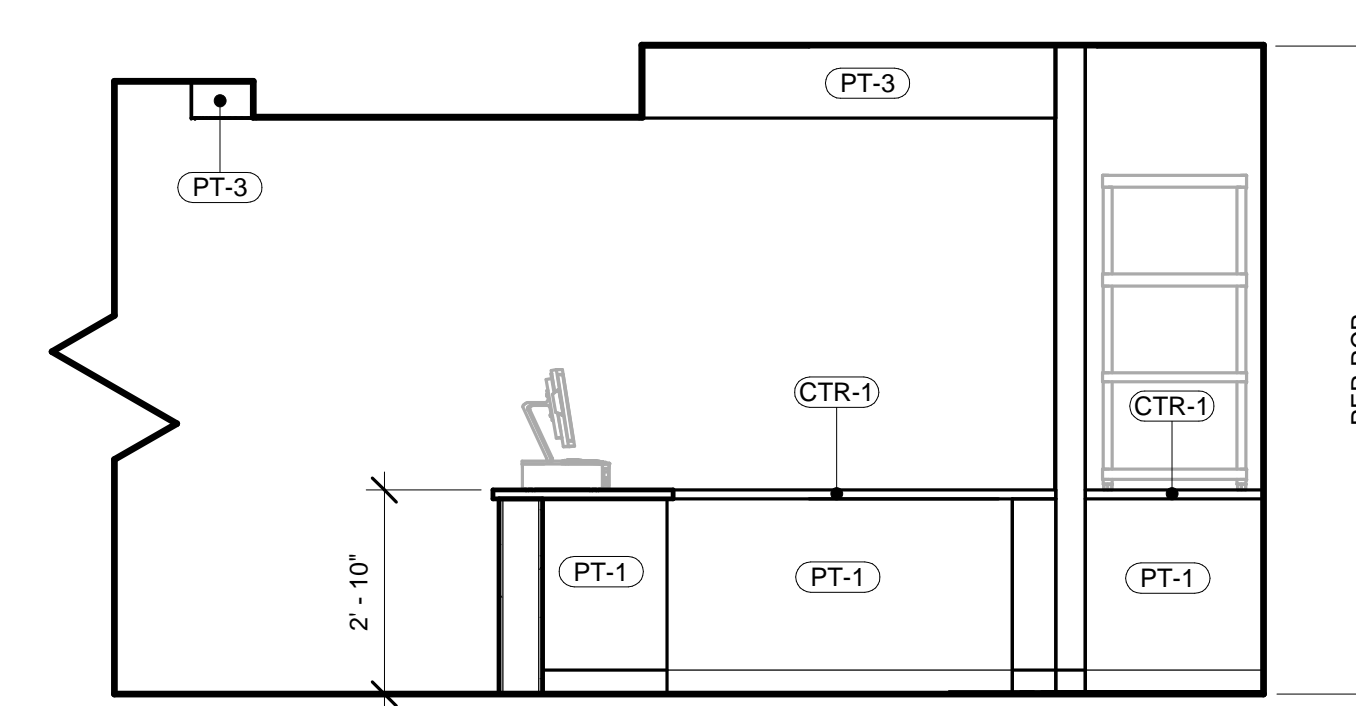
7 BAR - S
3/8" = 1'-0"



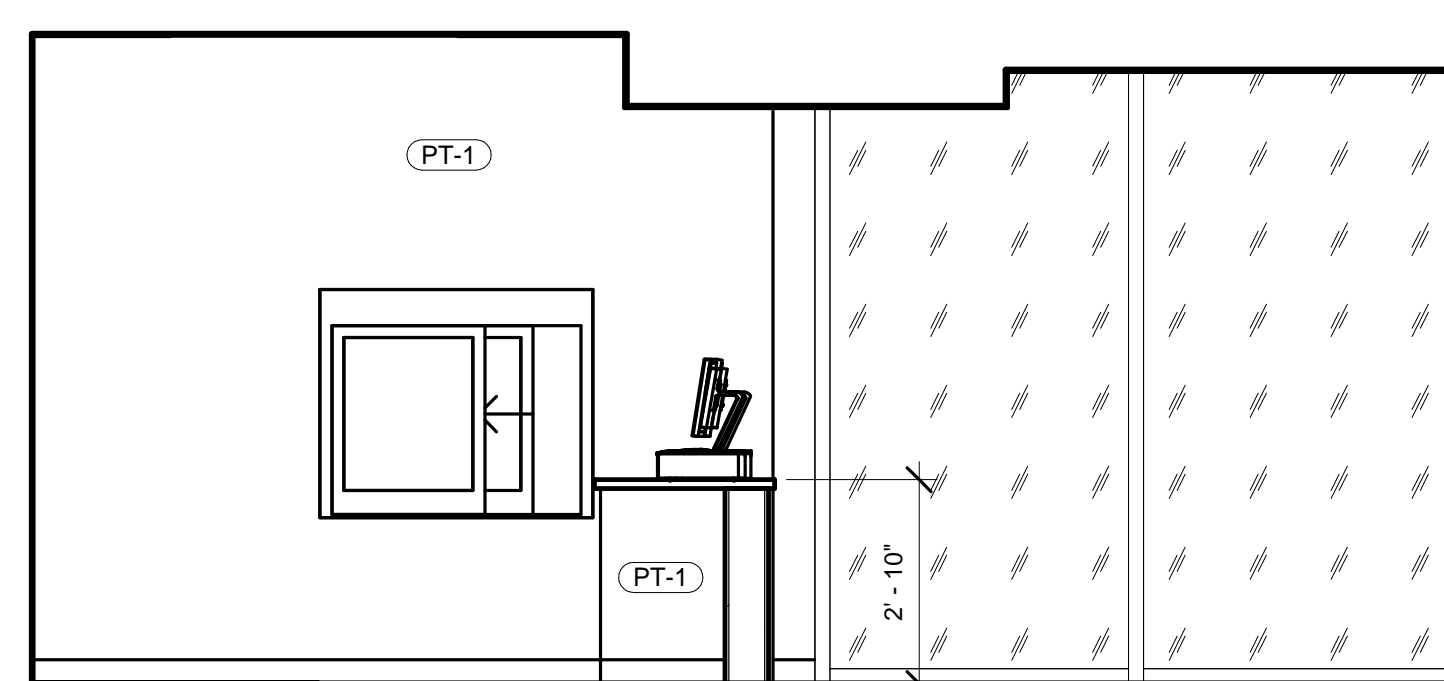
6 GENERAL DINING - W
3/8" = 1'-0"



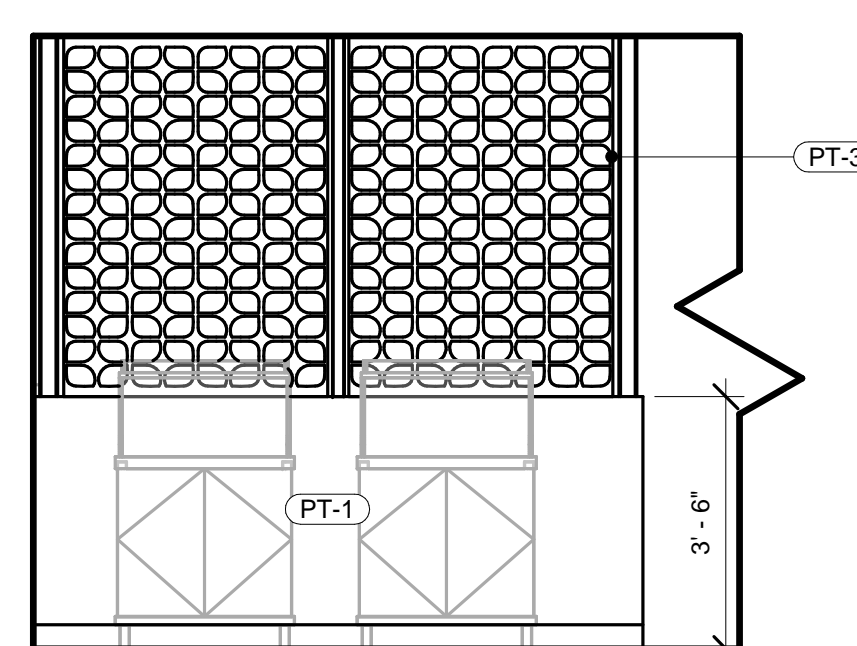
5 POINT OF SALE - N
3/8" = 1'-0"



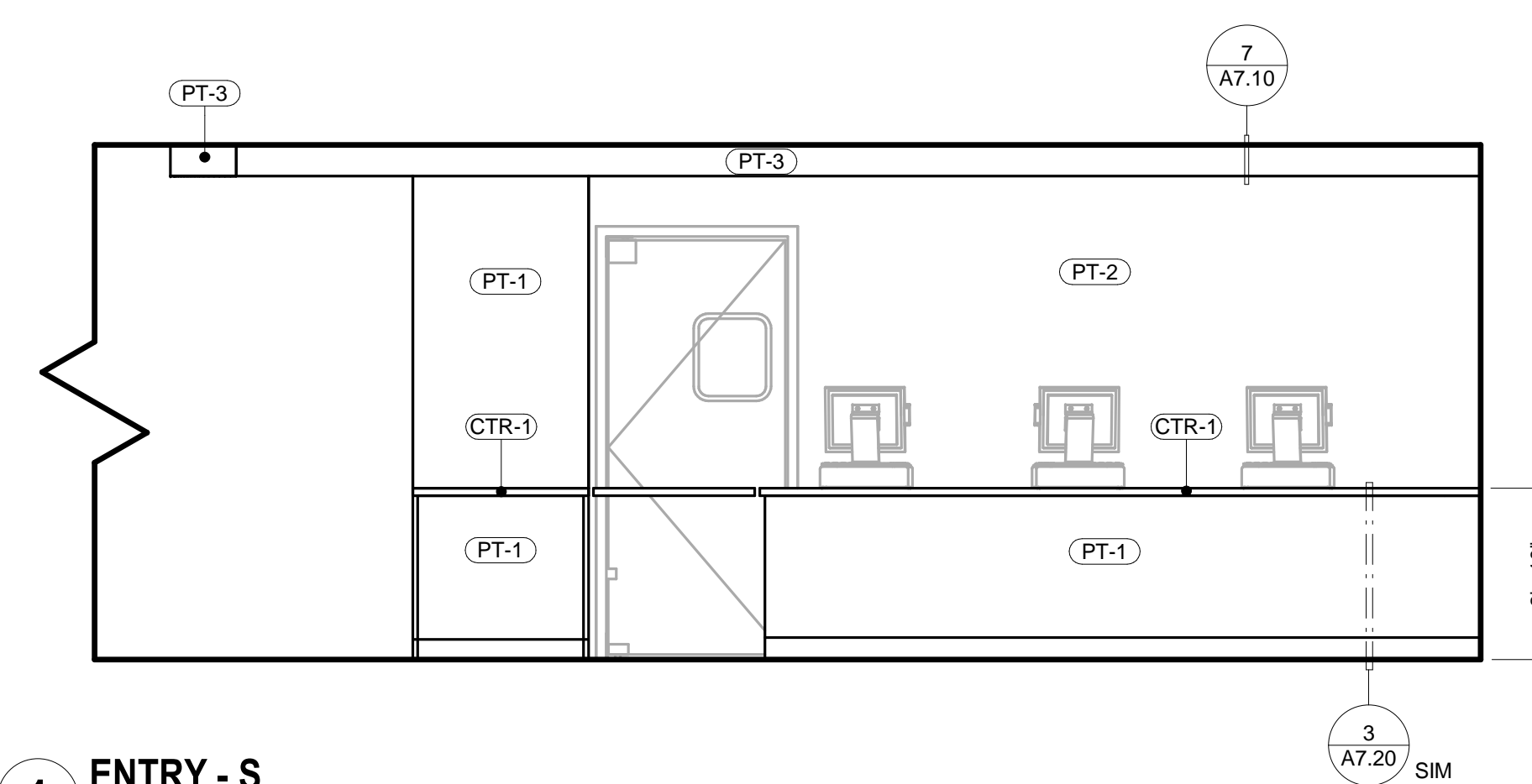
4 POINT OF SALE - E
3/8" = 1'-0"



3 ENTRY - W
3/8" = 1'-0"



2 ENTRY - E
3/8" = 1'-0"



1 ENTRY - S
3/8" = 1'-0"



Architect:
GEOFFREY B. LIM
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Top Round ROAST BEEF
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CONSTRUCTION

Issue Date:
03/14/19

Revisions:

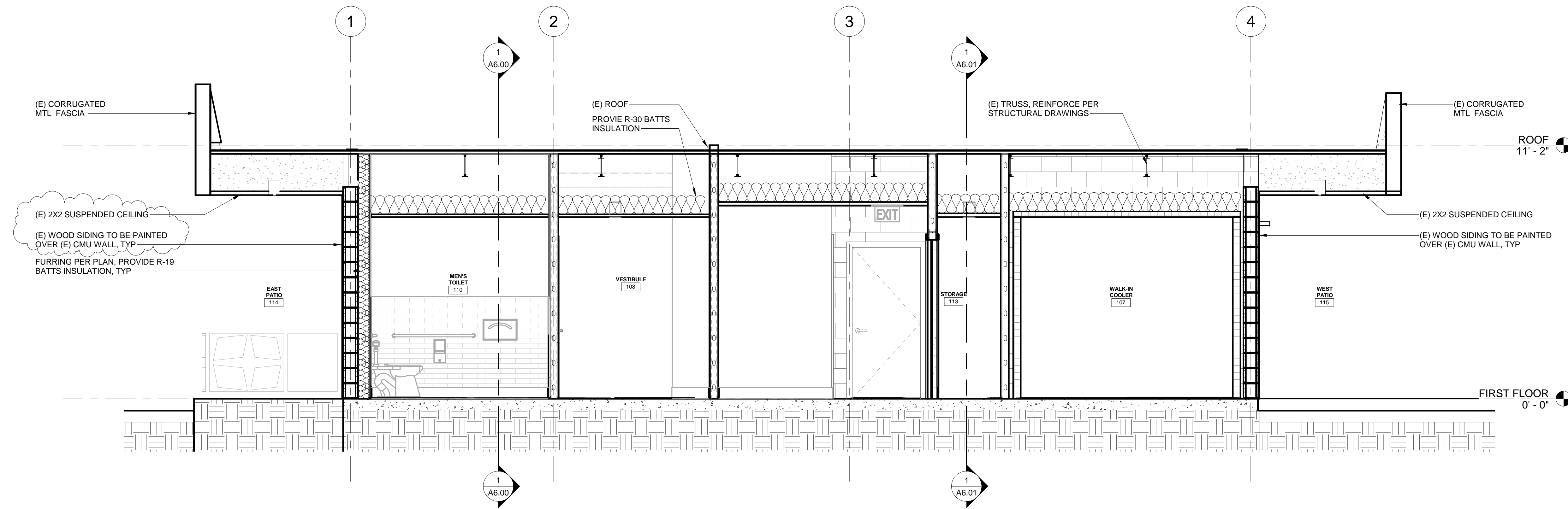
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PROJECT MANAGER:
Checker
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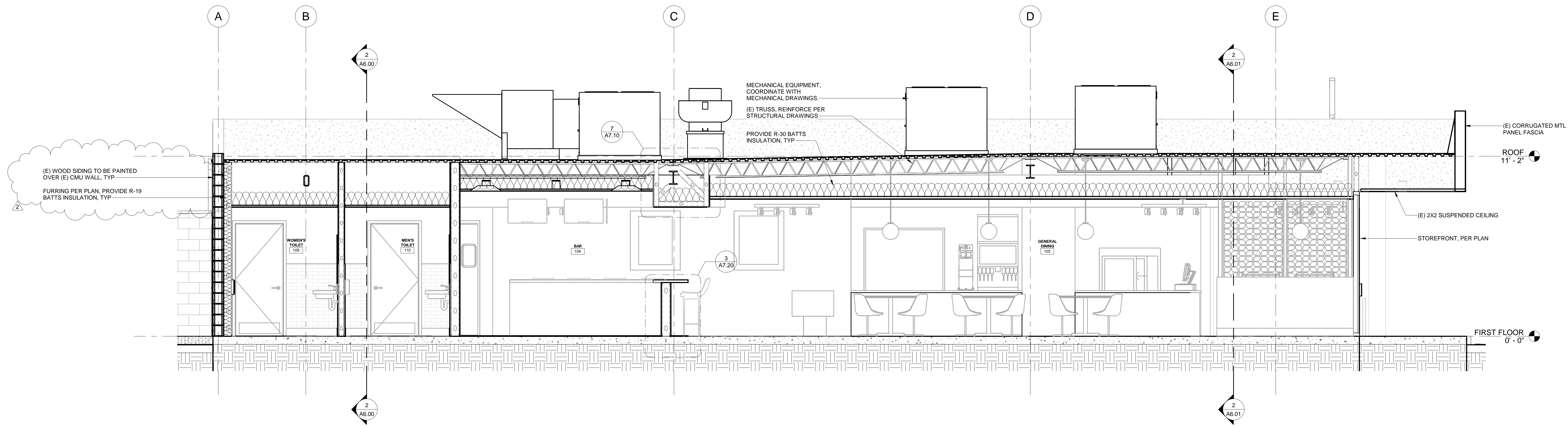
Project Number:
138-004-18

Sheet Title:
INTERIOR ELEVATION

Sheet Number:
A5.00

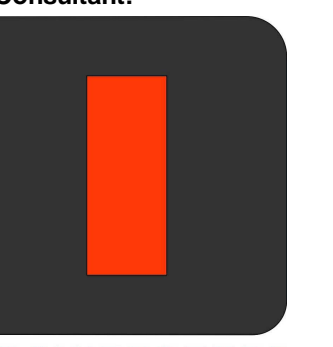


2 BUILDING SECTION 2
3/8" = 1'-0"



1 BUILDING SECTION 1
3/8" = 1'-0"

Design Consultant:



ARCHITECTURE

Innovation and Design
in Architecture, Inc.

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Architect:

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Revisions:
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Approver

PROJECT MANAGER:

Checker

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Author

Project Number:

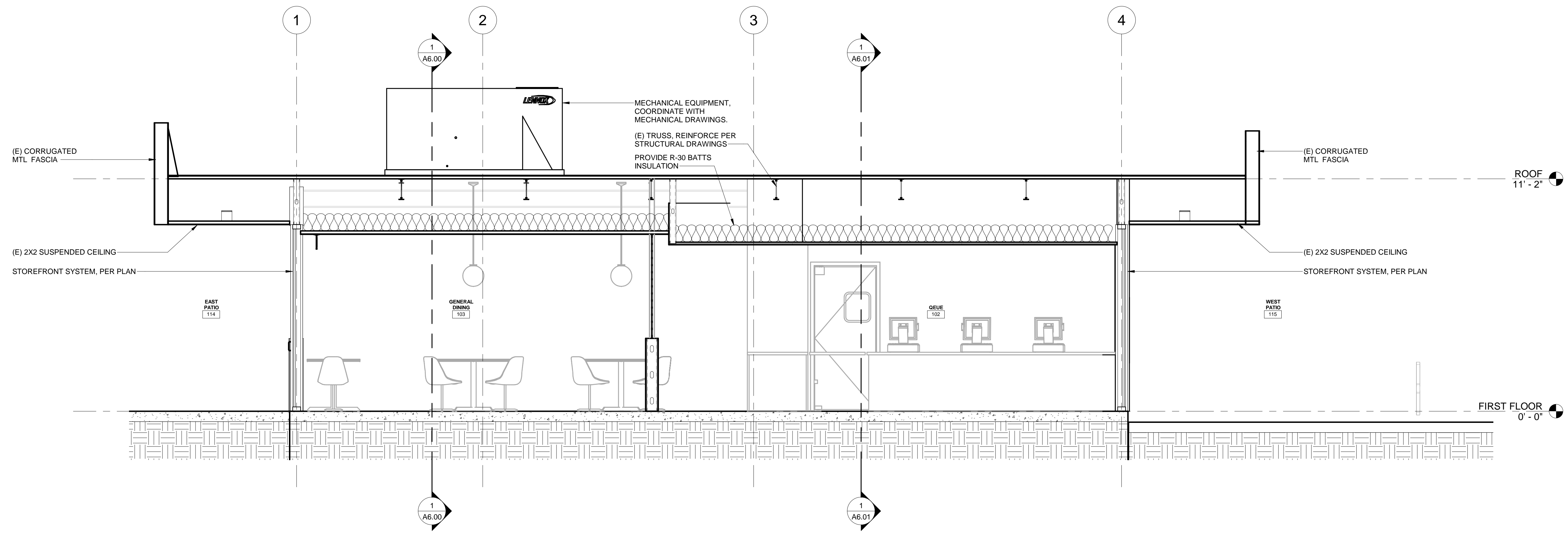
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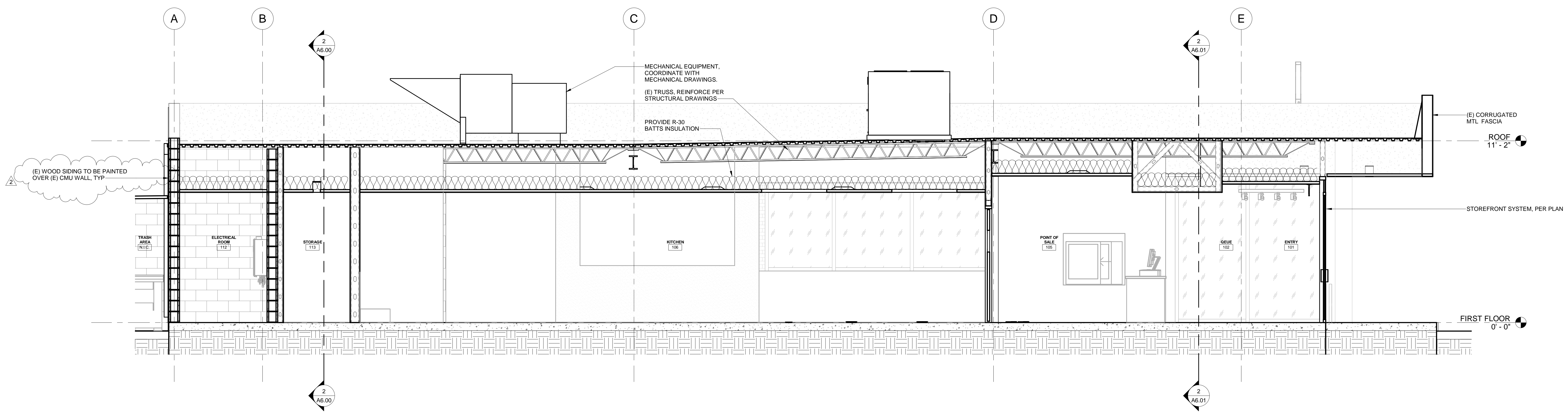
BUILDING SECTIONS

Sheet Number:

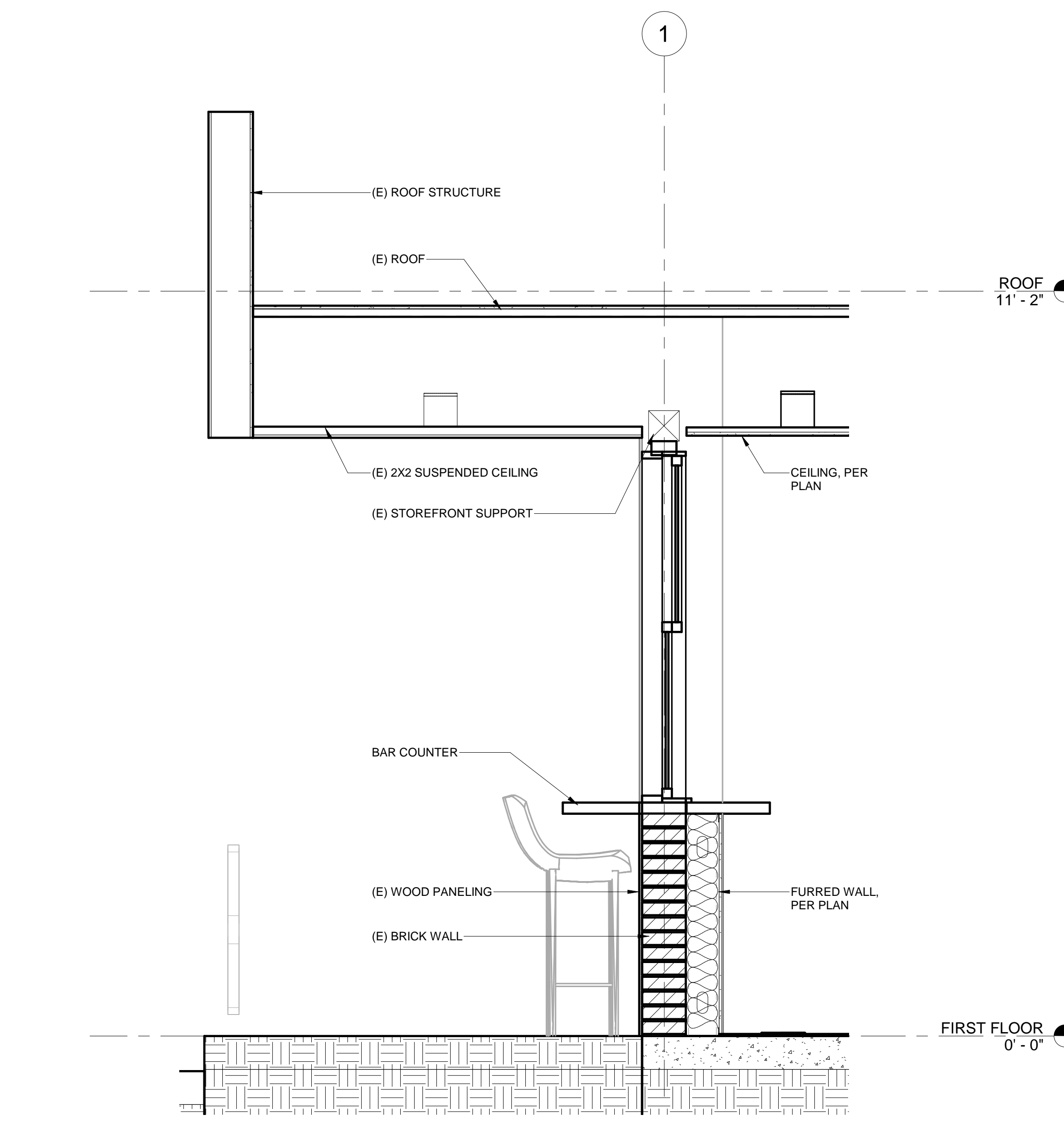
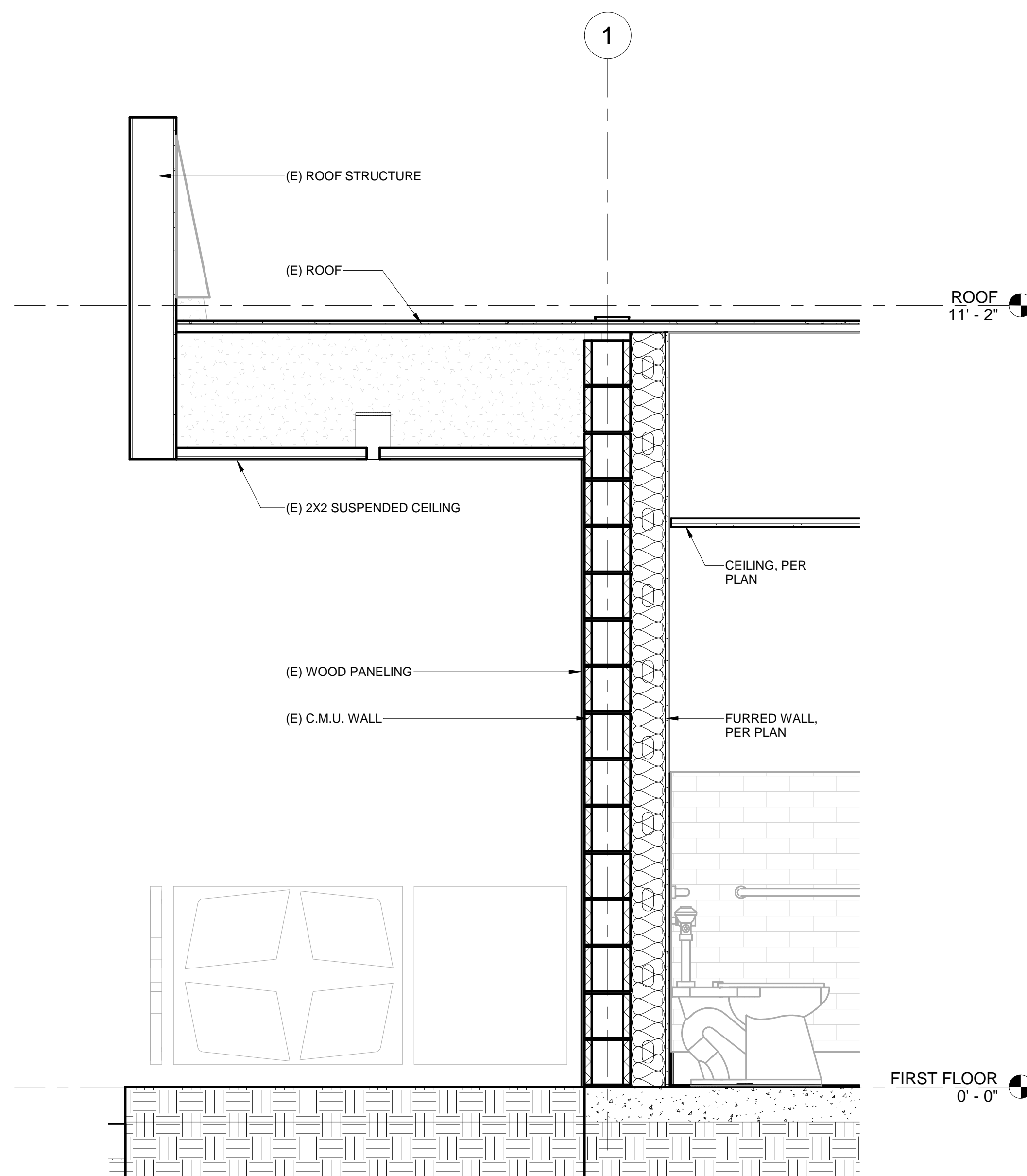
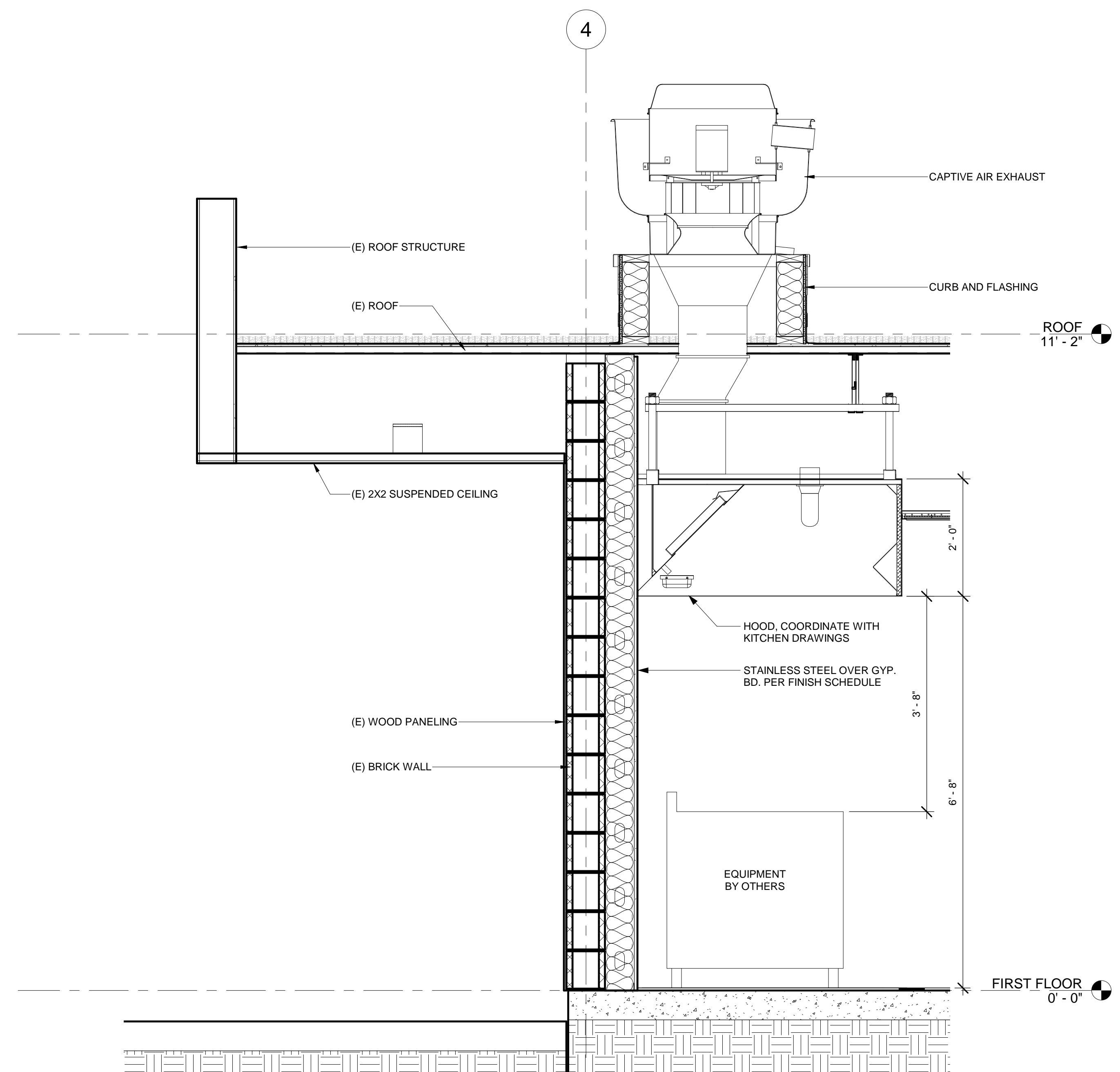
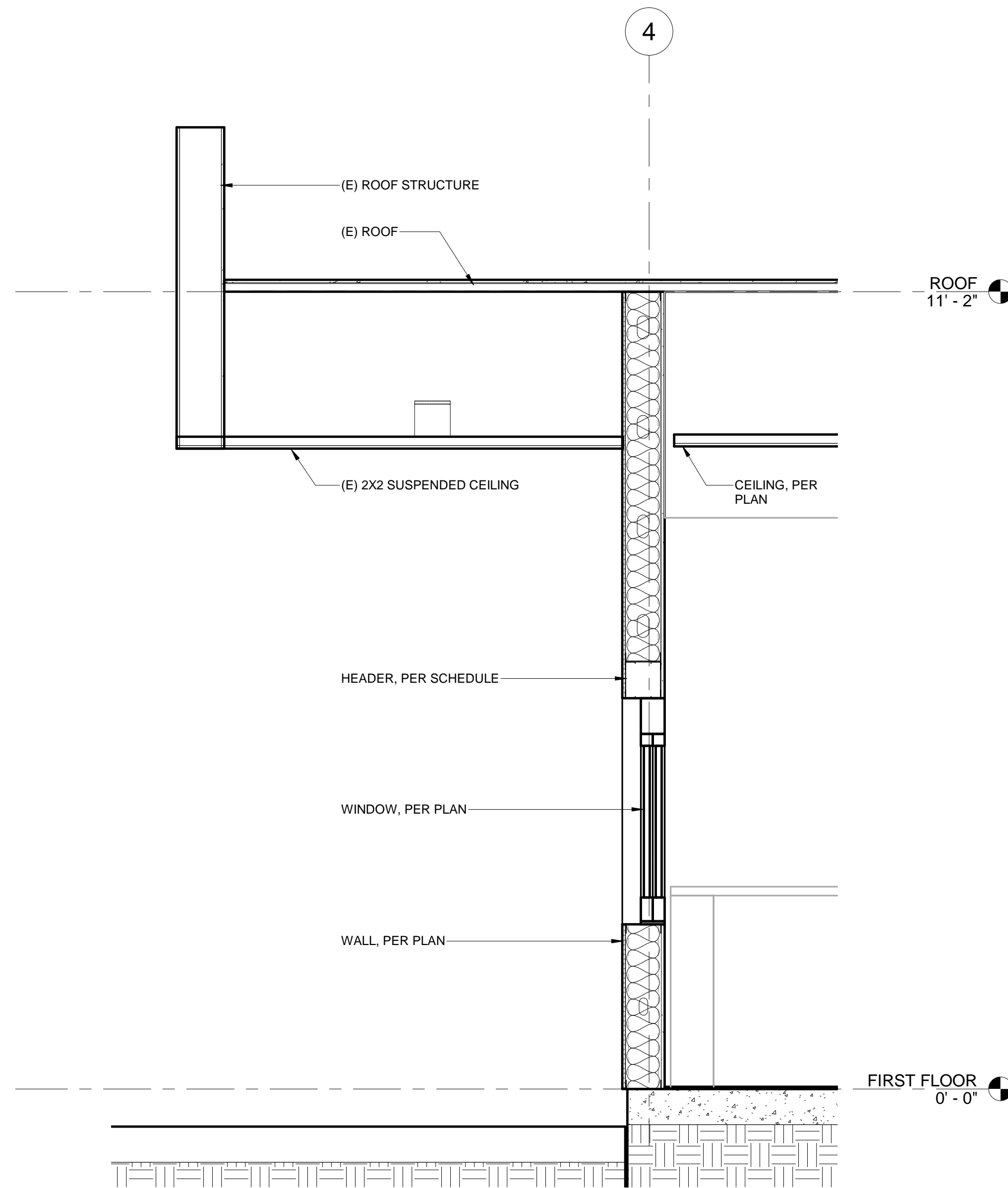
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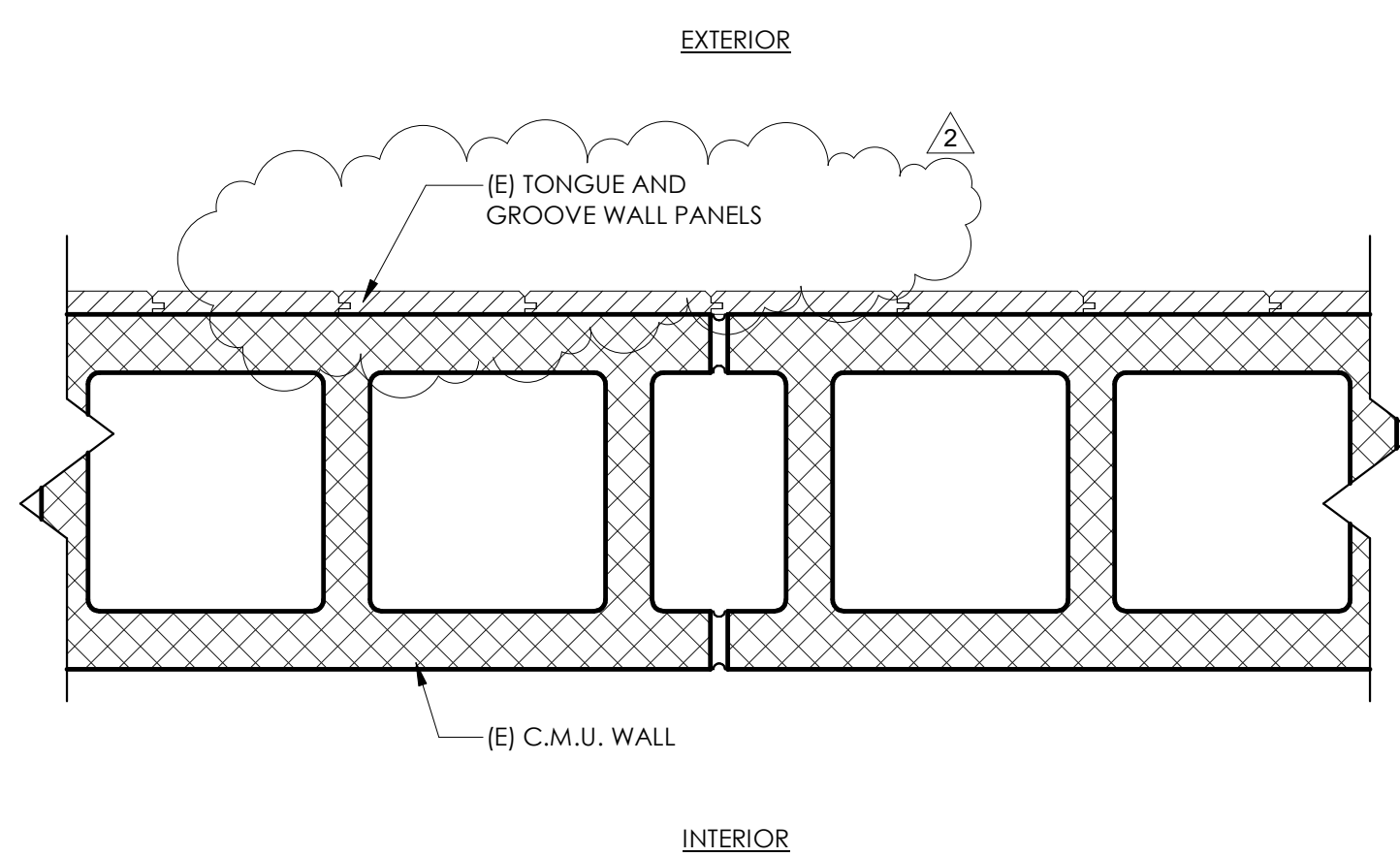
2 BUILDING SECTION 4
3/8" = 1'-0"



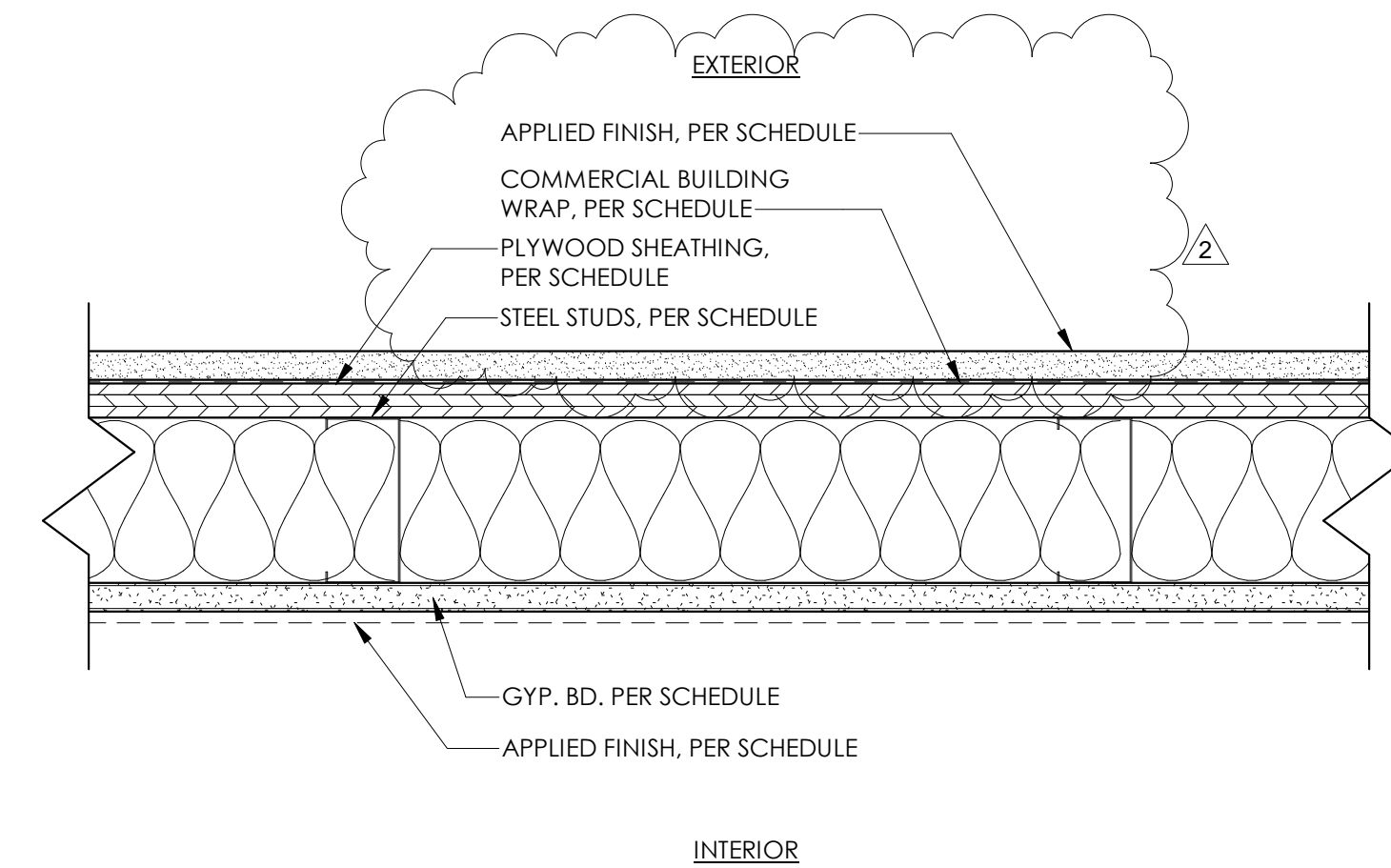
1 BUILDING SECTION 3
3/8" = 1'-0"



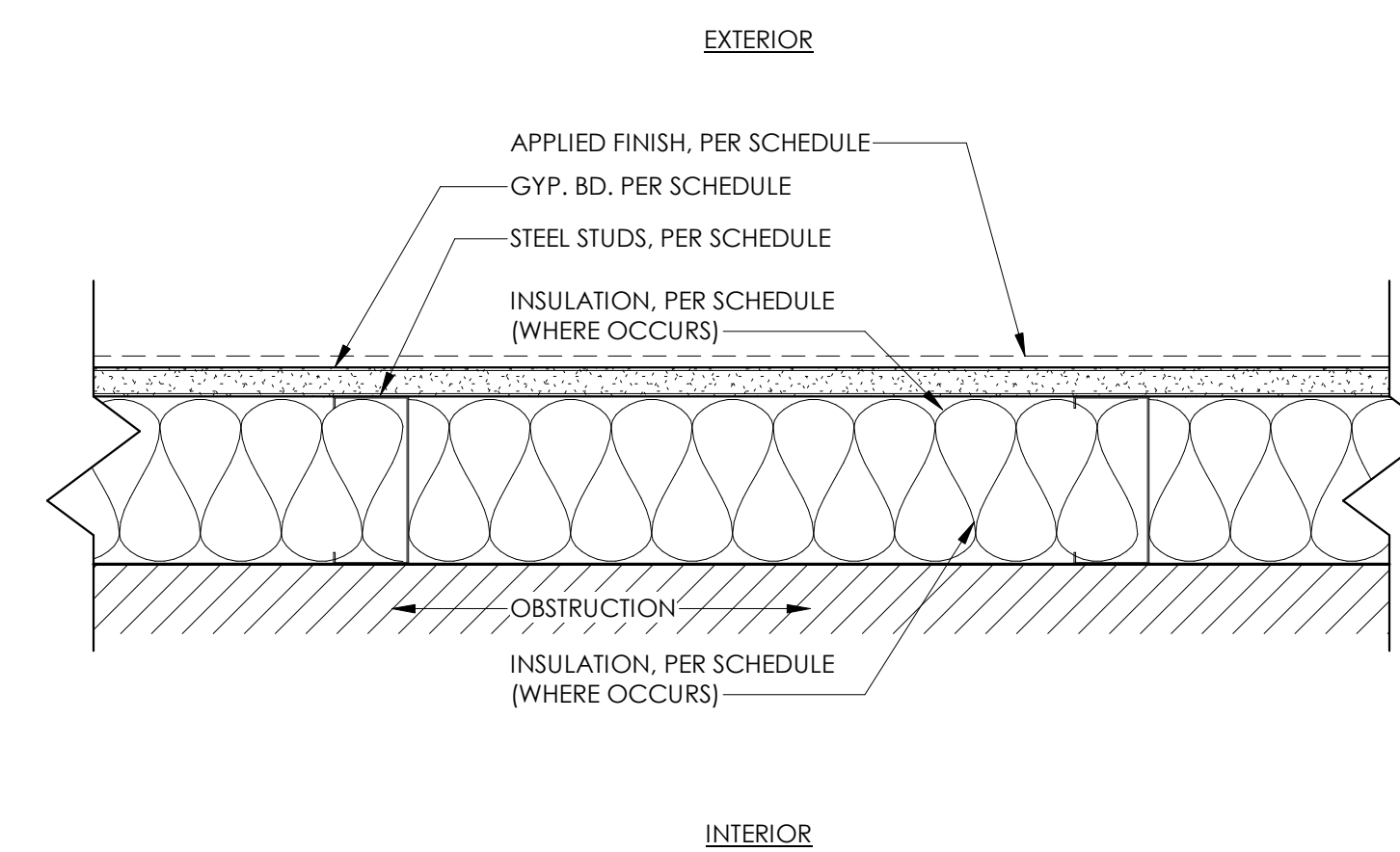
WALL TYPE SCHEDULE											
TYPE	TYPE LOCATION	STUD SIZE	STUD GAUGE	FIRE RATING	INSULATION	APPLIED SURFACE MATERIALS		HEIGHT	BOTTOM CONNECTION	TOP CONNECTION	COMMENTS / NOTES
						SIDE A (EXTERIOR)	SIDE B (INTERIOR)				
A1	Interior	3 5/8"	16	N/A	N/A	5/8" GYPSUM WALLBOARD	5/8" GYPSUM WALLBOARD	FULL HEIGHT	2/A7.01	5/A7.01	
A2	Interior	3 5/8"	16	N/A	N/A	TILE OVER MORTAR OVER 5/8" GREEN BOARD	TILE OVER MORTAR OVER 5/8" GREEN BOARD	FULL HEIGHT	2/A7.01	5/A7.01	TILE WAINSCOTT TO 54" A.F.F.
A3	Interior	3 5/8"	16	N/A	N/A	5/8" GYPSUM WALLBOARD	TILE OVER MORTAR OVER 5/8" GREEN BOARD	FULL HEIGHT	2/A7.01	5/A7.01	TILE WAINSCOTT TO 54" A.F.F.
A4	Interior	3 5/8"	16	N/A	N/A	FRP OVER 5/8" GREEN BOARD	FRP OVER 5/8" GREEN BOARD	FULL HEIGHT	2/A7.01	5/A7.01	
A5	Interior	3 5/8"	16	N/A	N/A	5/8" GYPSUM WALLBOARD	FRP OVER 5/8" GREEN BOARD	FULL HEIGHT	2/A7.01	5/A7.01	
A6	Interior	6"	16	N/A	N/A	FRP OVER 5/8" GREEN BOARD	TILE OVER MORTAR OVER 5/8" GREEN BOARD	FULL HEIGHT	2/A7.01	5/A7.01	TILE WAINSCOTT TO 54" A.F.F.
A7	Interior	6"	16	N/A	N/A	5/8" GYPSUM WALLBOARD	FRP OVER 5/8" GREEN BOARD	FULL HEIGHT	2/A7.01	5/A7.01	
A8	Interior	6"	16	N/A	N/A	5/8" GYPSUM WALLBOARD	5/8" GYPSUM WALLBOARD	FULL HEIGHT	2/A7.01	5/A7.01	
B1	Interior	3 5/8"	16	N/A	N/A	5/8" GYPSUM WALLBOARD	N/A	FULL HEIGHT	2/A7.01	5/A7.01	
B2	Interior	3 5/8"	16	N/A	N/A	FRP OVER 5/8" GREEN BOARD	N/A	FULL HEIGHT	2/A7.01	5/A7.01	
B3	Interior	3 5/8"	16	N/A	R-19	TILE OVER MORTAR OVER 5/8" GREEN BOARD	N/A	FULL HEIGHT	2/A7.01	5/A7.01	TILE WAINSCOTT TO 54" A.F.F. PROVIDE BATTS INSULATION AT EXTERIOR WALL/FURRING LOCATIONS.
B4	Interior	6"	16	N/A	R-19	FRP OVER 5/8" GREEN BOARD	N/A	FULL HEIGHT	2/A7.01	5/A7.01	PROVIDE BATTS INSULATION AT EXTERIOR WALL/FURRING LOCATIONS.
B5	Interior	6"	16	N/A	R-19	STAINLESS STEEL OVER 5/8" GREEN BOARD	N/A	FULL HEIGHT	2/A7.01	5/A7.01	PROVIDE BATTS INSULATION AT EXTERIOR WALL/FURRING LOCATIONS.
B6	Interior	6"	16	N/A	R-19	TILE OVER MORTAR OVER 5/8" GREEN BOARD	N/A	FULL HEIGHT	2/A7.01	5/A7.01	TILE WAINSCOTT TO 54" A.F.F. PROVIDE BATTS INSULATION AT EXTERIOR WALL/FURRING LOCATIONS.
C1	Exterior	6"	16	N/A	R-19	5/8" DENSESHIELD OVER COMMERCIAL BUILDING WRAP OVER 1/2" PLYWOOD	5/8" GYPSUM WALLBOARD	FULL HEIGHT	2/A7.01	5/A7.01	
C2	Exterior	6"	16	N/A	R-19	5/8" DENSESHIELD OVER COMMERCIAL BUILDING WRAP OVER 1/2" PLYWOOD	FRP OVER 5/8" GREEN BOARD	FULL HEIGHT	2/A7.01	5/A7.01	
D1	Exterior	N/A	N/A	N/A	N/A	(E) WOOD PANELING	N/A	(E)	N/A	N/A	WALL PANELING TO BE PAINTED



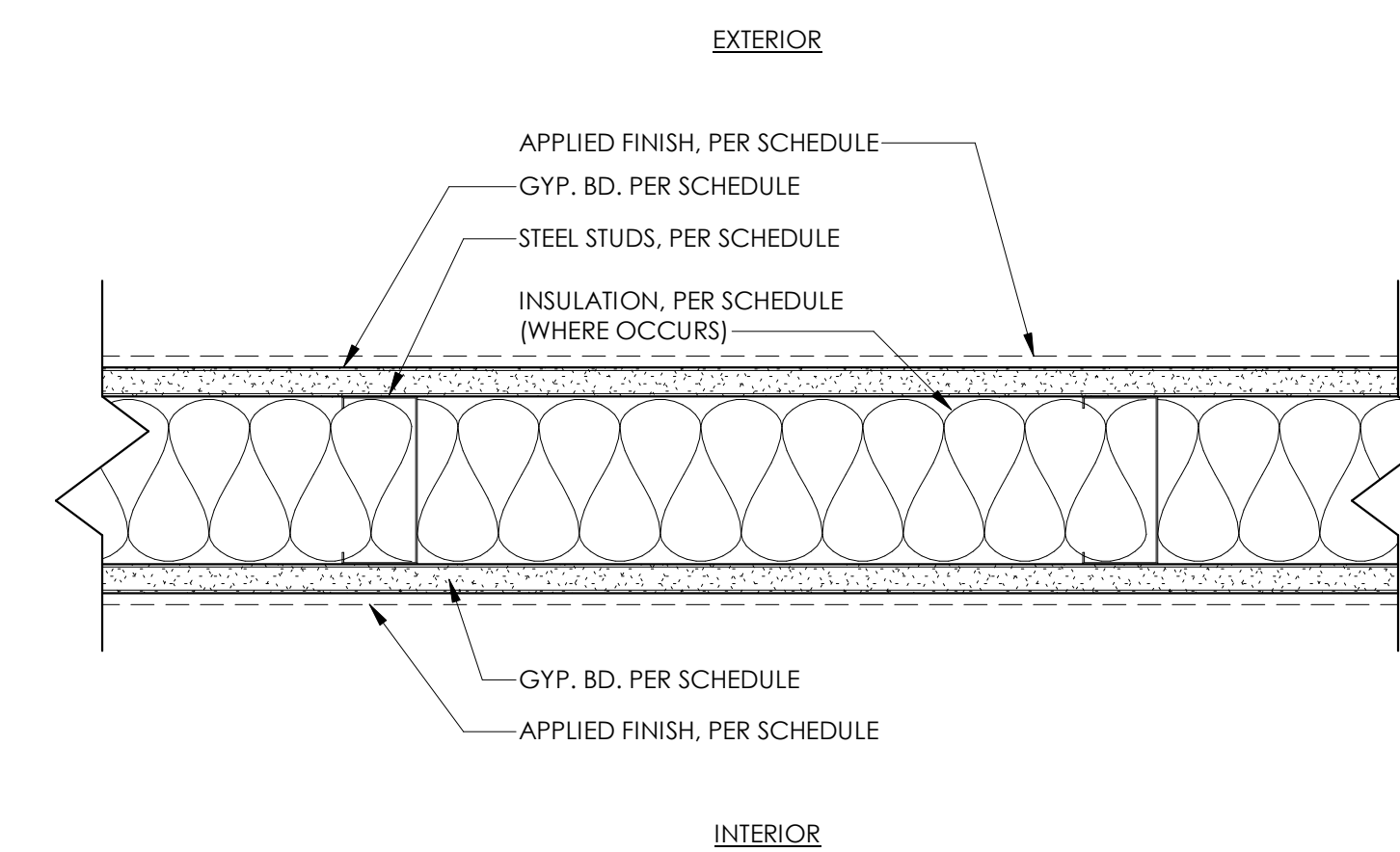
4 WALL TYPE - D
3" = 1'-0"



3 WALL TYPE - C
3" = 1'-0"



2 WALL TYPE - B
3" = 1'-0"



1 WALL TYPE - A
3" = 1'-0"

NOTE: SEE DETAIL 1/A7.01 FOR TYPICAL FRAMING ELEVATION

NOTE: SEE DETAIL 1/A7.01 FOR TYPICAL FRAMING ELEVATION

NOTE: SEE DETAIL 1/A7.01 FOR TYPICAL FRAMING ELEVATION

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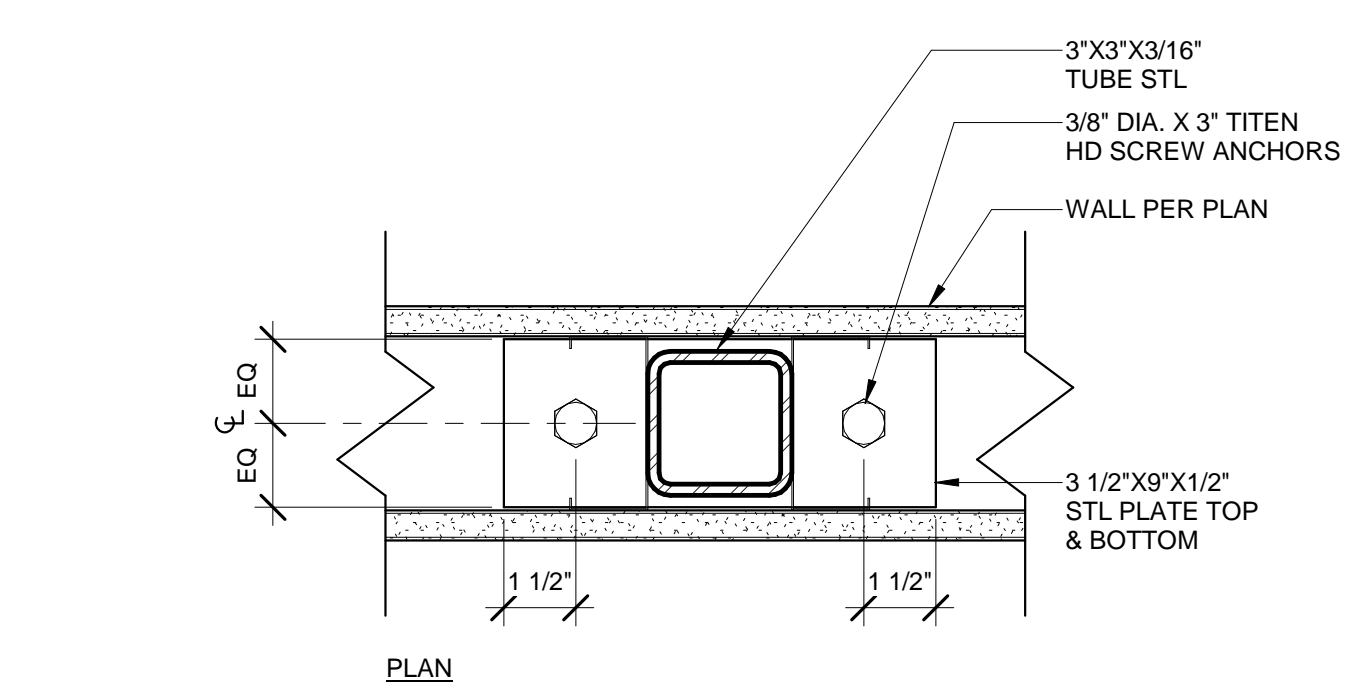
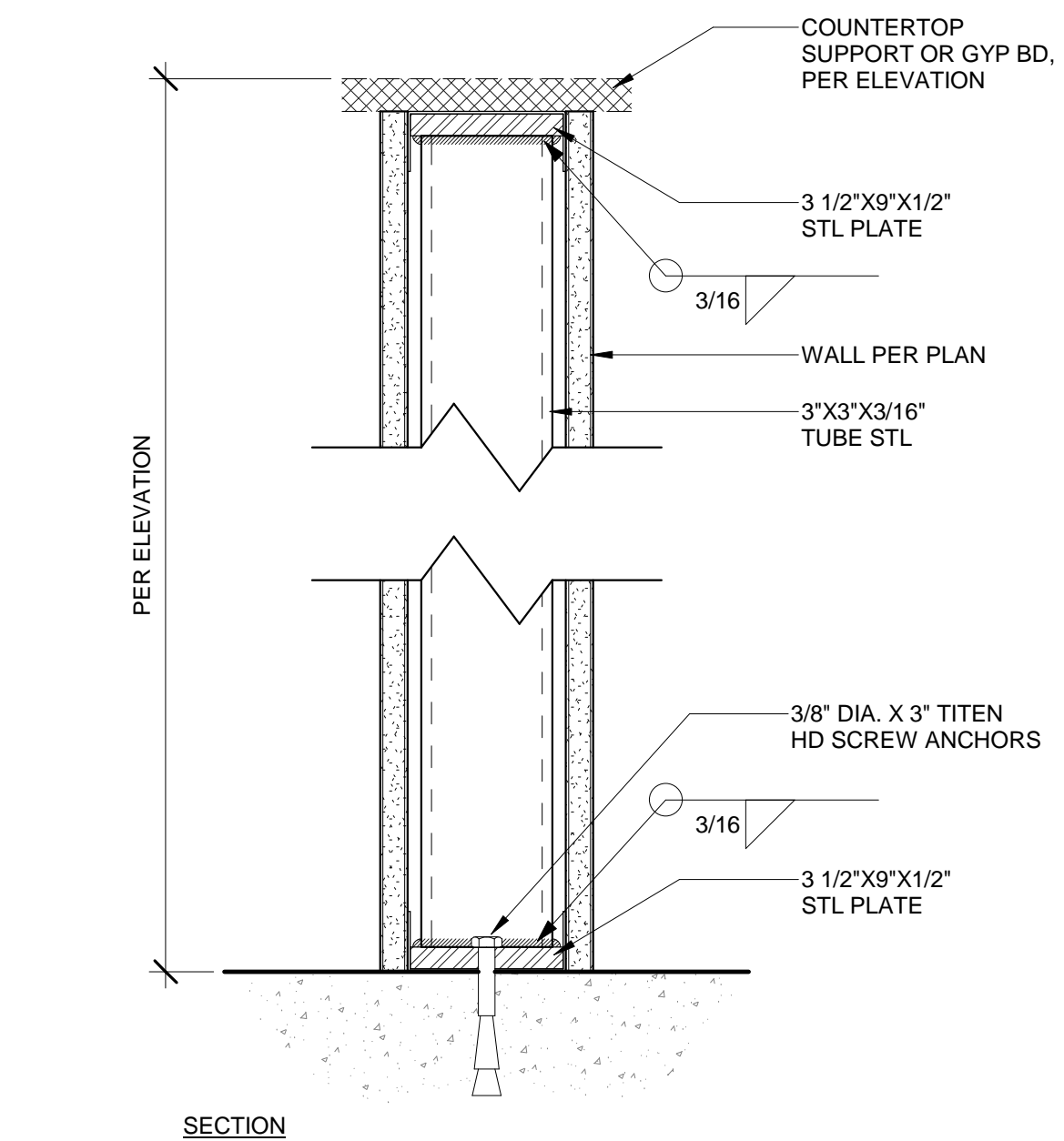
PRINCIPAL IN CHARGE:
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Author

Project Number:
138-004-18

Sheet Title:
WALL TYPES &
SCHEDULE

Sheet Number:

A7.00



13 PARTIAL HEIGHT WALL SUPPORT
3\"/>

LIGHT GAUGE FRAMING - CROSS REFERENCE GUIDE

SEISMIC DESIGN CATEGORIES C, D, E, & F

MIL THICKNESS - GAUGE NUMBER CROSS REFERENCE	
25 GA	18 MIL
22 GA	27 MIL
20 GA	33 MIL
18 GA	43 MIL
16 GA	54 MIL
14 GA	68 MIL
12 GA	97 MIL

EXAMPLE CROSS REFERENCE:

3 5/8\"/>	STUD DEPTH (S=STUD) = 3.625\"/>	FLANGE WIDTH (T=TRACK) = 1.625\"/>	STUD THICKNESS = .43 MIL (18 GA) /
-----------	---------------------------------	------------------------------------	------------------------------------

TYPICAL STRUCTURAL STUDS AND TRACKS

FORMER STANDARD DESIGNATION	NEW SSMA (STEEL STUD MANUFACTURERS ASSOCIATION)
2 1/2\"/>	2505162-33
2 1/2\"/>	2505162-43
3 5/8\"/>	3625162-33
3 5/8\"/>	3625162-43
6\"/>	6005162-33
6\"/>	6005162-43
8\"/>	8005162-33
8\"/>	8005162-44
10\"/>	10005162-33
10\"/>	10005162-44
12\"/>	12005162-54
12\"/>	12005162-97
1 5/8\"/>	1627125-27
1 5/8\"/>	1627125-33
2 1/2\"/>	2507125-33
2 1/2\"/>	2507200-33
2 1/2\"/>	2507125-43
2 1/2\"/>	2507200-43
3 5/8\"/>	3627125-33
3 5/8\"/>	3627200-33
3 5/8\"/>	3627125-43
3 5/8\"/>	3627200-43
6\"/>	6007125-33
6\"/>	6007200-33
6\"/>	6007125-43
6\"/>	6007200-43

DRYWALL STUDS FOR SEISMIC DESIGN CATEGORIES A & B ONLY

3 5/8\"/>	3625125-30
3 5/8\"/>	3627100-30
6\"/>	6005125-30
6\"/>	6007100-30

TYPICAL HAT (FURRING) CHANNELS

7/8\"/>	087F125-18
7/8\"/>	087F125-27

LIGHT GAUGE FRAMING SCREW CONNECTIONS

UNLESS NOTED, LIGHT GAUGE FRAMING CONNECTIONS SHALL BE MADE USING #8 SCREWS. SEE DETAILS A102 FOR DIAGONAL BRACING CONNECTIONS.

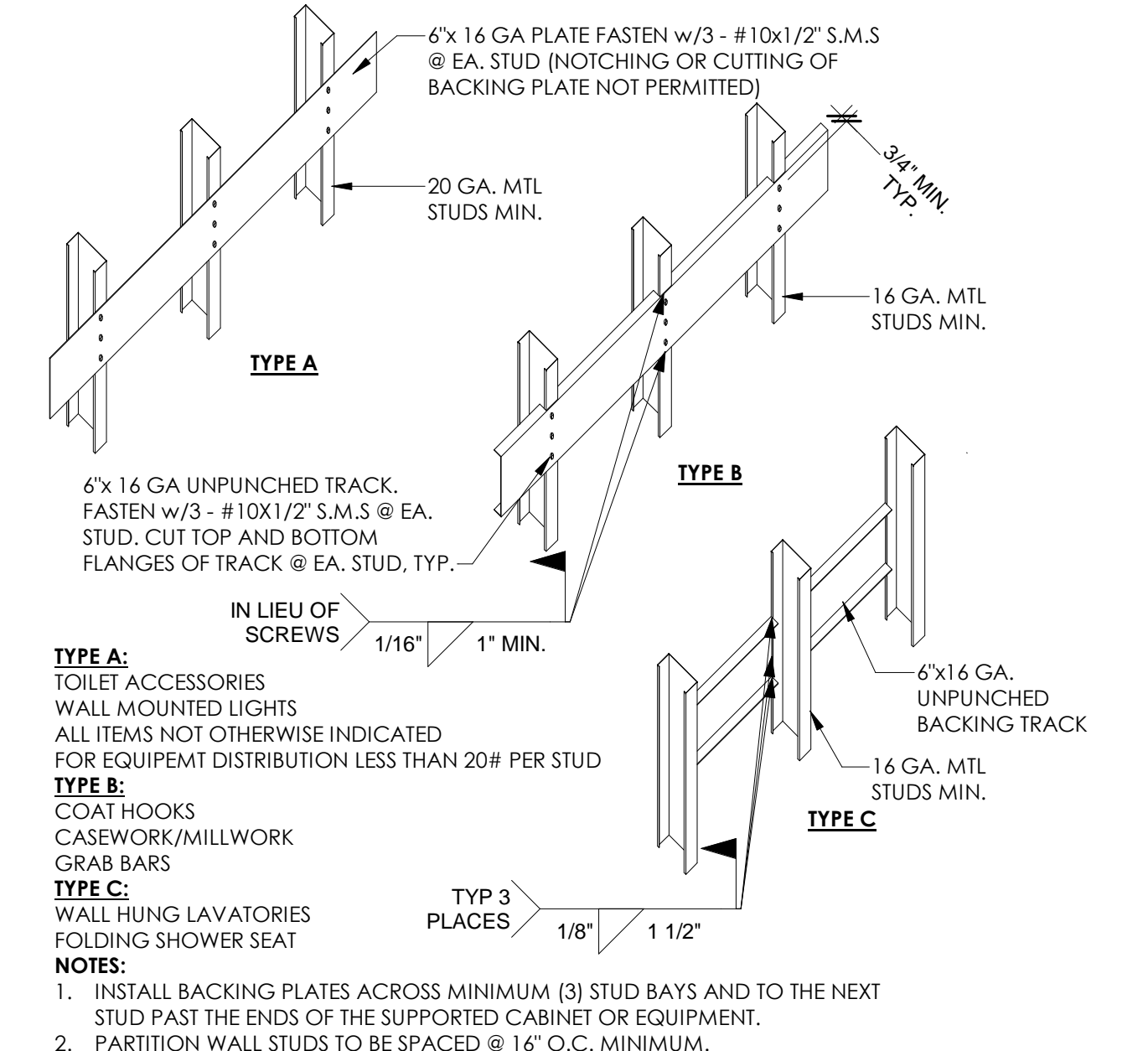
AT LOCATIONS WHERE SHEATHING MATERIAL IS PLACED AGAINST THE SCREW HEADS OF LIGHT GAUGE METAL FRAMING CONNECTIONS, PANCAKE HEAD SCREWS SHALL BE USED SO THAT THE SHEATHING MATERIAL REMAINS STRAIGHT & SMOOTH.

STUD SIZE MATRIX FOR ALL INTERIOR PARTITIONS

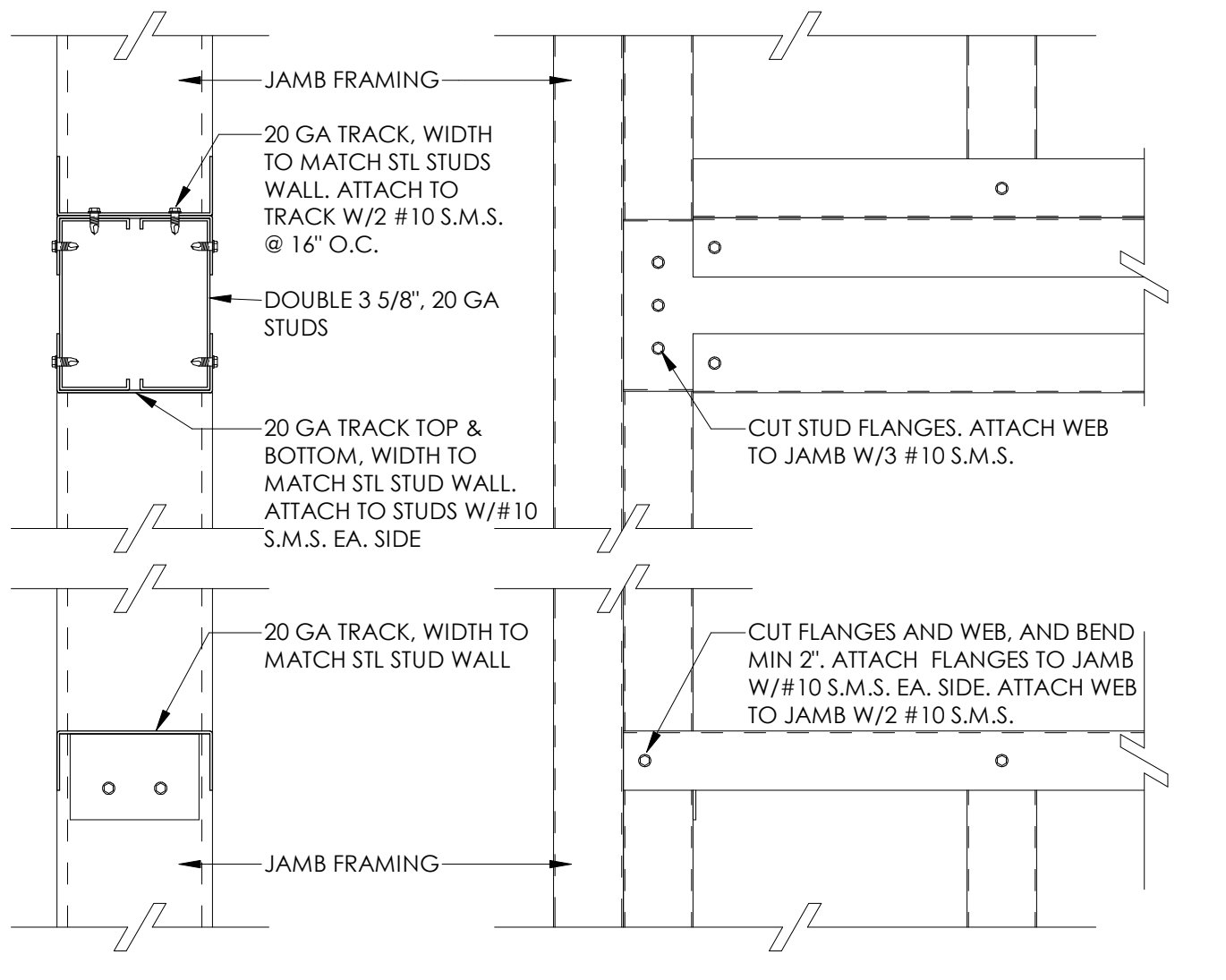
STUD DESIGNATION	STUD DEPTH	FLANGE WIDTH	STUD GAUGE	STUD SPACING	MAXIMUM WALL HEIGHT SPANNING FROM FLOOR TO DECK
3625162-33	3 5/8\"/>	1 5/8\"/>	20	16\"/>	17' - 6\"/>
3625162-43	3 5/8\"/>	1 5/8\"/>	18	16\"/>	19' - 0\"/>
3625162-54	3 5/8\"/>	1 5/8\"/>	16	16\"/>	20' - 6\"/>
6005162-33	6\"/>	1 5/8\"/>	20	16\"/>	25' - 6\"/>
6005162-43	6\"/>	1 5/8\"/>	18	16\"/>	28' - 0\"/>
6005162-54	6\"/>	1 5/8\"/>	16	16\"/>	30' - 0\"/>

NOTES:
 1. DESIGN BASED ON ALLOWABLE DEFLECTION OF L/240.
 2. DESIGN BASED ON $F_y = 33$ KSI FOR 3 5/8\"/>

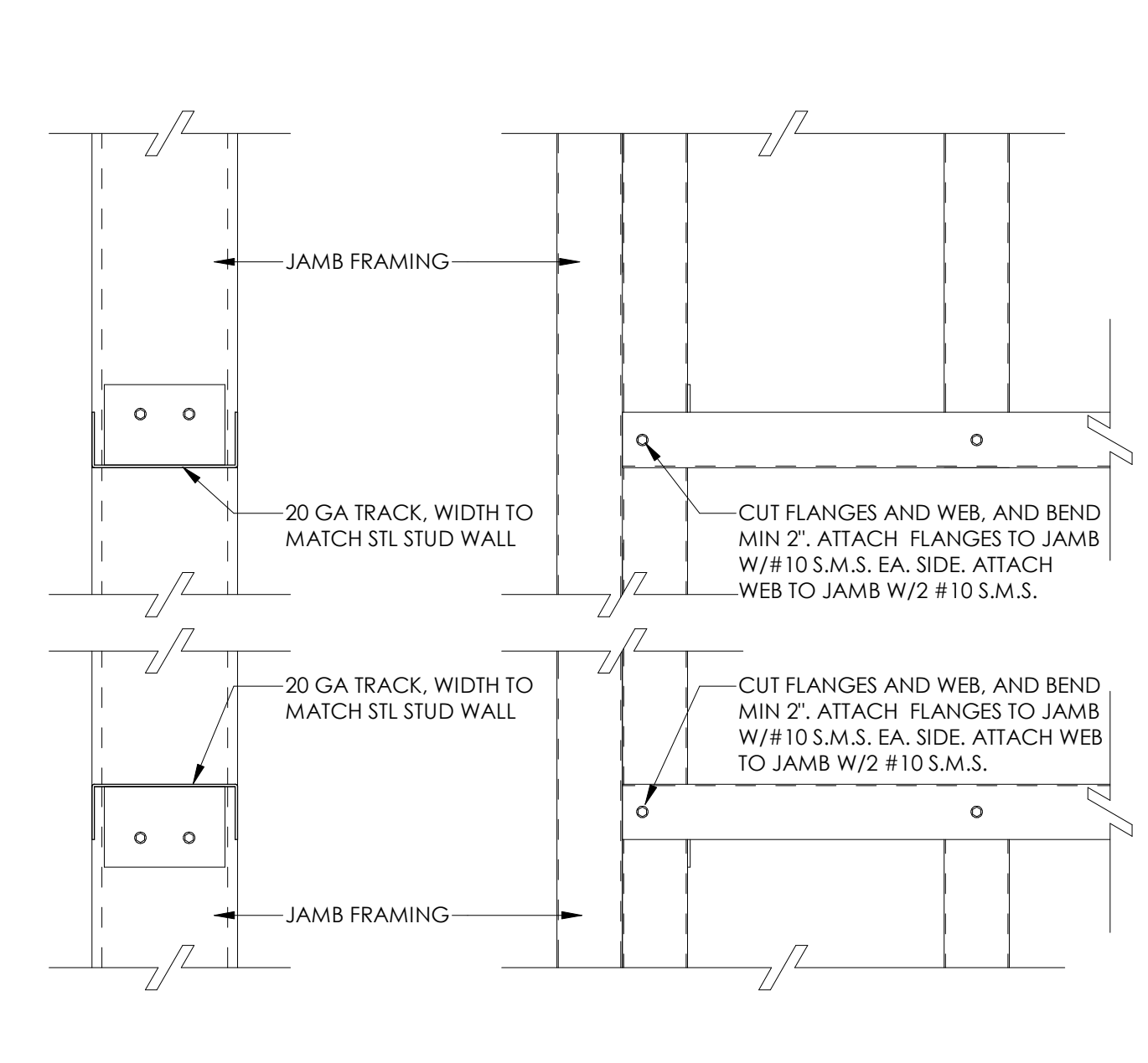
12 TYP FRAMING - STEEL PROPERTIES
12\"/>



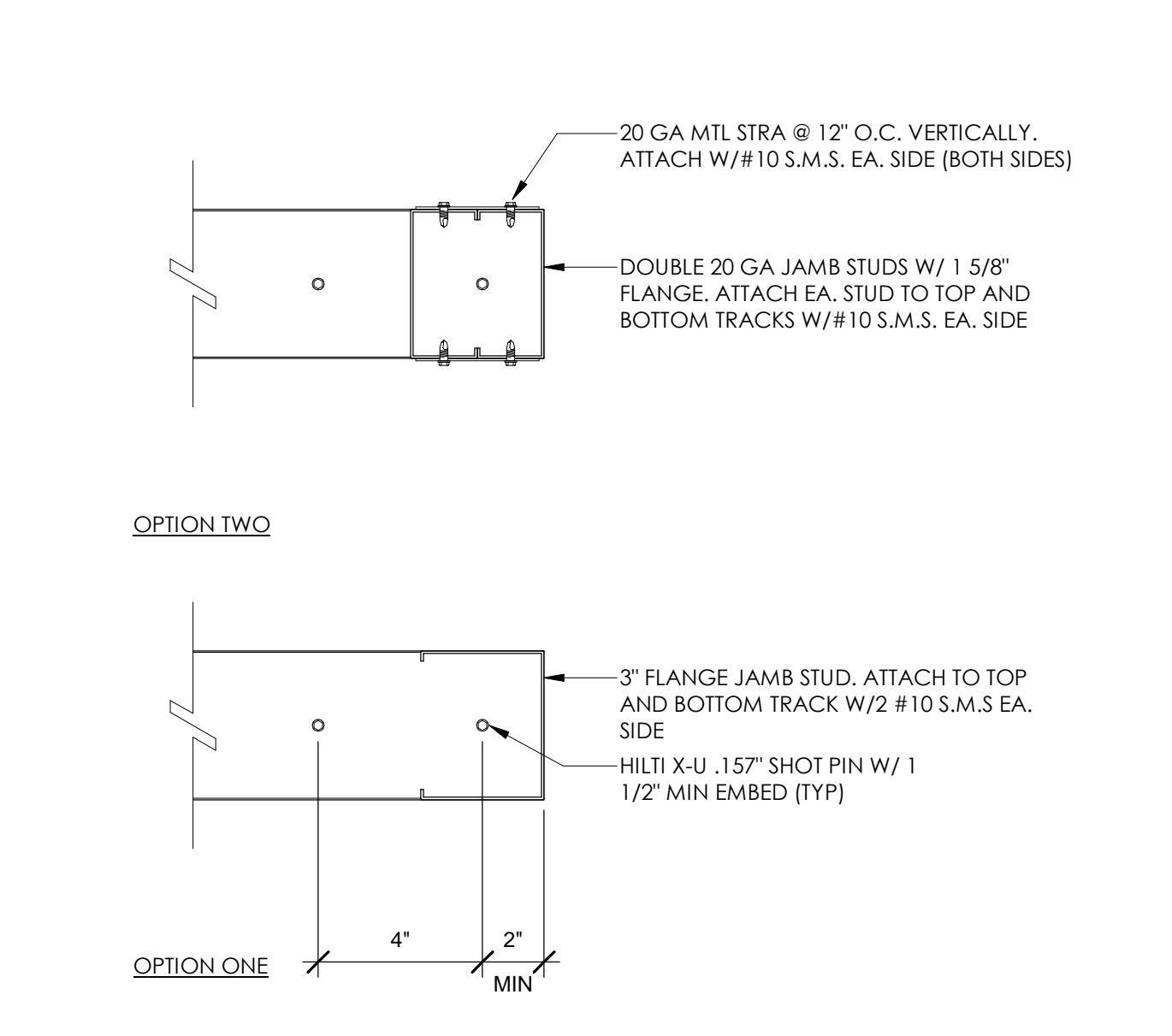
11 MTL STUD BACKING
34\"/>



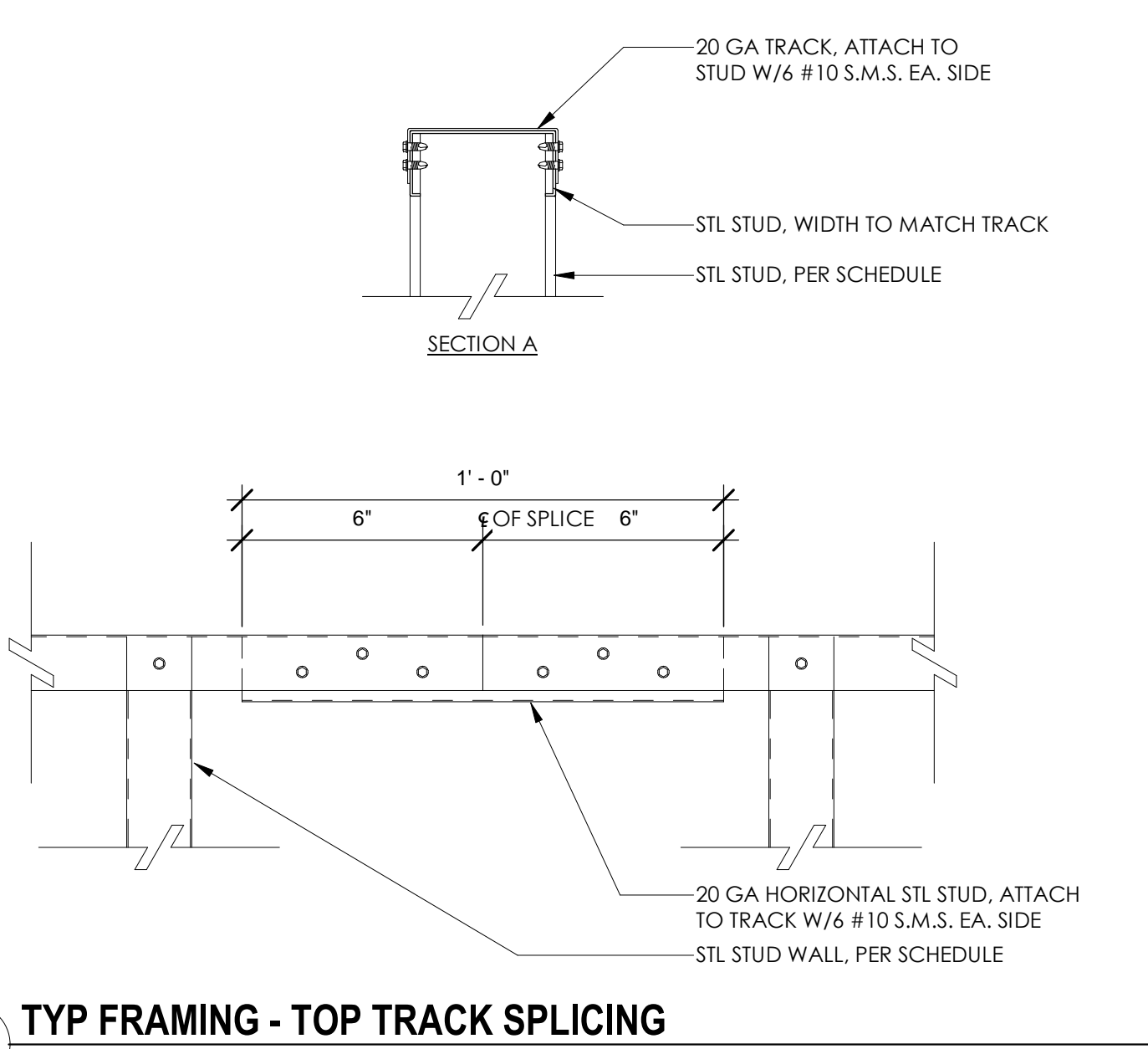
10 TYP FRAMING - HEADER/SILL 4'-6\"/>



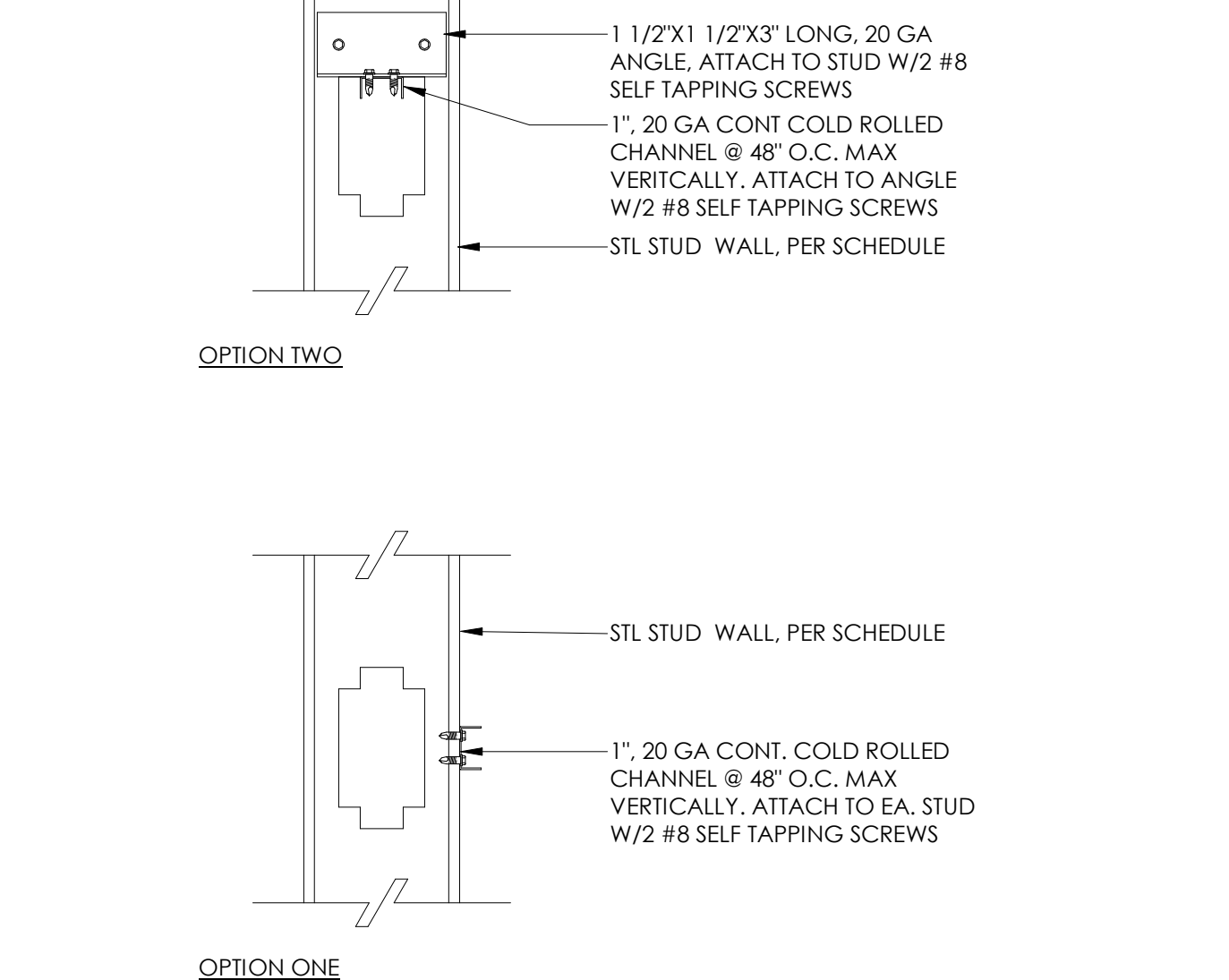
9 TYP FRAMING - HEADER/SILL LESS THAN 4'-6\"/>



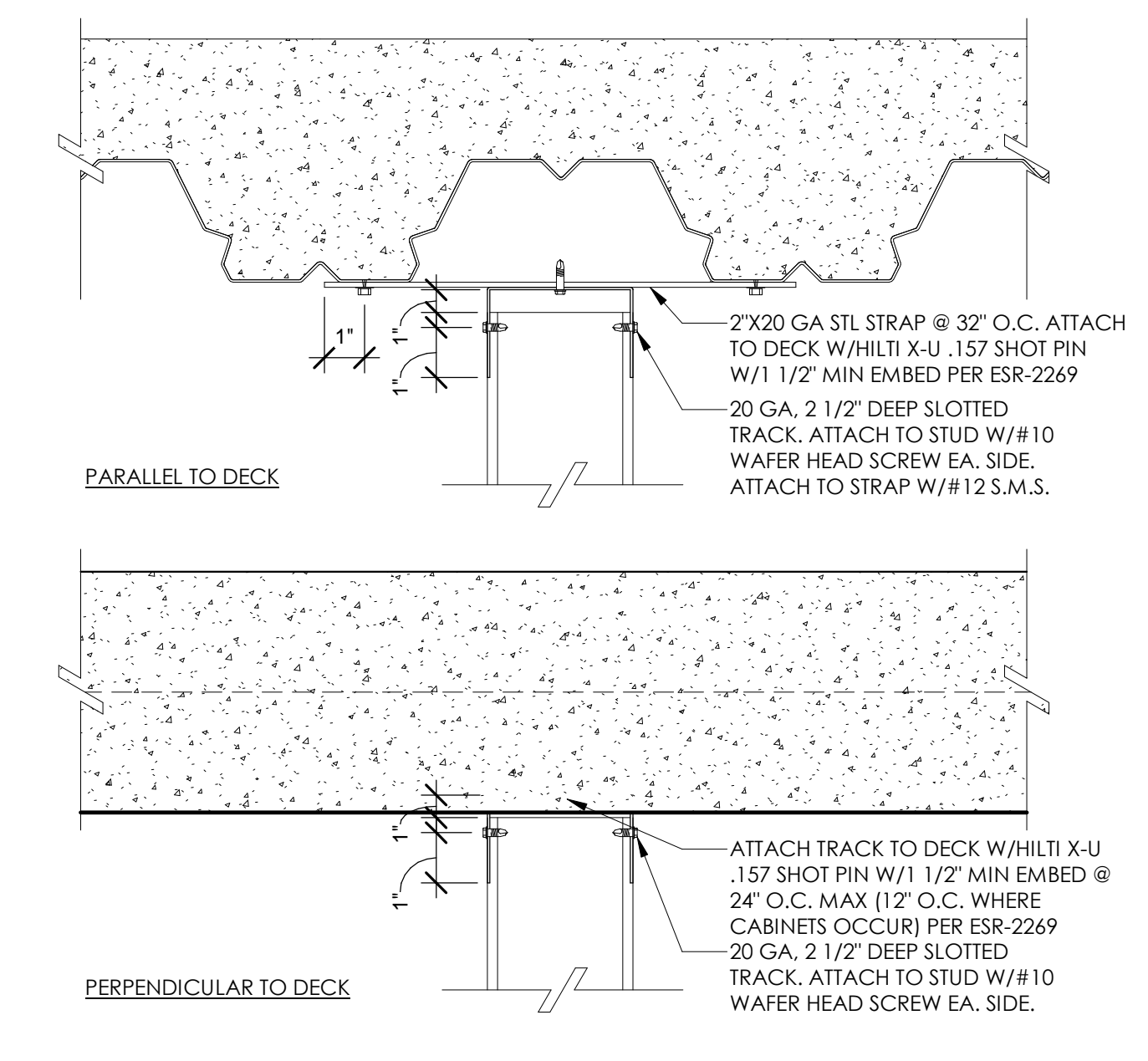
8 TYP FRAMING - JAMB
3\"/>



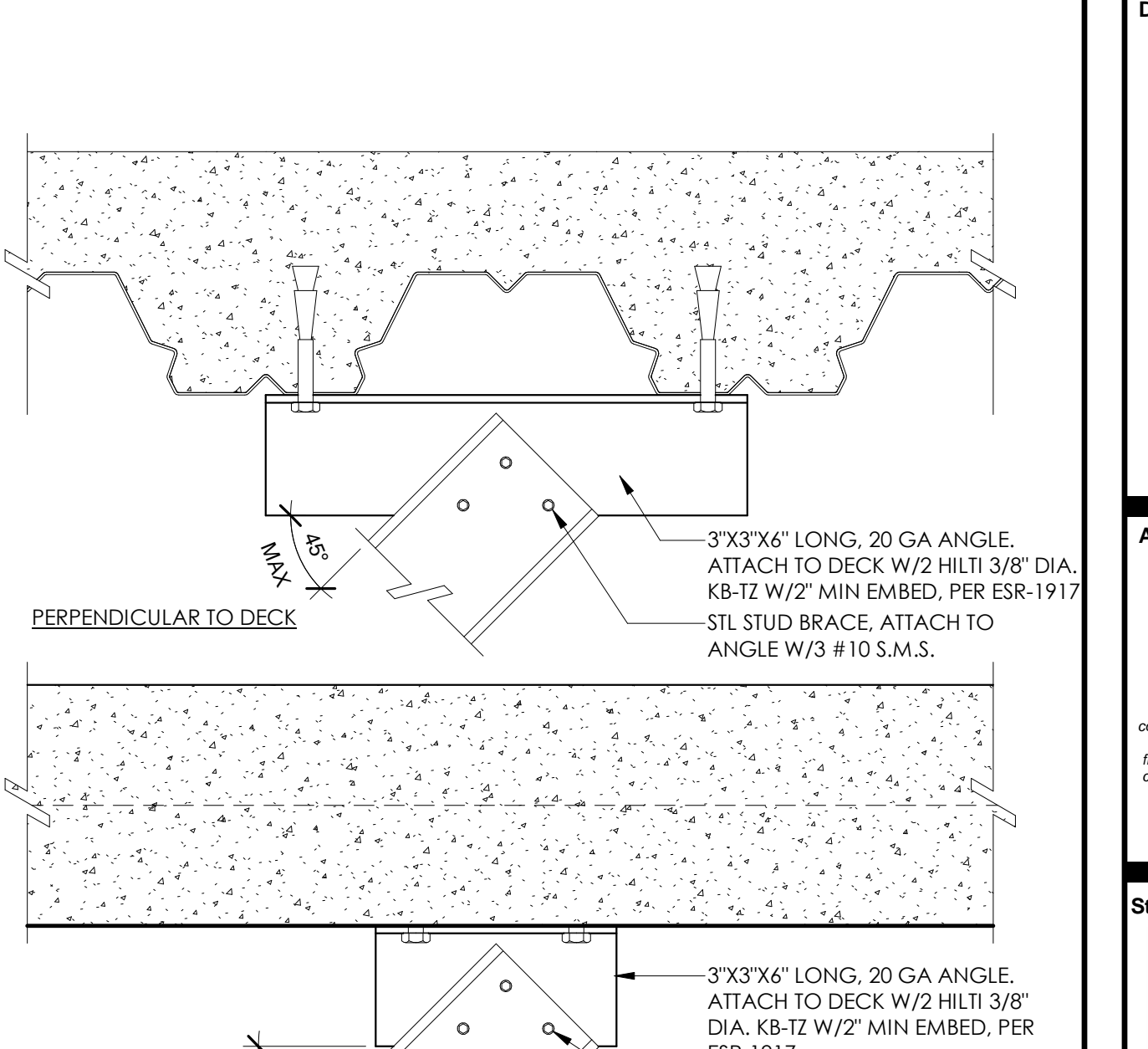
7 TYP FRAMING - TOP TRACK SPLICING
3\"/>



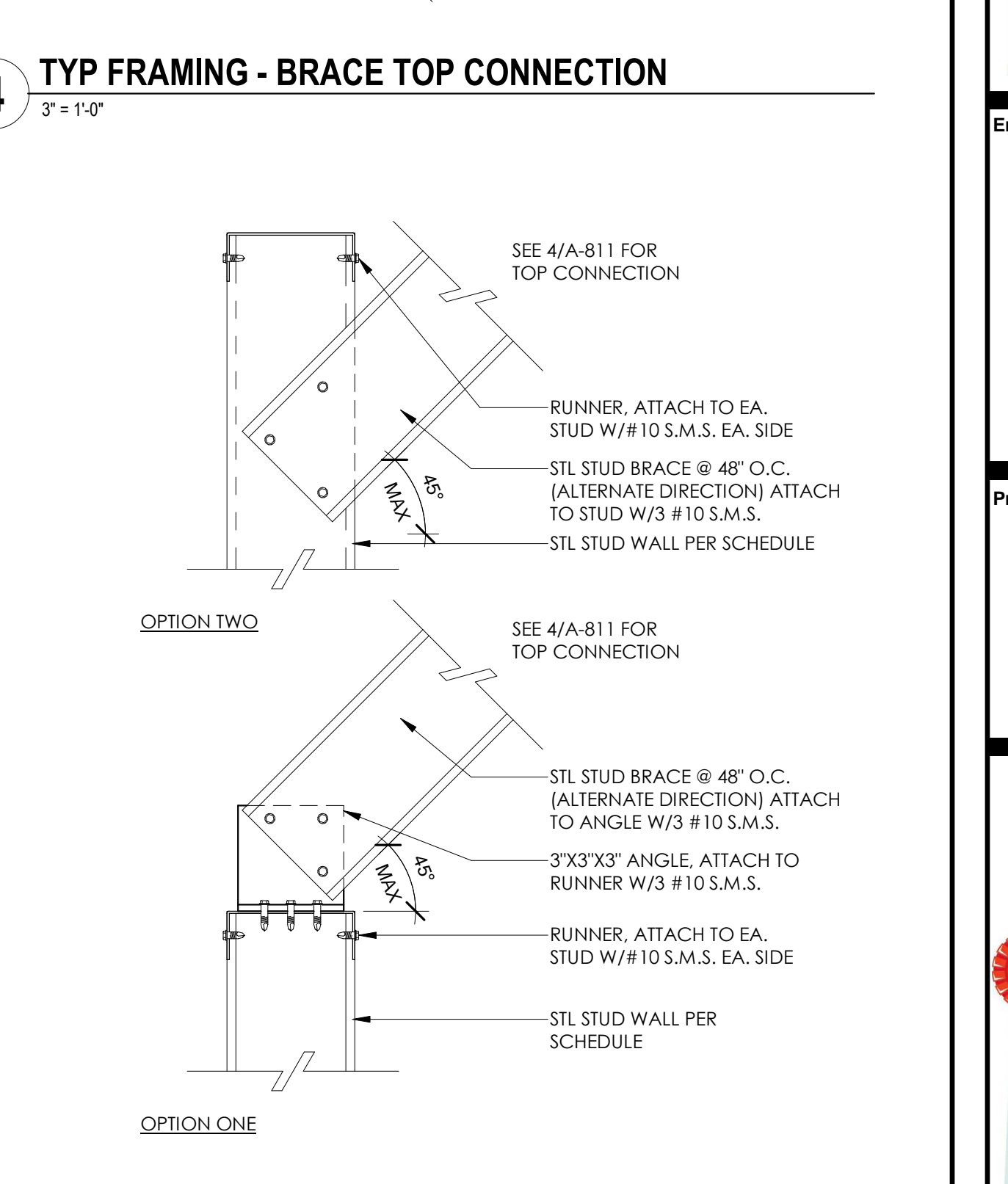
6 TYP FRAMING - BRIDGING
3\"/>



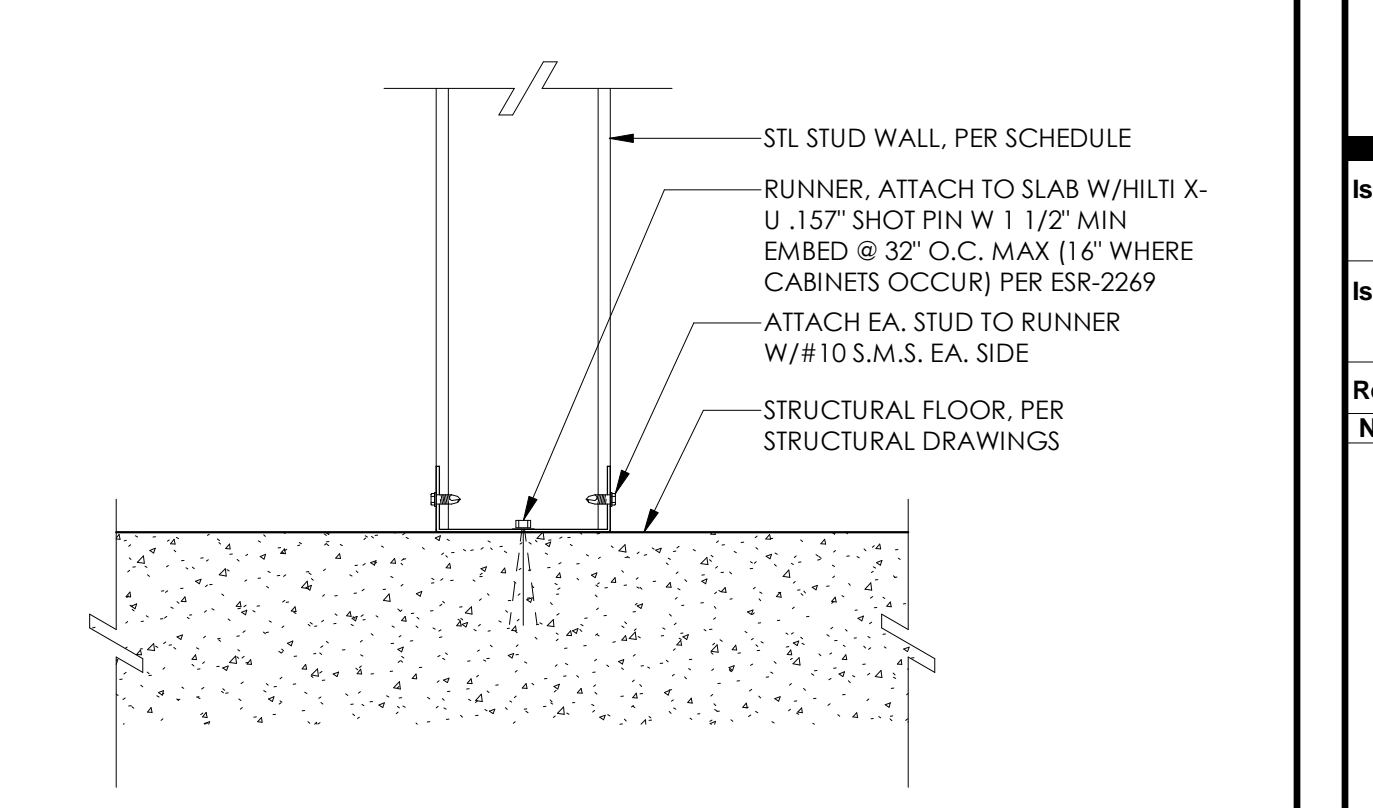
5 TYP FRAMING - TOP OF WALL
3\"/>



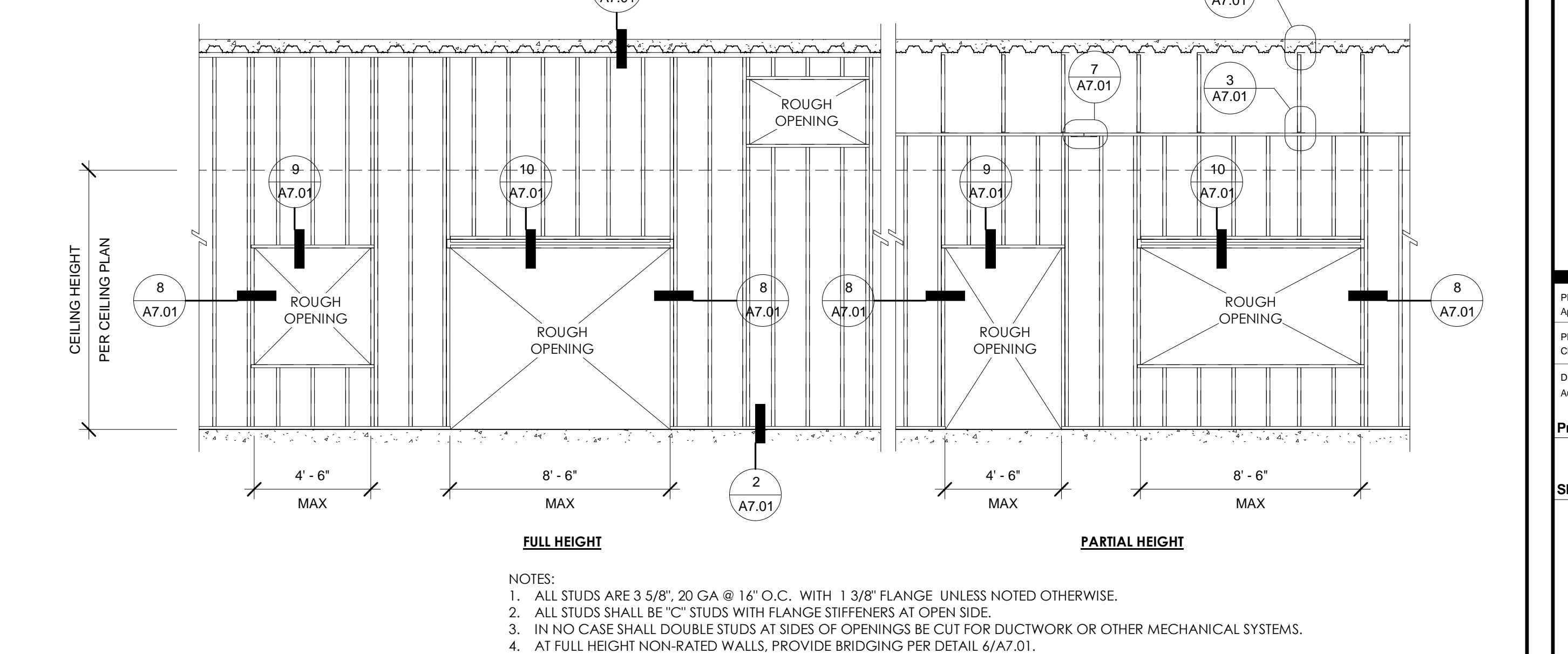
4 TYP FRAMING - BRACE TOP CONNECTION
3\"/>



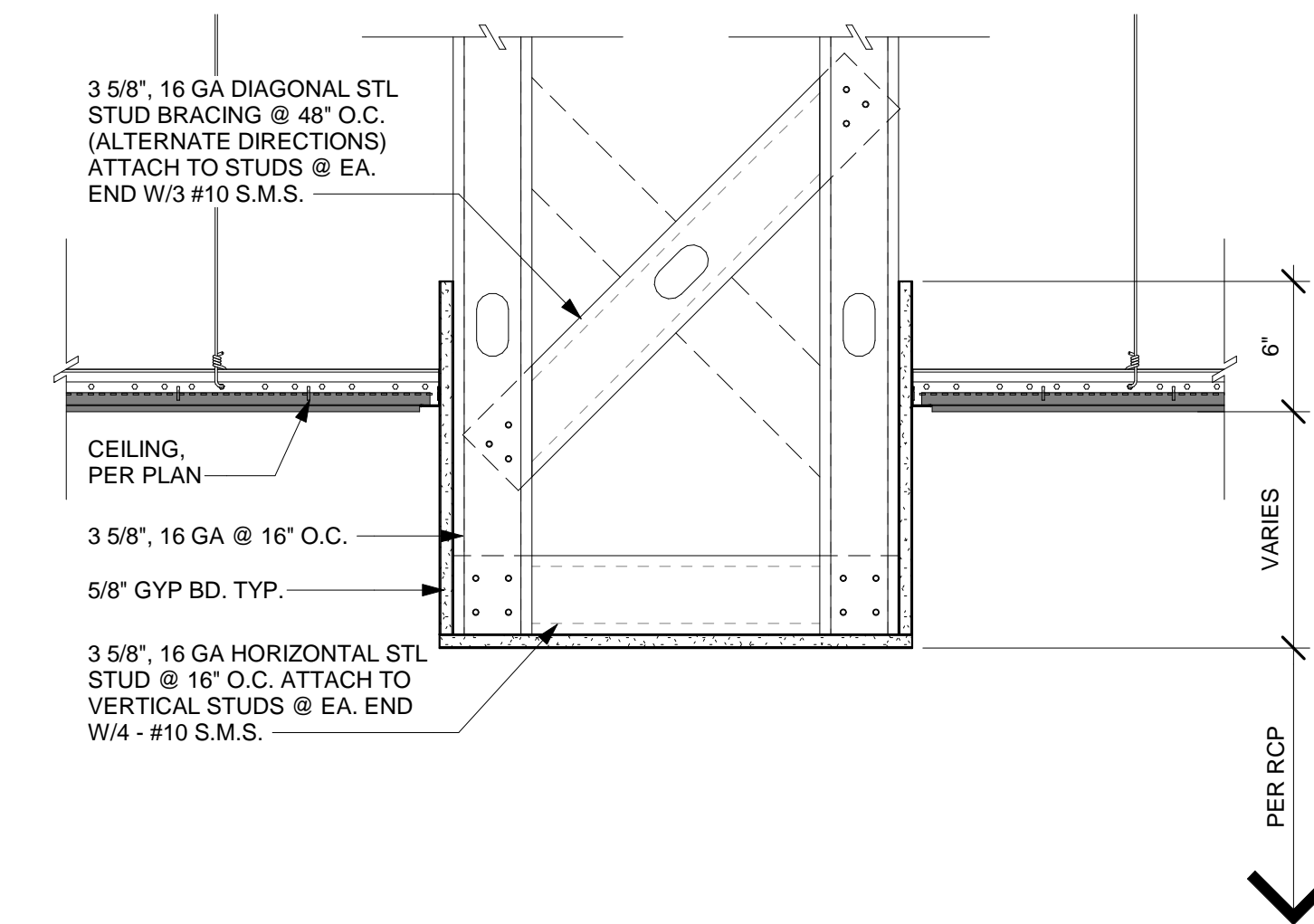
3 TYP FRAMING - TOP OF WALL @ PARTIAL HEIGHT WALL
3\"/>



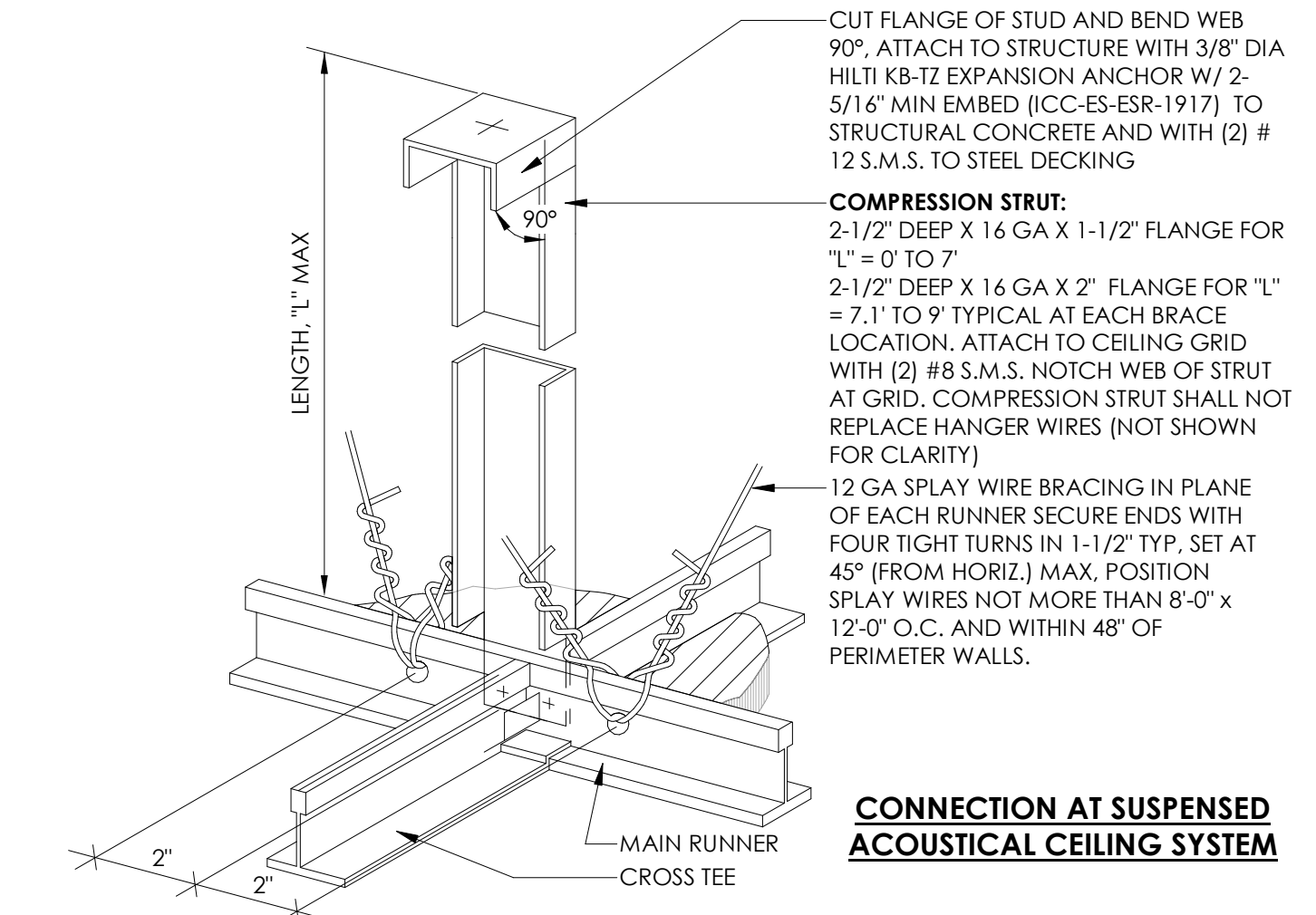
2 TYP FRAMING - BOTTOM OF WALL
3\"/>



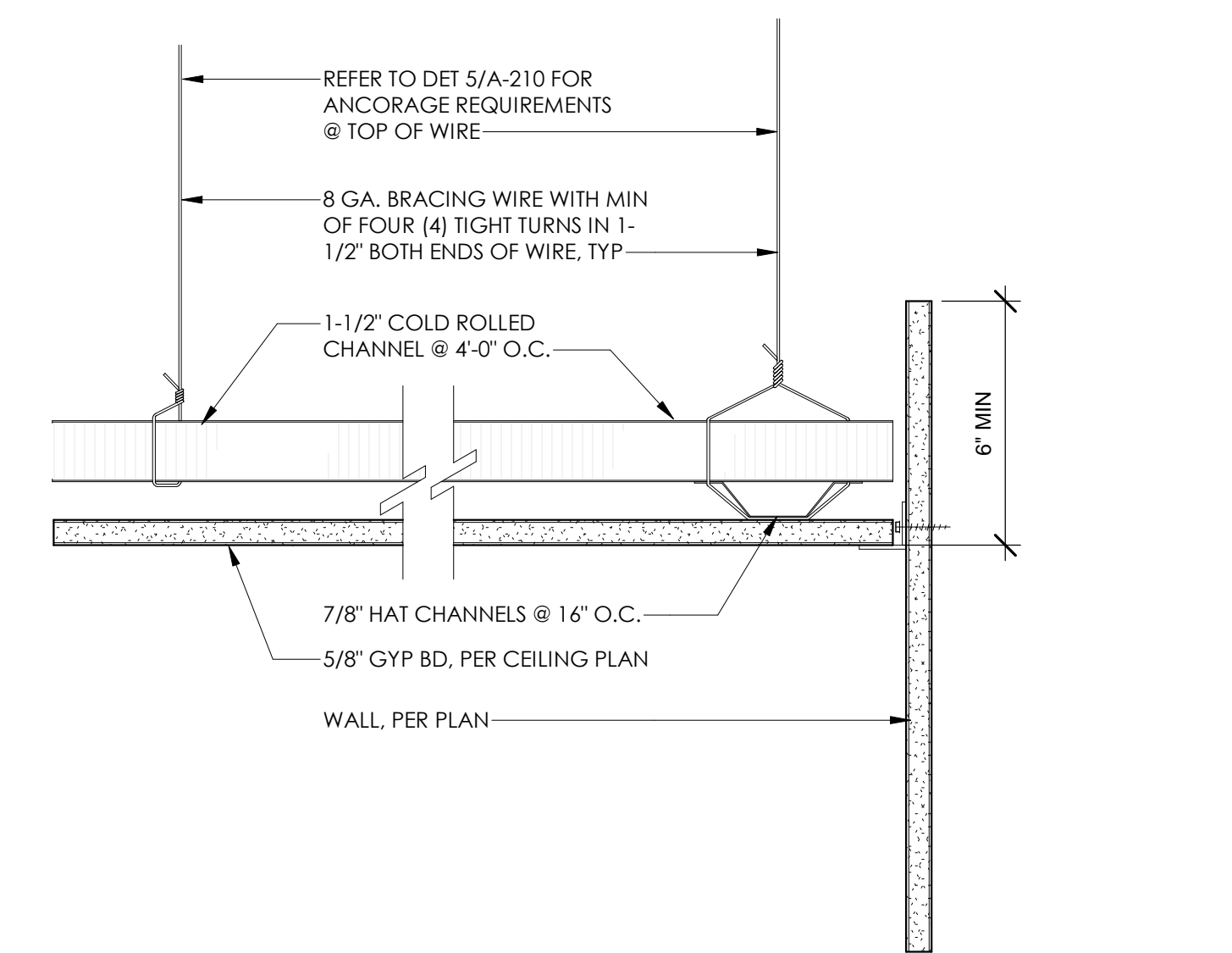
1 TYP FRAMING ELEVATION
14\"/>



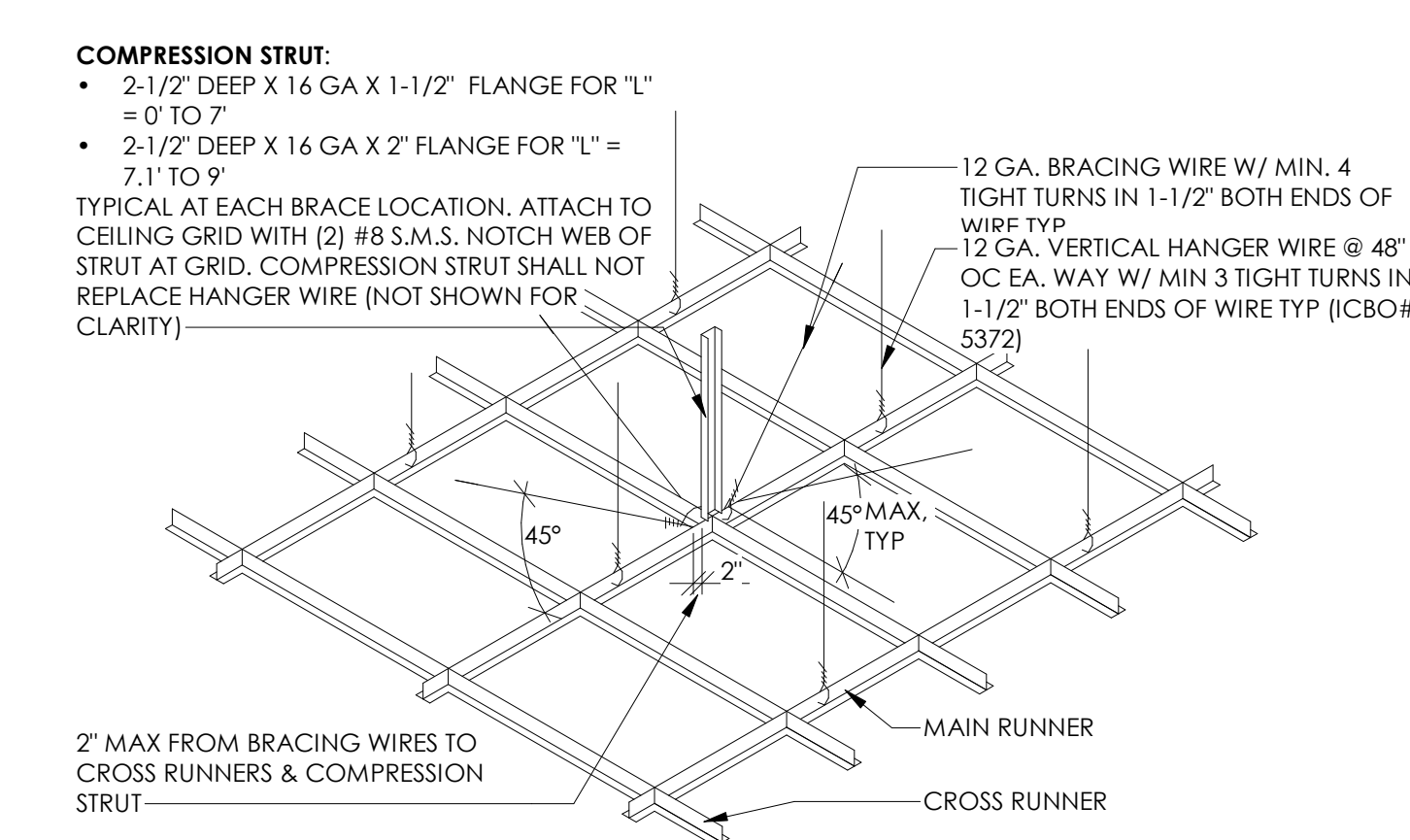
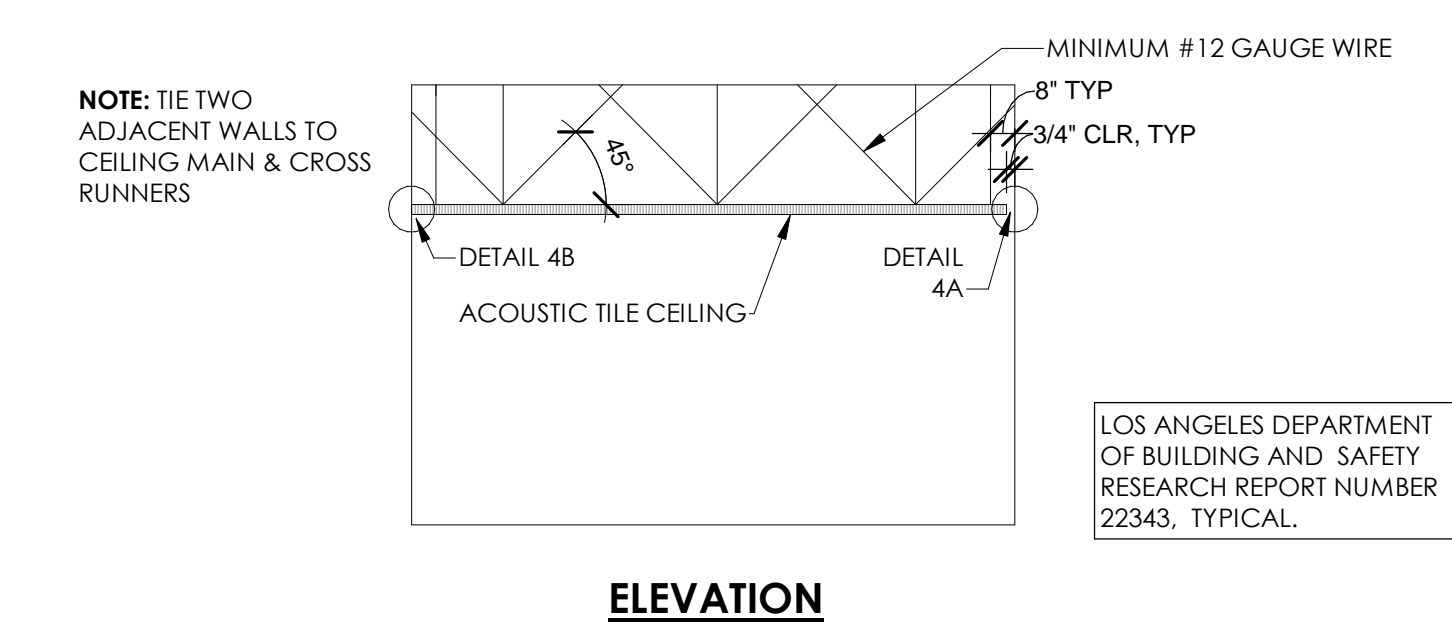
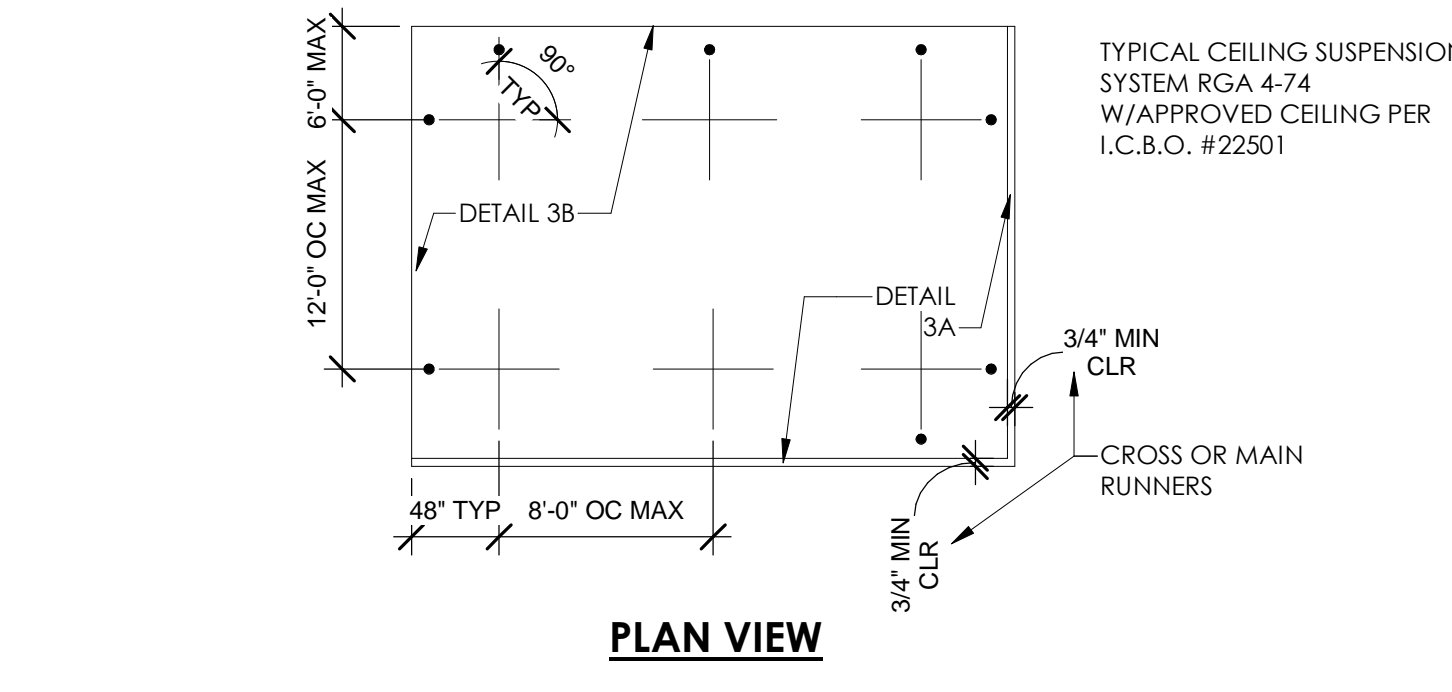
7 GYP BD SOFFIT
1 1/2" = 1'-0"



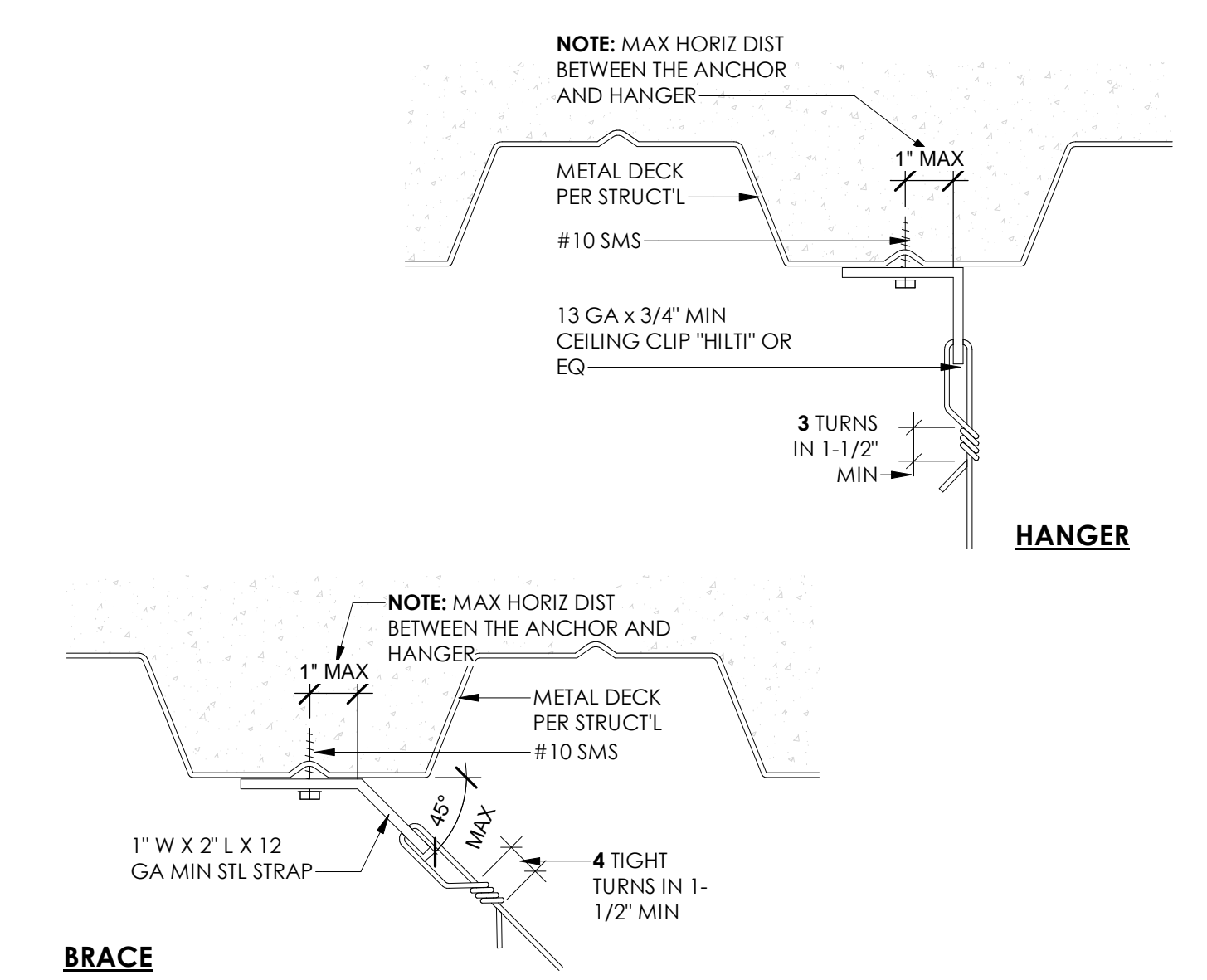
3 CONNECTION AT SUSPENDED ACOUSTICAL CEILING SYSTEM
NTS



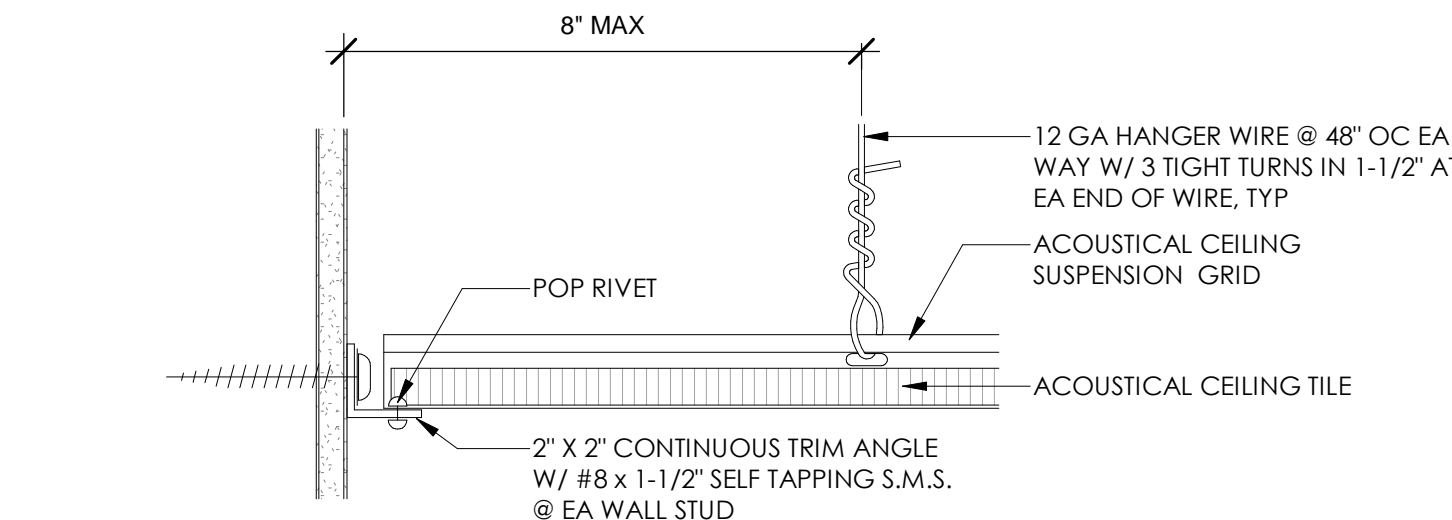
6 WIRE HUNG GYP BD CEILING SYSTEM
NTS



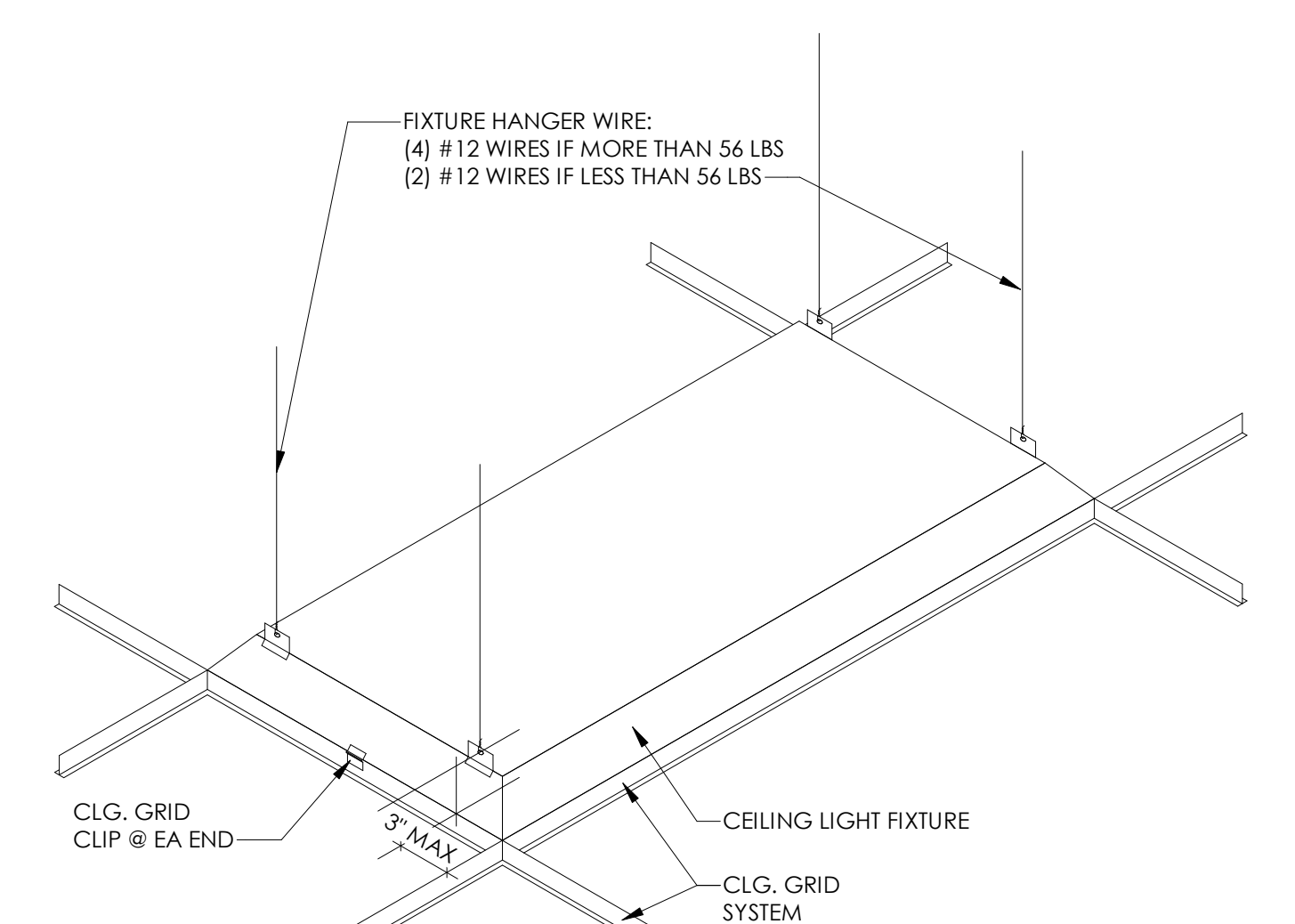
2 SUSPENDED ACOUSTICAL CEILING GENERAL REQ'MTS
NTS



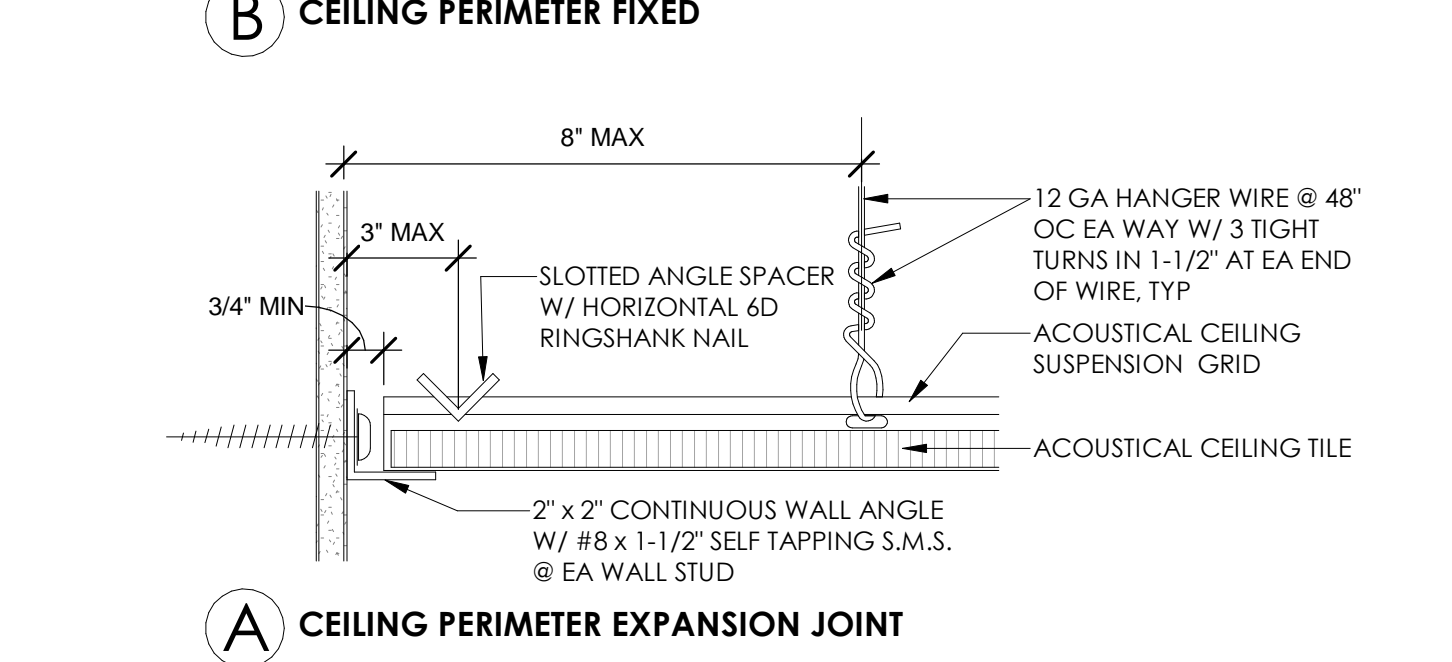
5 WIRE HANGER ATTACHMENT
NTS



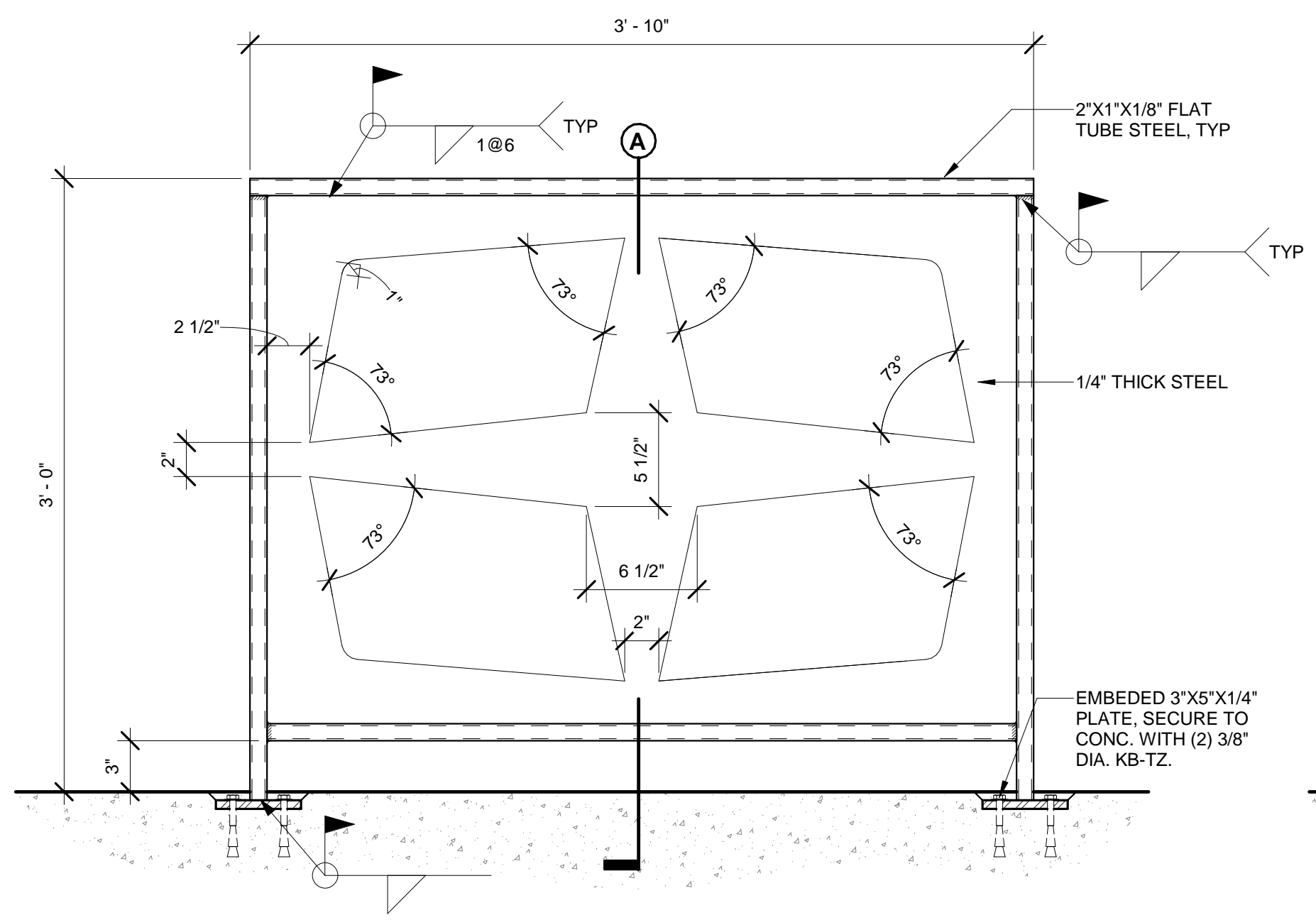
B CEILING PERIMETER FIXED



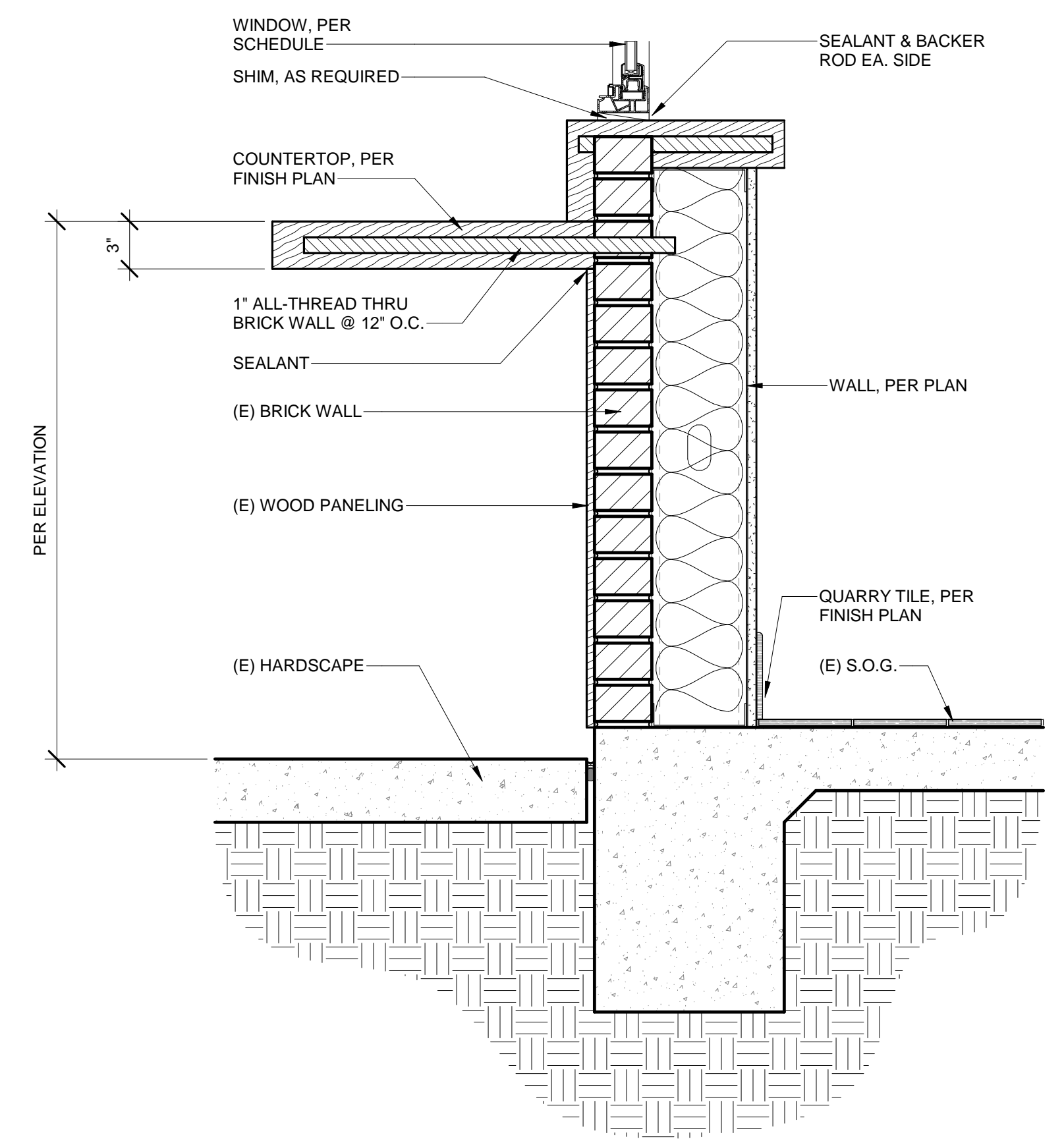
4 SUSPENDED LIGHT FIXTURE
NTS



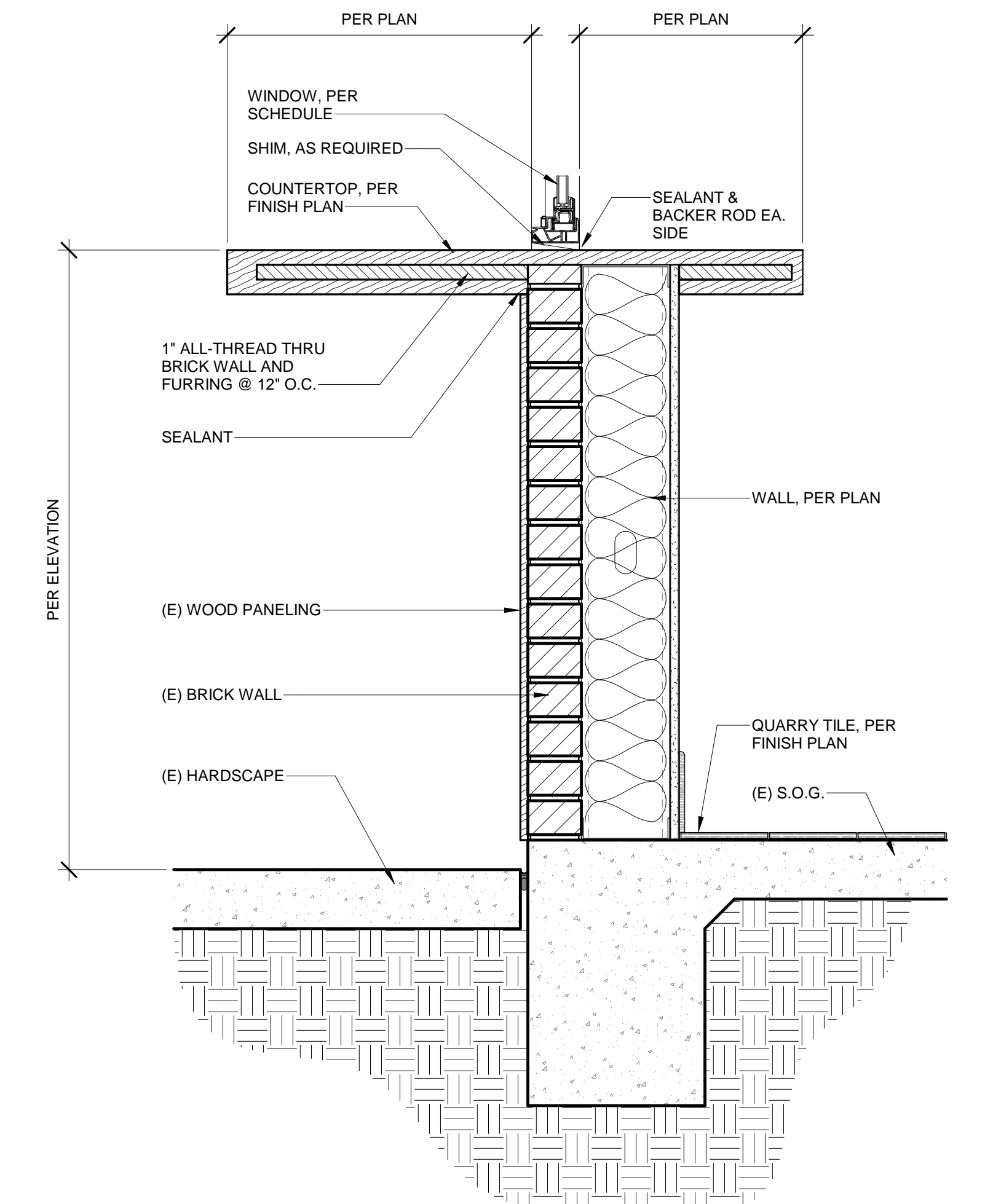
A CEILING PERIMETER EXPANSION JOINT



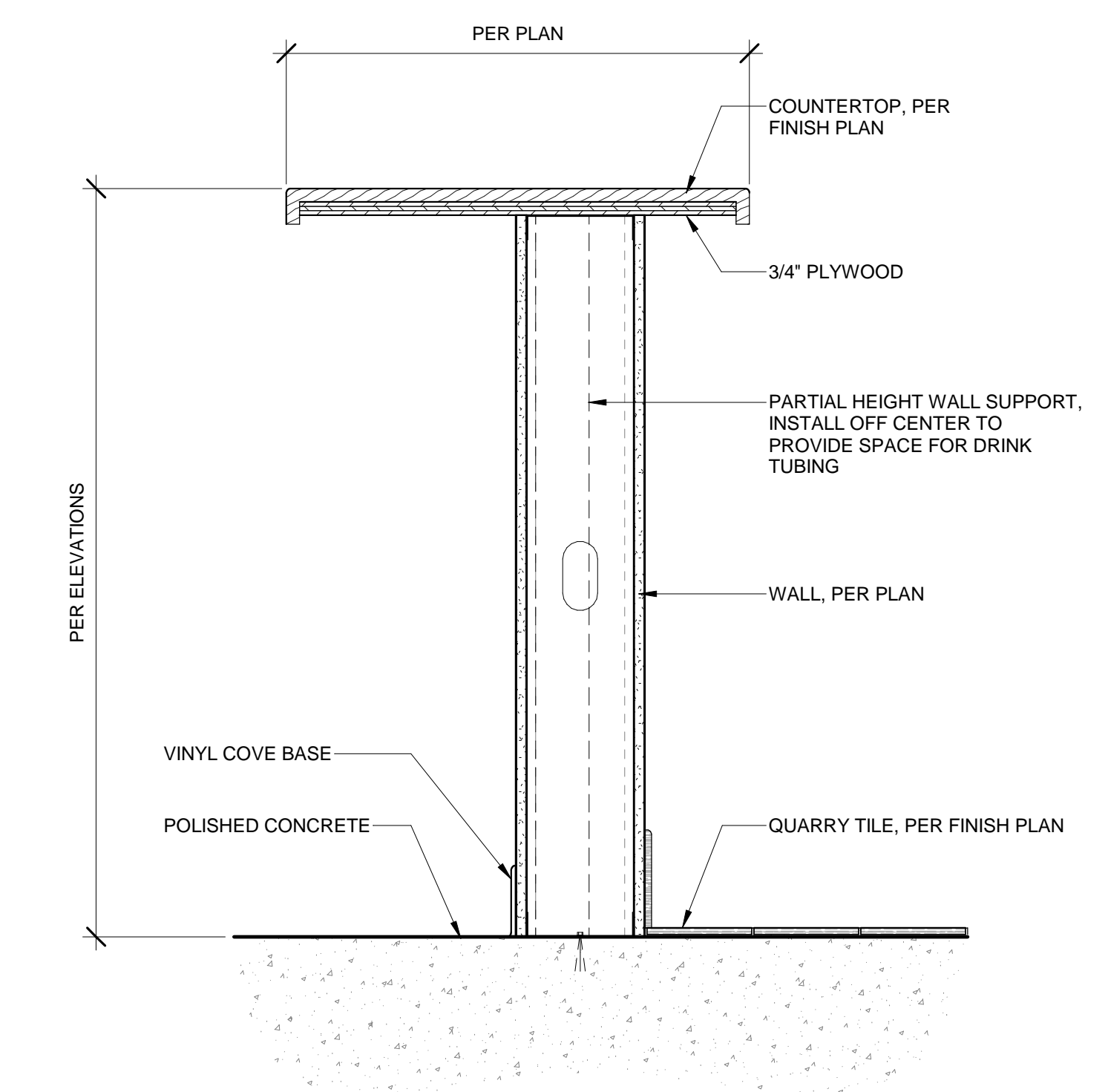
6 CUSTOM FENCE
1 1/2" = 1'-0"



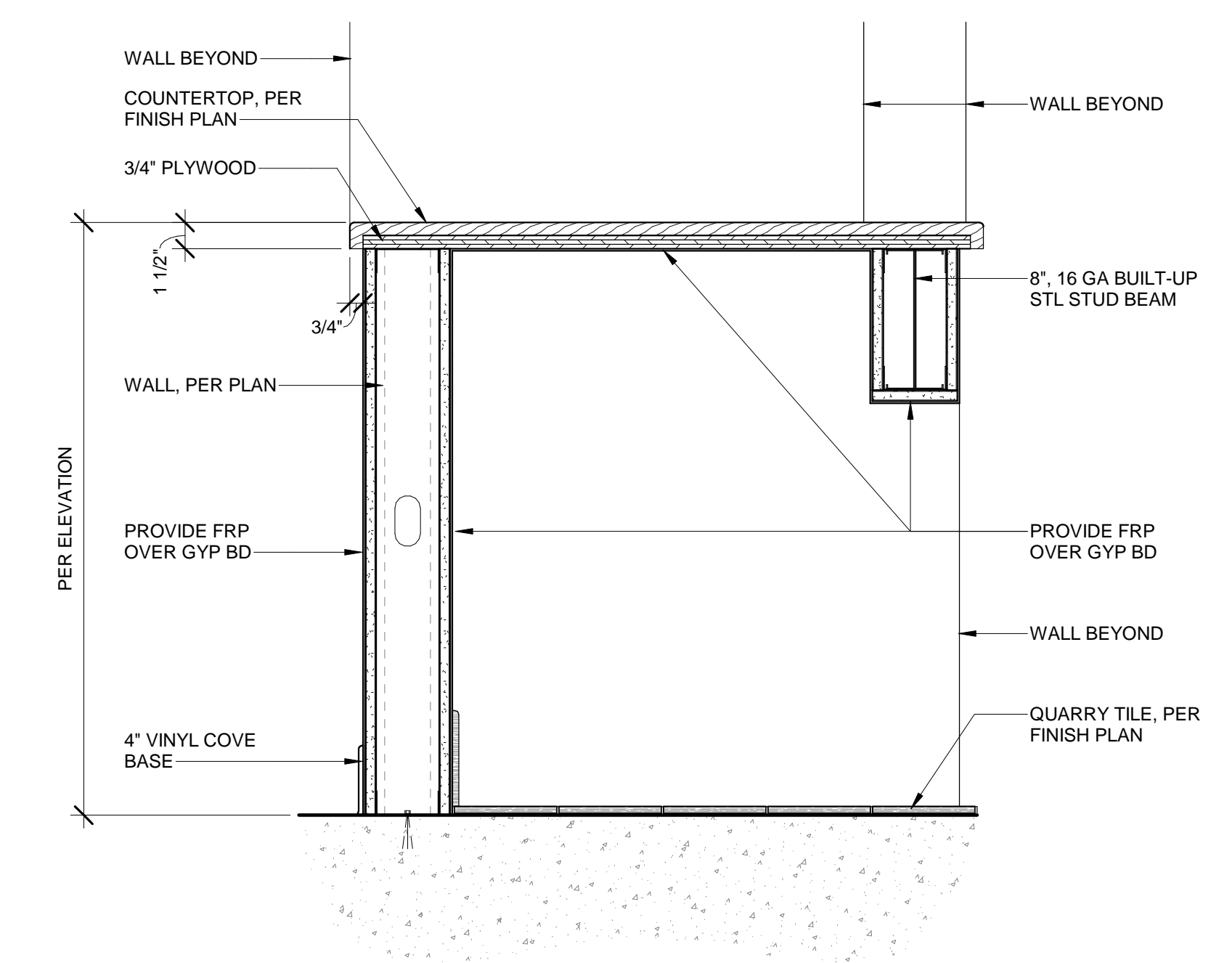
5 EXT BAR COUNTER @ ADA
1 1/2" = 1'-0"



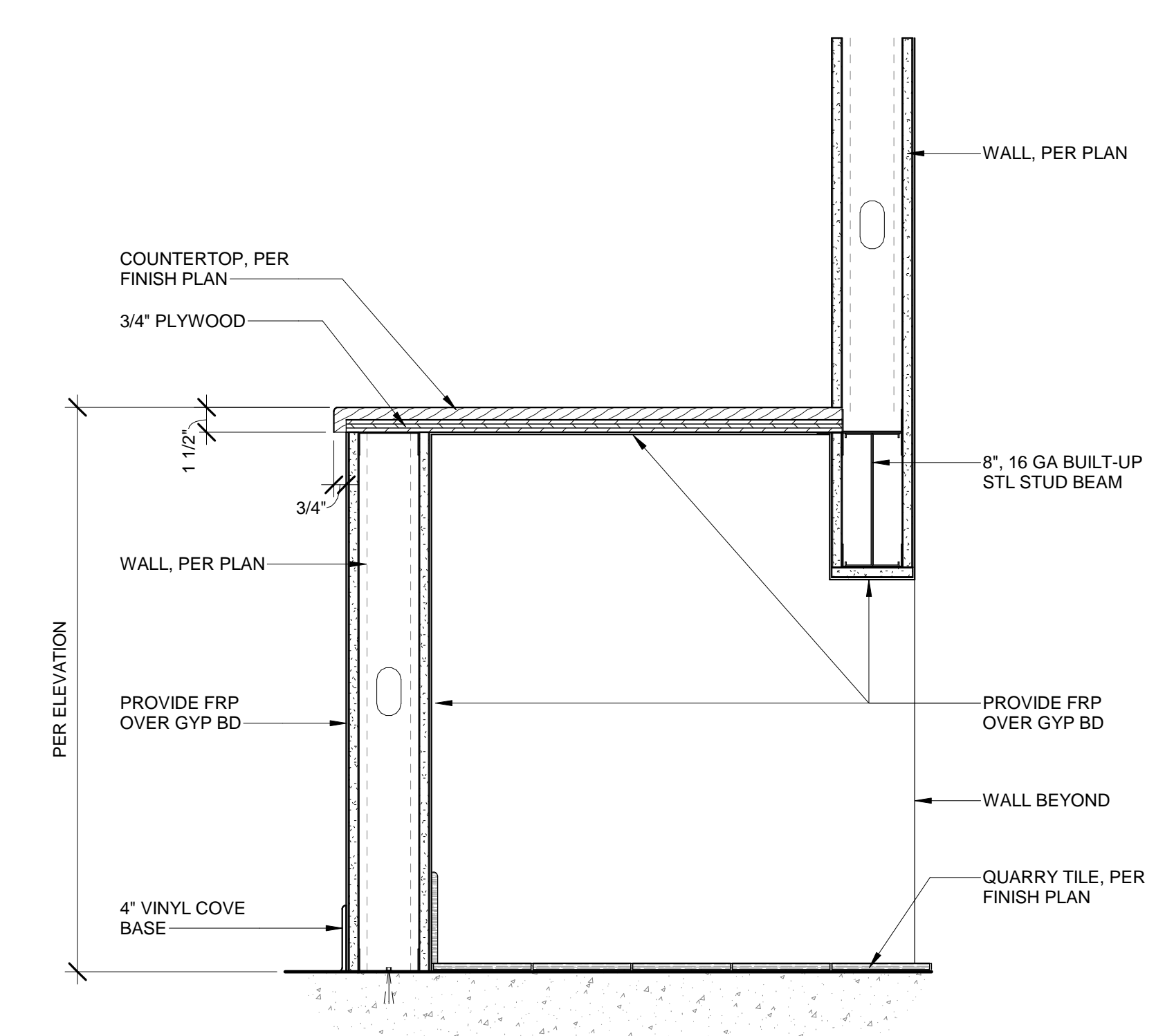
4 EXT BAR COUNTER
1 1/2" = 1'-0"



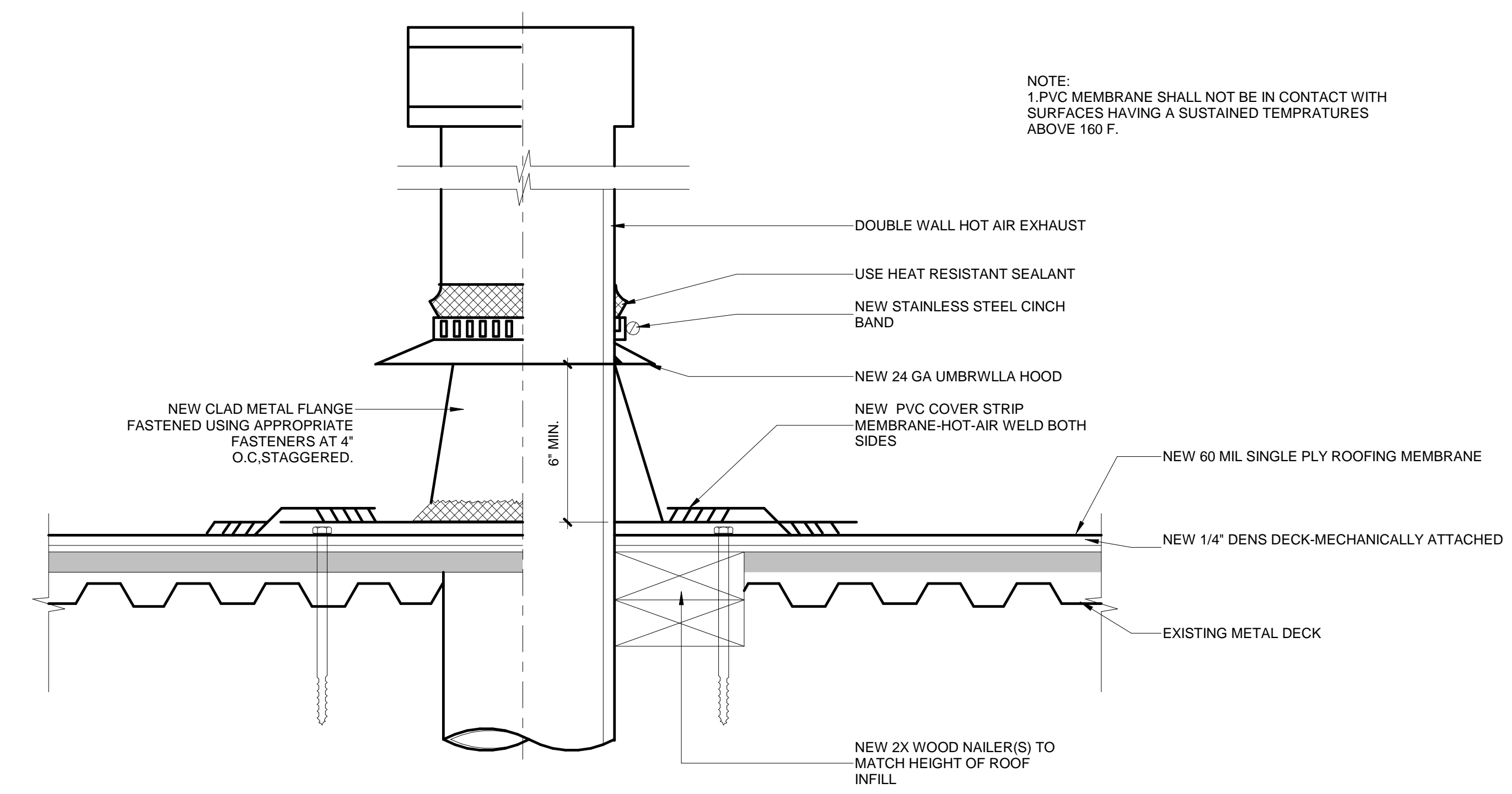
3 BAR
1 1/2" = 1'-0"



2 PICK-UP COUNTER AT OPENING
1 1/2" = 1'-0"

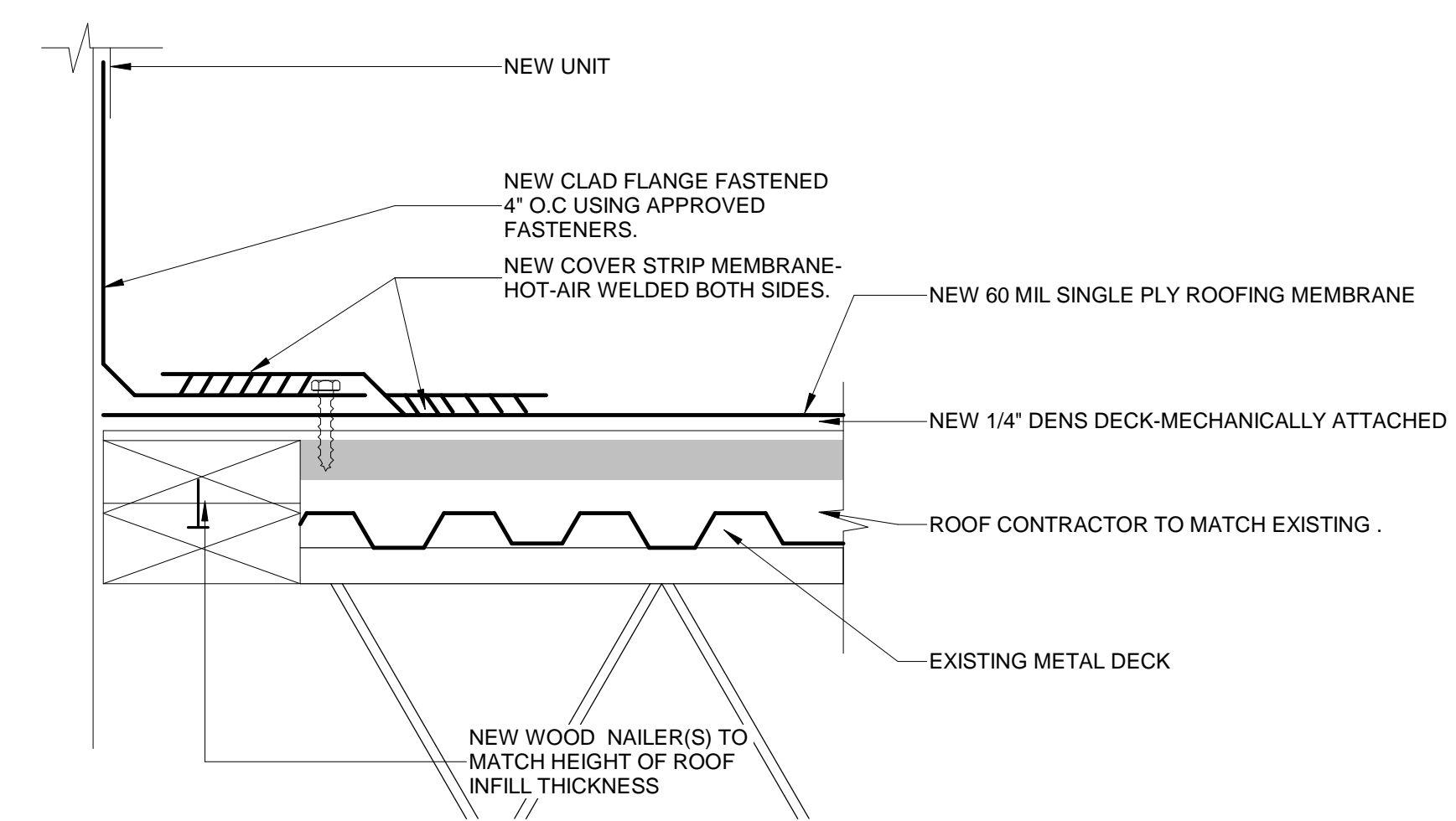


1 PICK-UP COUNTER
1 1/2" = 1'-0"



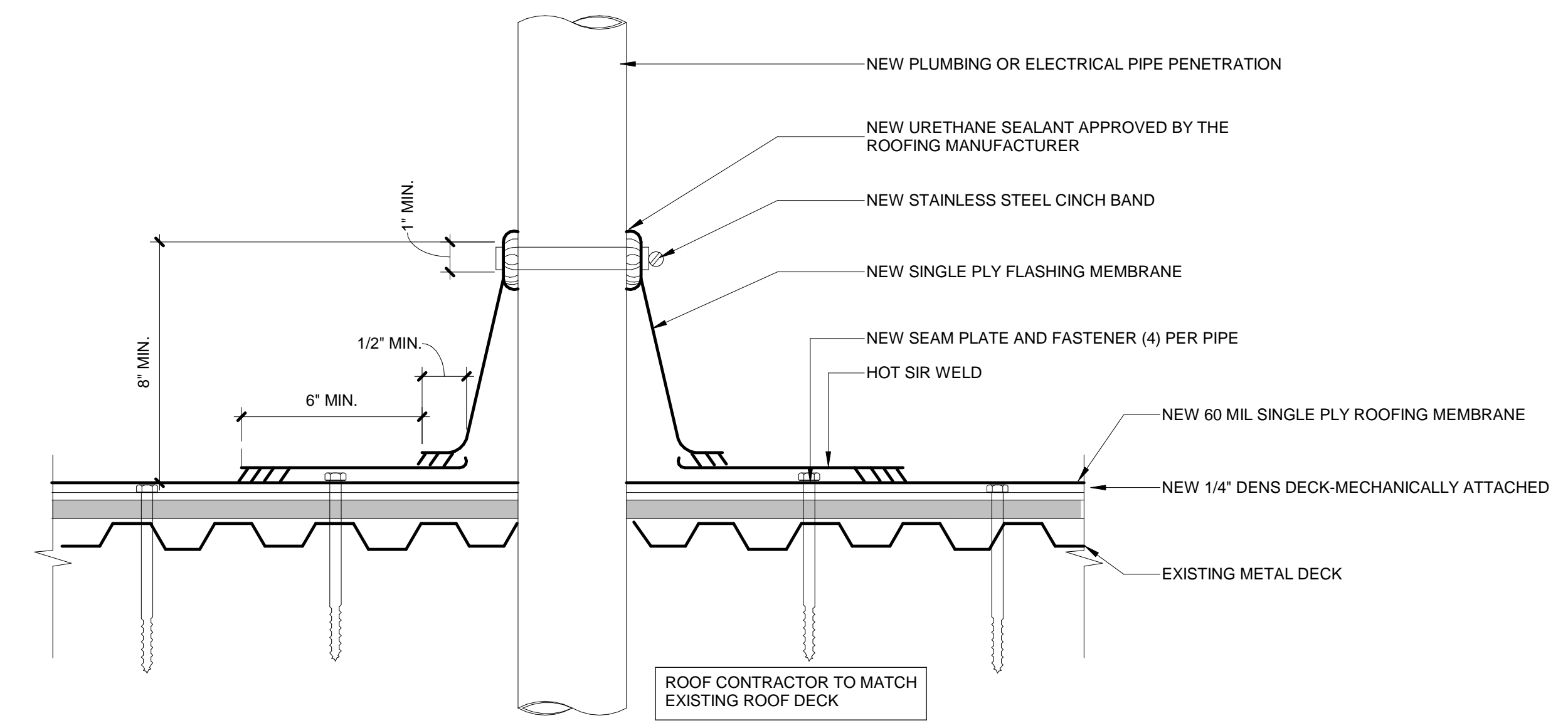
NOTE:
 1.PVC MEMBRANE SHALL NOT BE IN CONTACT WITH SURFACES HAVING A SUSTAINED TEMPERATURES ABOVE 160 F.

3 ROOF DETAIL- HEATER VENT
 3" = 1'-0"

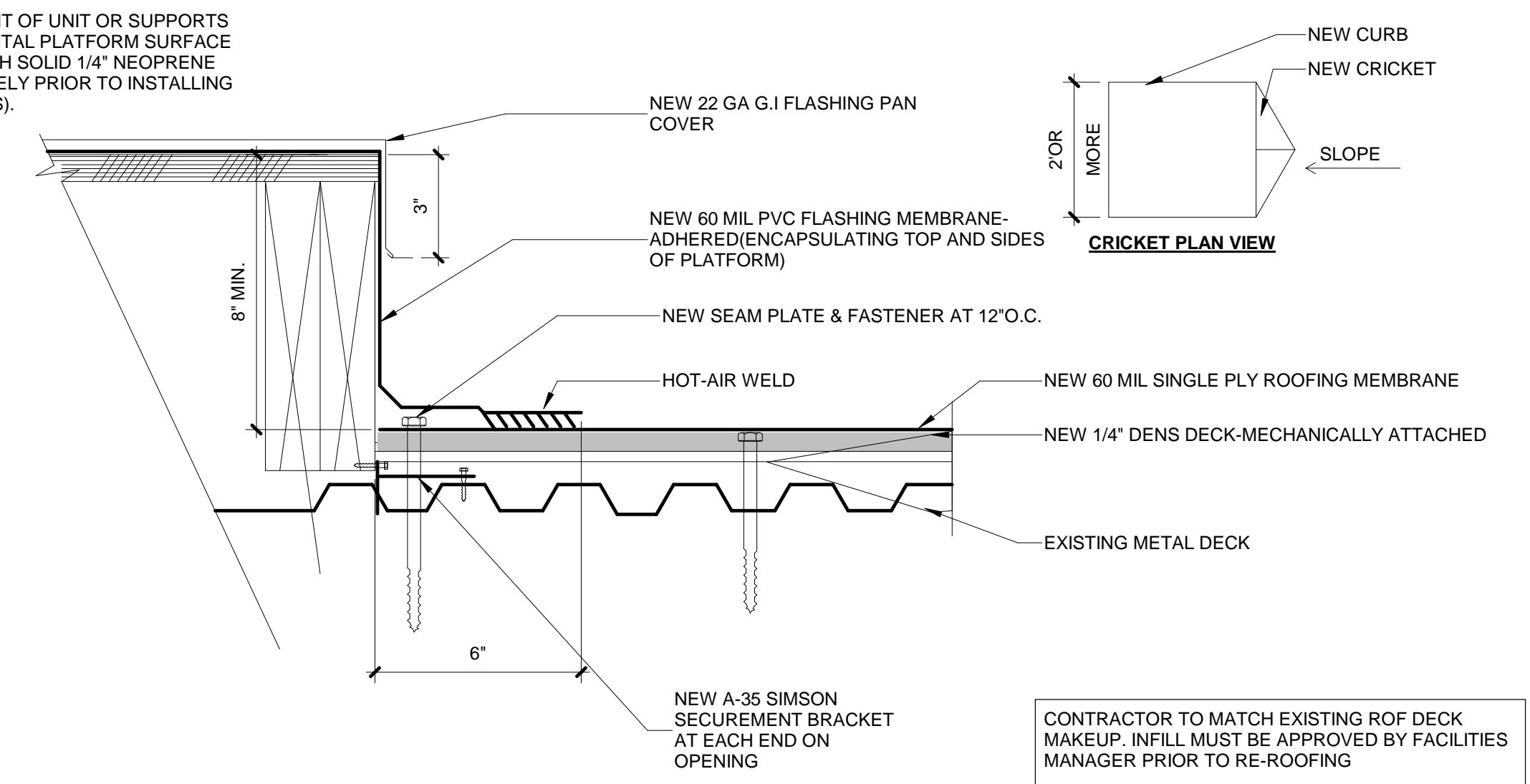


2 ROOF DETAIL- FLANGED UNIT
 3" = 1'-0"

NOTE:
 1.ANY SECUREMENT OF UNIT OR SUPPORTS INTO THE HORIZONTAL PLATFORM SURFACE SHALL BE THROUGH SOLID 1/4" NEOPRENE GASKET IMMEDIATELY PRIOR TO INSTALLING BOLTS (BY OTHERS).



4 ROOF DETAIL- PIPE PENETRATION
 3" = 1'-0"



1 ROOF DETAIL- PLATFORM
 3" = 1'-0"

CONTRACTOR TO MATCH EXISTING ROF DECK MAKEUP. INFILL MUST BE APPROVED BY FACILITIES MANAGER PRIOR TO RE-ROOFING